

LEGAL DESCRIPTION:

LOTS 19, 20, 21 & 22, LESS THE NORTH 5 FEET THEREOF, LOT 23, LESS THE NORTH 5 FEET THEREOF, AND LOT 24, BLOCK 102, OF OAKLAND PARK SECOND ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 39, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

### BASIC TABULAR SUMMARY:

FOLIO NUMBER:	4942 23 05 6500
GROSS LOT AREA:	30,977 SQ. FT.
NET LOT AREA:	19,860 SQ. FT.
FUTURE LAND USE MAP (FLUM):	LOCAL ACTIVITY CENTER
ZONING DISTRICT:	(DCW) DOWNTOWN CORE
FLOOD ZONE:	"AH"
FEMA FIRM MAP PANEL:	12011C367H

**ZONING LEGEND:**

DC: Downtown Core  
IN: Intown Neighborhoods

## CODE ANALYSIS

GENERAL PROPERTY INFO:

SITE LOCATION : OAKLAND PARK, FLORIDA  
FOLIO NUMBER : \_\_\_\_\_  
CODE IN EFFECT: 2023 FBC

CURRENT OCCUPANCY AND USE:  
RESTAURANT

RESTAURANT

PROPOSED OCCUPANCY AND USE:

A-2 - RESTAURANT

BUILDING AREA:

A-2 - RESTAURANT 5,139 S.F.

TYPE OF CONSTRUCTION:

CONSTRUCTION TYPE - TYPE III B  
NON SPRINKLERED  
NO FIRE ALARM

BUILDING OCCUPANT LOAD:

RESTAURANT INSIDE	
KITCHEN / PREP. AREA (200 GROSS)	
1,933 S.F. / 200=	10 OCCUPANTS
STORAGE (300 GROSS)	
610 S.F. / 300=	2 OCCUPANTS
RESTROOMS (100 GROSS)	
225 S.F. / 100=	2 OCCUPANTS
CLOSET / LOCKERS (100 GROSS)	
1,843 S.F. / 100=	18 OCCUPANTS
PICK-UP AREA (15 NET)	
198 S.F. / 15=	13 OCCUPANTS
SEATING AREA (1 OCC/18")	
12'-6" LF. / 1 OCC/18"	8 OCCUPANTS
SEATING AREA (1 OCC/18")	
14'-6" LF. / 1 OCC/18"	10 OCCUPANTS
SEATING AREA (1 OCC/18")	
14'-6" LF. / 1 OCC/18"	10 OCCUPANTS
SEATING AREA (1 OCC/18")	
6'-6" LF. / 1 OCC/18"	4 OCCUPANTS
OCCUPANT LOAD =	77 OCCUPANTS

RESTAURANT OUTSIDE	
SEATING AREA (15 SQ. FT./ OCCUPANT)	
862 SF / 15=	57 OCCUPANTS
SEATING AREA (1 OCC/18")	
15'-0" LF. / 1 OCC/18"	10 OCCUPANTS
SEATING AREA (1 OCC/18")	
6'-0" LF. / 1 OCC/18"	4 OCCUPANTS
SEATING AREA (1 OCC/18")	
6'-0" LF. / 1 OCC/18"	4 OCCUPANTS
SEATING AREA (1 OCC/18")	
6'-0" LF. / 1 OCC/18"	4 OCCUPANTS
SEATING AREA (1 OCC/18")	
6'-0" LF. / 1 OCC/18"	4 OCCUPANTS
OCCUPANT LOAD =	83 OCCUPANTS

\* TOTAL OCCUPANT LOAD = 160 OCCUPANTS

EXIT CAPACITY (0.2 INCHES PER PERSON)

EXIT	CLEARANCE	(0.2 INCHES PER PERSON)	
EXIT 1 =	36"	/ 0.2 =	180 OCCUPANTS
EXIT 2 =	36"	/ 0.2 =	180 OCCUPANTS
EXIT 3 =	36"	/ 0.2 =	180 OCCUPANTS
EXIT 4 =	36"	/ 0.2 =	180 OCCUPANTS
EXIT 5 =	36"	/ 0.2 =	180 OCCUPANTS
EXIT 6 =	72"	/ 0.2 =	360 OCCUPANTS
EXIT 7 =	72"	/ 0.2 =	360 OCCUPANTS
EXIT 8 =	36"	/ 0.2 =	180 OCCUPANTS

TOTAL EXIT CAPACITY PROVIDED = 1,800 OCCUPANTS

## MAXIMUM TRAVEL DISTANCE (BUSINESS)

250 FEET – NON SPRINKLERED BUILDING

## PLUMBING SYSTEMS (Table 403.1)

RESTAURANT (GROUP A-2)

Fixture	Required	Provided
Water Closet	4	4
Lavatories	2	4
Drinking Fountains	0	1
Service Sink	1	2

## DRAWING INDEX

## CIVIL.

C-0	CIVIL COVER SHEET
C-1	CIVIL GENERAL NOTES AND SPECIFICATIONS
C-2	CIVIL ENGINEERING PLAN
C-2.1	CIVIL ENGINEERING DETAILS
C-3	POLLUTION AND EROSION CONTROL PLAN
C-4	SITE DEMOLITION PLAN

## LANDSCAPE

L-1	LANDSCAPE DISPOSITION PLAN
L-2	LANDSCAPE PLAN
L-3	LANDSCAPE SPECS
IP-1	IRRIGATION PLAN
IP-2	IRRIGATION DETAILS

## ARCHITECTURAL

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ST.2.3	DUMPER PLAN & DETAILS
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D.1	DEMOLITION PLAN
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A.0.2	ELEVATIONS
A.0.	GENERAL NOTES
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A.5	RESTROOM & KITCHEN DETAILS
A.6	POOL PLAN

## LIFE SAFETY

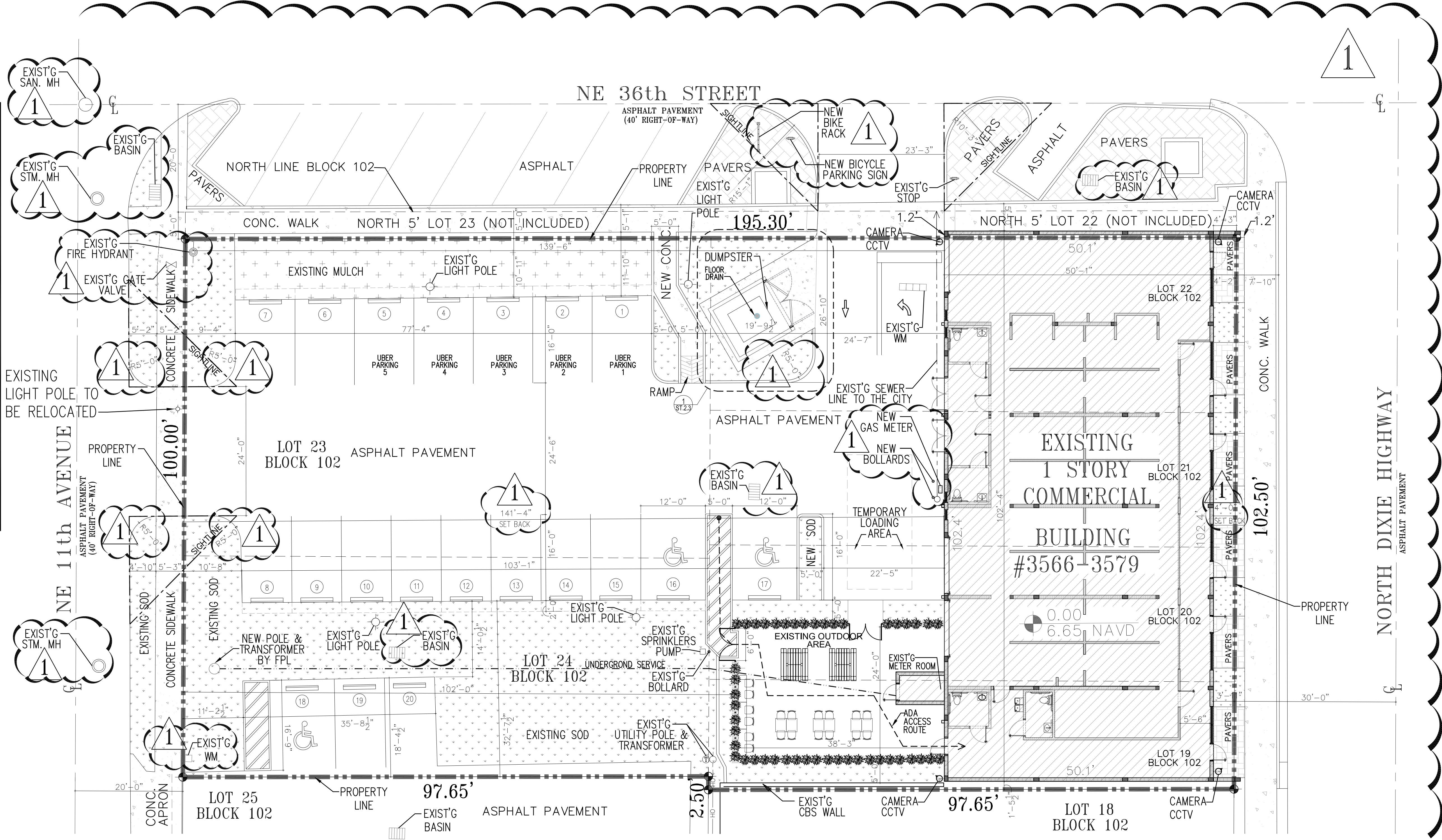
LS.1 LIFE SAFETY PLAN







- GENERAL NOTES:**
1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND ANGLES AND ALL OTHER EXISTING CONDITIONS PRIOR TO COMMENCING ANY WORK. CONTRACTOR TO ALSO VERIFY AND APPROVE ALL INFORMATION ON DRAWINGS. ACCEPTANCE OF THESE PLANS CONSTITUTES APPROVAL. PLEASE NOTIFY ENGINEER BY CERTIFIED MAIL OF ANY CONFLICTS OR DISCREPANCIES, IF ANY.
  2. CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN PLUMBNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS DURING CONSTRUCTION.
  3. THE CONTRACTOR SHALL OBTAIN FROM ALL SUBCONTRACTORS THE FINAL APPROVED SITE AND LOCATION OF ALL OPENINGS TO BE PROVIDED FOR RESPECTIVE TRADES. HE SHALL BE RESPONSIBLE FOR LOCATION AND DETAILS.
  4. ALL CONCRETE FOR FOUNDATIONS & SLABS ON GRADE SHALL REACH 2500 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS, AND ALL COLUMNS, GROUTED CELLS, SLABS ABOVE GRADE AND TIE BEAMS SHALL REACH 3000 P.S.I. COMPRESSIVE STRENGTH MINIMUM AT 28 DAYS UNLESS OTHERWISE NOTED.
  5. CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR VERIFYING REQUIRED GRADE & FINISHED FLOOR ELEVATIONS WITH RESPECT TO DADE COUNTY FLOOD CRITERIA, EXISTING CROWN OF ROAD ELEVATIONS, FEDERAL FLOOD CRITERIA OR ANY OTHER GOVERNING BODY.
  6. OWNER AND CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING, BY CERTIFIED MAIL UPON COMMENCEMENT OF PROJECT.
  7. THE OWNER SHALL BE SOLELY RESPONSIBLE FOR INVESTIGATION IN REFERENCE TO WHETHER STRUCTURE CAN BE BUILT ON SITE. PAYMENT OF THESE DRAWINGS CONSTITUTES ACCEPTANCE & AGREEMENT WITH THE FOLLOWING STATEMENT: NO PARTY SHALL INITIATE DELAY CLAIMS GERALD TODD PERRODIN, LIABILITIES SHALL BE LIMITED TO FEES PAID TO THE DESIGN PROFESSIONAL.



**PROPOSED SITE PLAN**  
SCALE: 1" = 10'-0"

\* CCTV WILL BE PROVIDED

SITE DATA			
TYPE:	III B		
OCCUPANCY:	RETAIL, OFFICE & RESTAURANT		
ZONING DISTRICT:	LOCAL DOWNTOWN CORE		
FUTURE LAND USE MAP (FLUM):	LOCAL ACTIVITY CENTER		
TOTAL SITE AREA:	19,860 SQ. FT. OR 0.46 ACRE	100.00%	
BUILDING FOOTPRINT:	5,139 SQ. FT.	25.87%	
EXISTING BUILDING AREA:	5,113 SQ. FT.		
EXISTING METER ROOM:	27 SQ. FT.		
PARKING INFORMATION:			
REQUIRED PARKING:	1/350sf 5,139 / 350sf =	15 Required	
Net Interior:	1/350sf 2,091-700 = 1,391/ 350sf =	4 Required	
Outdoor Customer:	1/350sf 2,091-700 = 1,391/ 350sf =	4 Required	
TOTAL REQUIRED:	= 19 PARKING		
PARKING:			
HANDICAP SPACES=	3		
STANDARD SPACES=	17		
TOTAL PROVIDED:	= 20 PARKING		
BICYCLE PARKING SPACES:	5 BIKE WAVE RACK PLAN		
LOADING ZONES:	1 LOADING ZONE (12'-0" X 25'-0")		
VEHICULAR USE AREA:	8,025 SQ. FT.	40.40%	
OPEN SPACE AREA:	1,493 SQ. FT.	7.51%	
PERVIOUS AREA:	2,807 SQ. FT.	14.13%	
IMPERVIOUS AREA:	621 SQ. FT.	3.12%	
LANDSCAPED AREA:	1,667 SQ. FT.	8.39%	
NUMBER OF STORIES:			
BUILDING HEIGHTS:	REQUIRED ONE STORY	PROVIDED	
	16'-0" TOP OF PARAPET	12'-4" TOP OF ROOF	
SETBACK REQUIREMENTS:			
	REQUIRED	PROVIDED	
FRONT (EAST)	12'-0"	4'-3"	
SITE (NORTH)	10'-0"	0'-0"	
REAR (WEST)	10'-0"	14'-4"	
SIDE (SOUTH)	10'-0"	1'-6"	

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**SITE PLAN LEGEND:**

- PROPERTY LINE
- BUILDING LINE
- BUILDING AREA
- EXISTING SOD
- EXISTING CONCRETE
- EXISTING PAVERS
- EXISTING MULCH



**1** CODE IN EFFECT: 2023 Florida Building Code - 8th. Edition

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STATE OF FLORIDA  
OSCAR J. CABEZA  
AR96758  
REGISTERED ARCHITECT

OSCAR CABEZA  
FLORIDA ARCHITECT  
No. AR96758

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DATE:      ISSUE:

PROJECT: OAKLAND GHOST KITCHEN

ADDRESS: 3569-3579 N. DIXIE HIGHWAY  
OAKLAND PARK, FL 33334

PROJECT NUMBER: CD24-122 Oakland Ghost Kitchen (Major Amendment)

OWNER:

PROJECT NUMBER: 22-1369

DATE: 04.04.23

REV.1: 10.23.24

SHEET TITLE

**PROPOSED SITE PLAN**

SCALE: AS NOTED

SHEET NO. ST.2



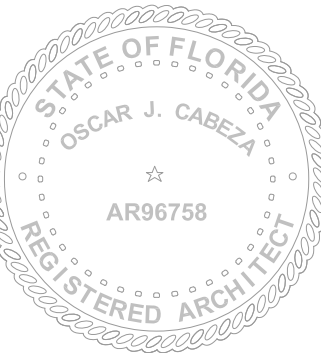
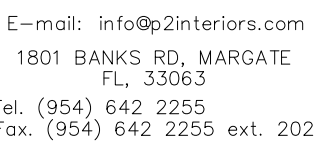
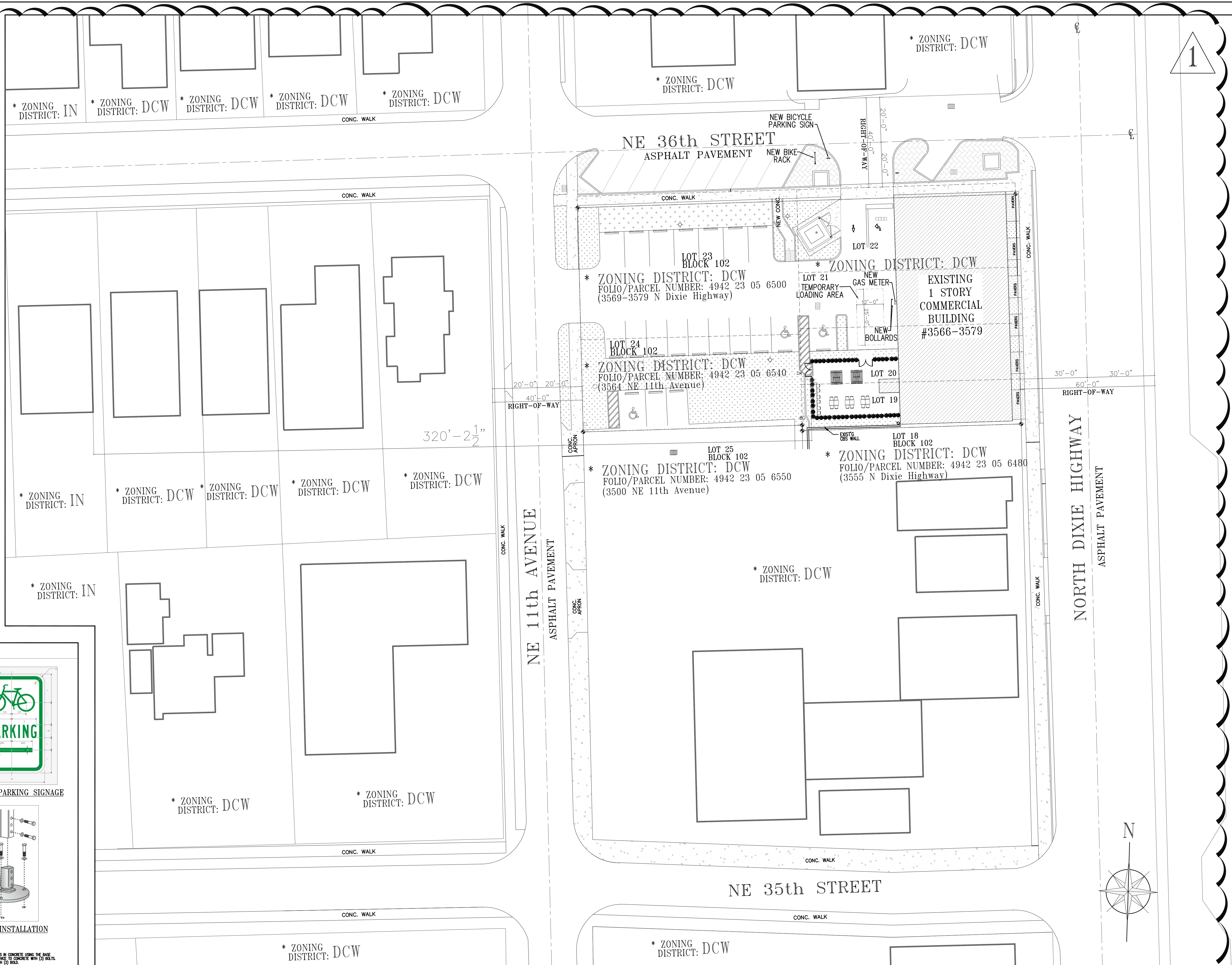
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2. ACCEPTANCE OF THESE PLANS CONSTITUTES ACCEPTANCE OF ALL INFORMATION AND CERTIFIED MAIL OF ANY CONFLICTS OR DISCREPANCIES, IF ANY.
3. CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN PLUMBNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL OBTAIN FROM ALL SUBCONTRACTORS THE FINAL APPROVED SITE AND LOCATION OF ALL OPENINGS TO BE PROVIDED FOR RESPECTIVE TRADES. HE SHALL BE RESPONSIBLE FOR LOCATING ALL OPENINGS.
5. ALL CONCRETE FOR FOUNDATIONS & SLABS ON GRADE SHALL REACH 2500 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS, AND ALL COLUMNS, GROUTED CELLS, SLABS ABOVE GRADE AND BEAMS SHALL REACH 4000 P.S.I. COMPRESSIVE STRENGTH MINIMUM AT 28 DAYS UNLESS OTHERWISE NOTED.
6. CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR VERIFYING REQUIRED GRADE & FINISHED FLOOR ELEVATIONS WITH THE EXISTING GRADE COURSE AND FINISHED FLOOR CROWN OF ROAD ELEVATIONS, FORMAL FLOOD CRITERIA OR ANY OTHER GOVERNING BODY.
7. OWNER AND CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING, BY MAIL UPON COMMENCEMENT OF PROJECT.
8. THE OWNER SHALL BE SOLELY RESPONSIBLE FOR INVESTIGATION IN REFERENCE TO WHETHER STRUCTURE CAN BE BUILT ON SITE. PAYMENT OF THESE DRAWINGS CONSTITUTES ACCEPTANCE & AGREEMENT WITH THE DESIGN. CONTRACTOR SHALL NOT INITIATE DELAY CLAIMS. GERALD TODD PREORDAIN, LIABILITIES SHALL BE LIMITED TO FEES PAID TO THE DESIGN PROFESSIONAL.

Top View Detail and Example of Bollard Locations That Provide Protection from All Possible Directions of Vehicular Travel

Labels in the top view include: Possible Direction of Vehicular Travel, Possible Direction of Vehicular Travel, Gas Meter Assembly, Building Wall, Edge of MSA, 8", 8", Edge of MSA, Do not install centerlines of guard posts in shaded area, Possible Direction of Vehicular Travel, Possible Direction of Vehicular Travel, Edge of MSA, Possible Direction of Vehicular Travel.

Labels in the bottom view include: 2.1/2" Dia steel pipes filled with concrete, 42" Min above grade, Driveway or parking area, Underground concrete base, 24", 30".

\* BOLLARDS INSTALLATION DETAIL.



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[illegible]

**PROJECT:** OAKLAND GHOST KITCHEN  
**ADDRESS:** 3569-3579 N. DIXIE HIGHWAY  
 OAKLAND PARK, FL 33334  
**PROJECT NUMBER:**  
 CD24-12Z Oakland Ghost Kitchen (Major Amendment)  
**OWNER:**

PROJECT NUMBER: 22-136

DATE: 04.04.23

EV.1: 10.23.24

EET TITLE

# PARTIAL SITE PLAN & DETAILS

FILE: AS NOTED

SHEET NO.

ST.2.1

ALL MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH THE PROJECT.

CODE IN EFFECT: 2023 Florida Building Code – 8th. Edition



- Notes:
1. 6" plain end inlet/outlet
2. Unit weight – w/ cast iron covers: 824 lbs. (for wet weight add 8,413 lbs.)
3. Maximum operating temperature: 150° F continuous
4. Capacities – Liquid: 1,000 gal.;  
Grease: 5,495 lbs. (753 gal.) @100GPM  
Grease: 4,959 lbs. (679 gal.) @200GPM  
Solids: 211 gal.
5. Satisfies Miami DERM 99% efficiency requirements; retaining the following capacities at 99.0% efficiency:  
5,272 lbs. (722 gal.) @100GPM  
3,127 lbs. (428 gal.) @200GPM
6. For gravity drainage applications only.
7. Do not use for pressure applications.
8. Cover placement allows full access to tank for proper maintenance.
9. Vent not required unless per local code.
10. Engineered inlet and outlet diffusers with inspection ports are removable to inspect / clean piping.
11. Integral air relief / Anti-siphon / Sampling access.
12. Adjustable cover adapters provide up to 4" of additional height.
13. Designed for below-grade, above-grade, indoor or outdoor installations.
14. Safety Star® access restrictor built into each cover adapter, prevents accidental entry to tanks (450 lb rating).

8" CONCRETE SLAB  
4,000 PSI

REBAR

USE No. 4 REBAR (or 1/2") GRADE 60  
STEEL PER ASTM A615; CONNECTED  
WITH TIE WIRE. REBAR TO BE 2-1/2"  
FROM EDGE  
OF CONCRETE AND SPACE IN A 12"  
GRID WITH 4" SPACING AROUND  
ACCESS OPENING.

V.I.F.

V.I.F.

VEHICULAR TRAFFIC AREAS:  
MINIMUM 8" THICK CONCRETE SLAB WITH REBAR REQUIRED. THICKNESS OF CONCRETE AROUND COVERS TO BE DETERMINED BY SPECIFYING ENGINEER. IF TRAFFIC LOADING IS REQUIRED THE CONCRETE SLAB DIMENSIONS SHOWN ARE FOR GUIDELINE PURPOSE ONLY. CONCRETE TO BE 28 DAY COMPRESSIVE STRENGTH TO 4,000 PSI. USE NO. 4 REBAR (6 1/2") GRADE 60 STEEL PER ASTM A615; CONNECTED WITH THE WIRE. REBAR TO BE 2-1/2" FROM EDGE OF CONCRETE AND SPACED IN A 12" GRID WITH 4" SPACING AROUND ACCESS OPENING.

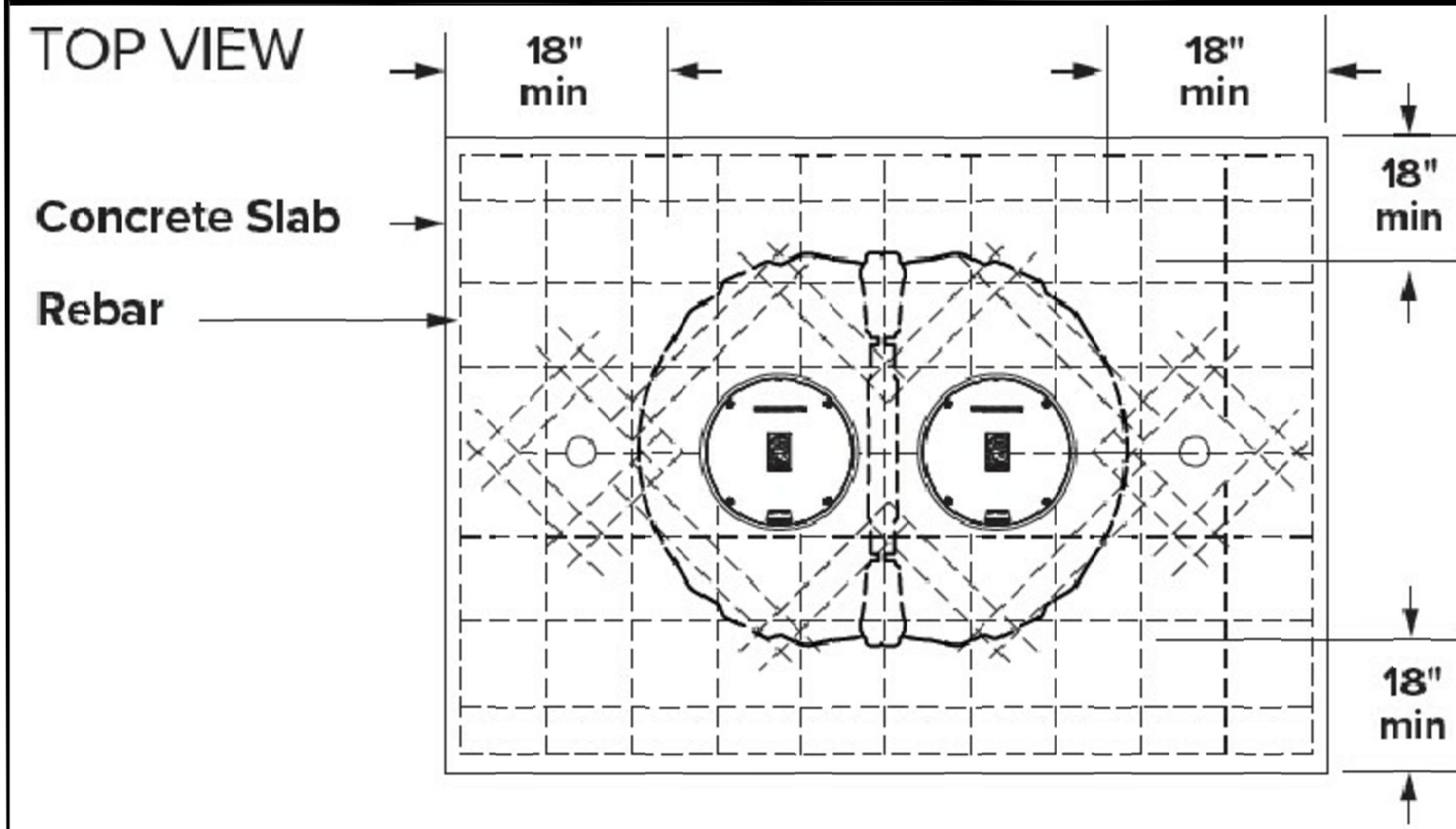
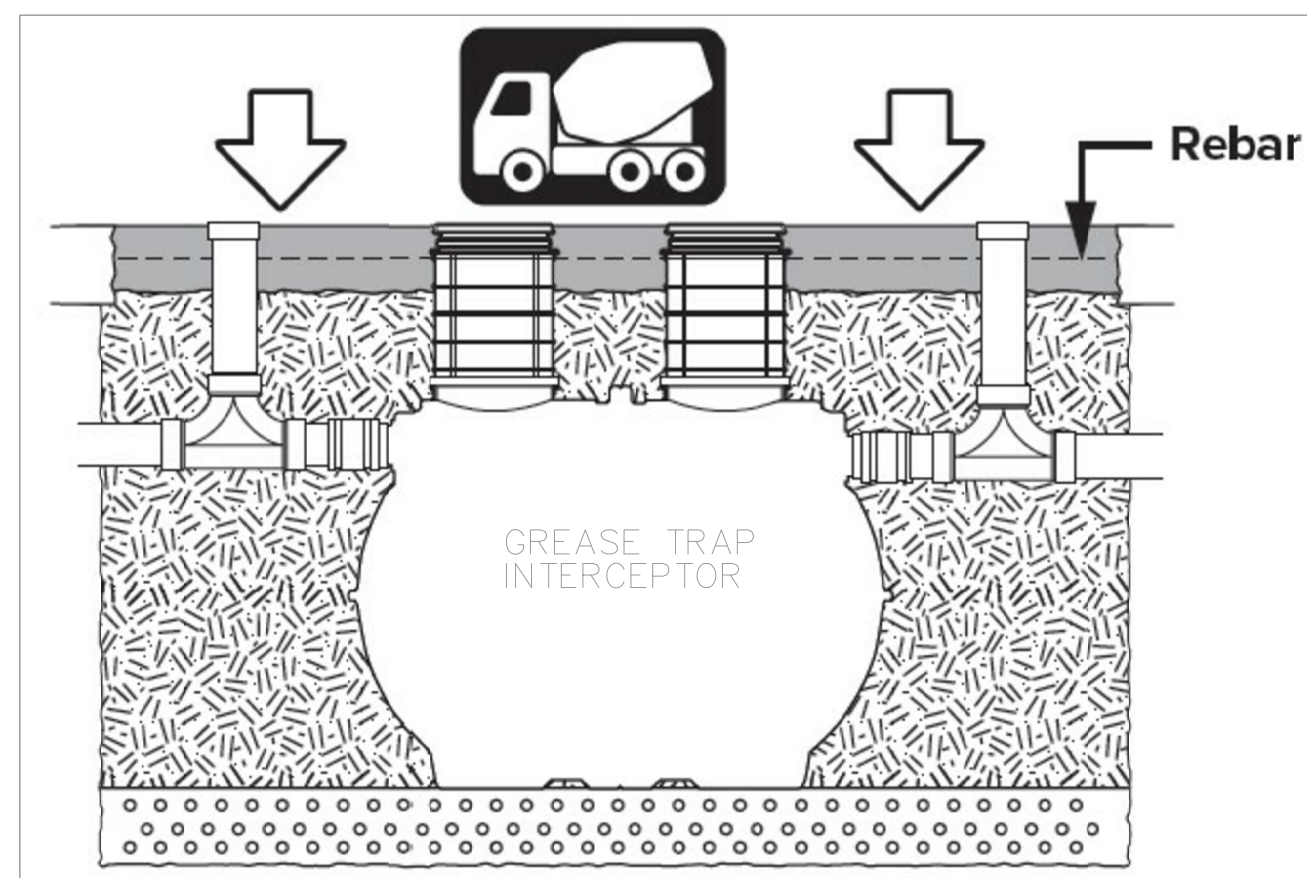
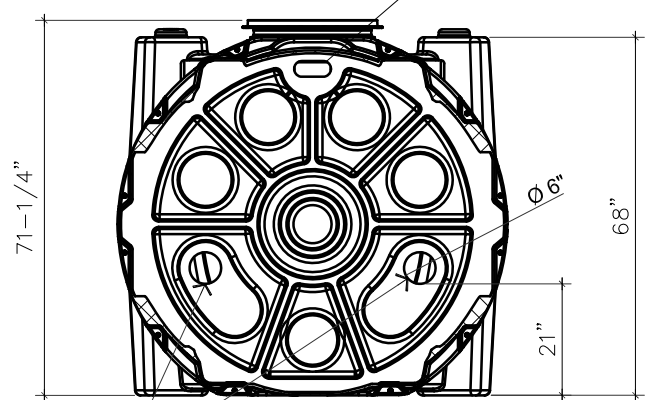
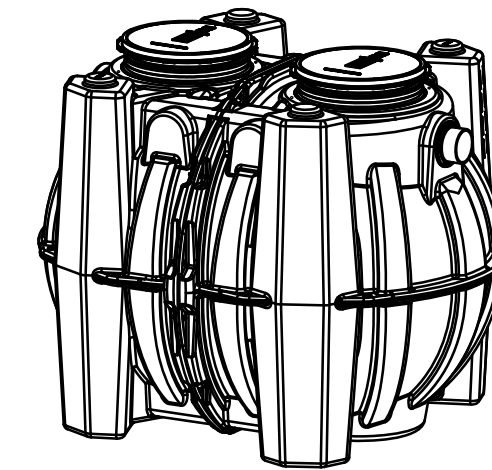


Diagram illustrating the top view of the helmet, showing dimensions and labels:

- Overall width: 92"
- Left side width: 27"
- Center width: 38"
- Right side width: 27"
- Overall height: 73 = 3/4"
- Labels: A, A, Safety Star®
- Arrow pointing right



Baffle Wall Opening  
for fluid pass through

SECTION B-B

ASPHALT PAVEMENT

10'-0" CONCRETE SLAB (VF)

6'-2" GREASE INTERCEPTOR

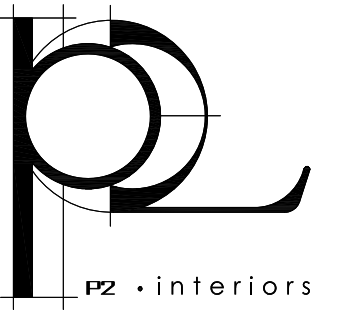
7'-0" (VF)

11'-6" CONCRETE SLAB (VF)

7'-8" GREASE INTERCEPTOR

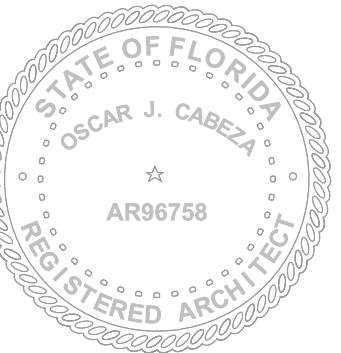
13'-6" (VF)

EXISTING OUTDOOR AREA



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DATE	ISSUE
------	-------

**PROJECT:** OAKLAND GHOST KITCHEN  
**ADDRESS:** 3569-3579 N. DIXIE HIGHWAY  
 OAKLAND PARK, FL 33334  
**PROJECT NUMBER:**  
 CP24-12Z Oakland Ghost Kitchen (Major Amendment)  
**OWNER:**

PROJECT NUMBER: 22-1369

DATE: 04.04.23

EV.1: 10.23.24

EET TITLE

## GREASE INTERCEPTOR DETAILS

FILE: AS NOTED

SHEET NO.

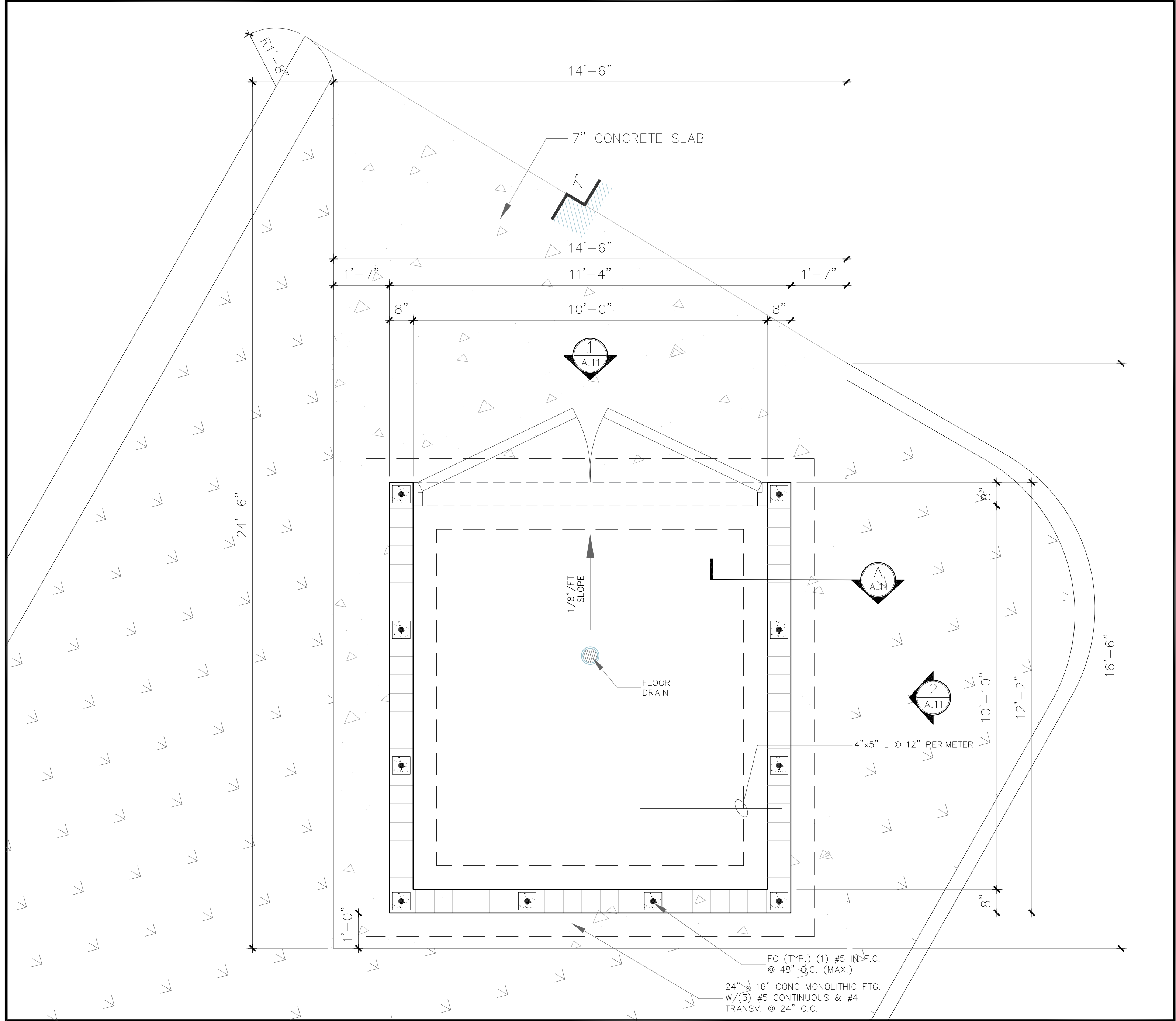
ST.2.2

MEMPHIS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

3.3.3 SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS AND CONDITIONS ON THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS THESE DRAWINGS.

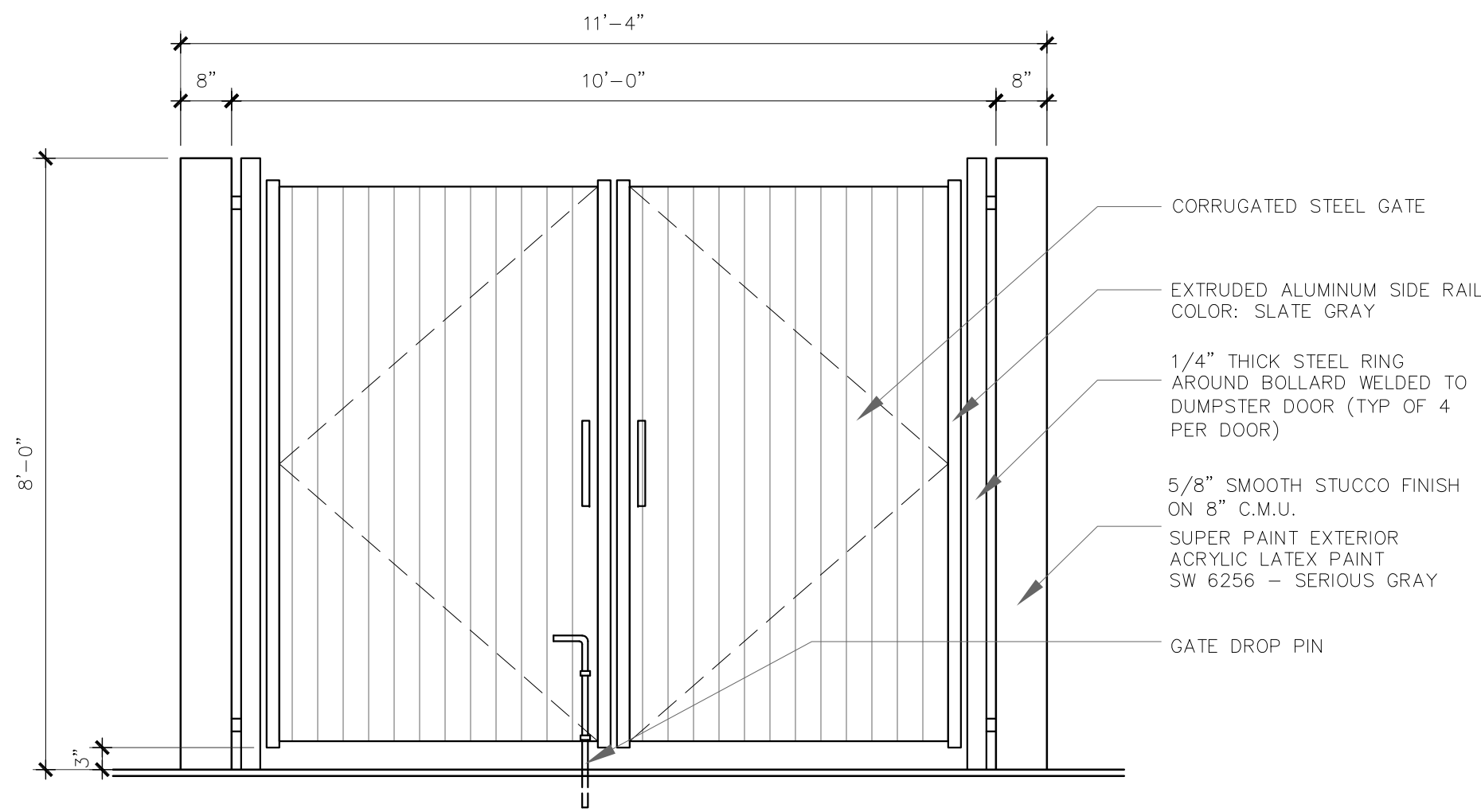
3.3.4 MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH





DUMPSTER ENCLOSURE FOUNDATION & PLAN

SCALE: 1/2"= 1'-0"



FRONT ELEVATION

SCALE: 1/2"= 1'-0"

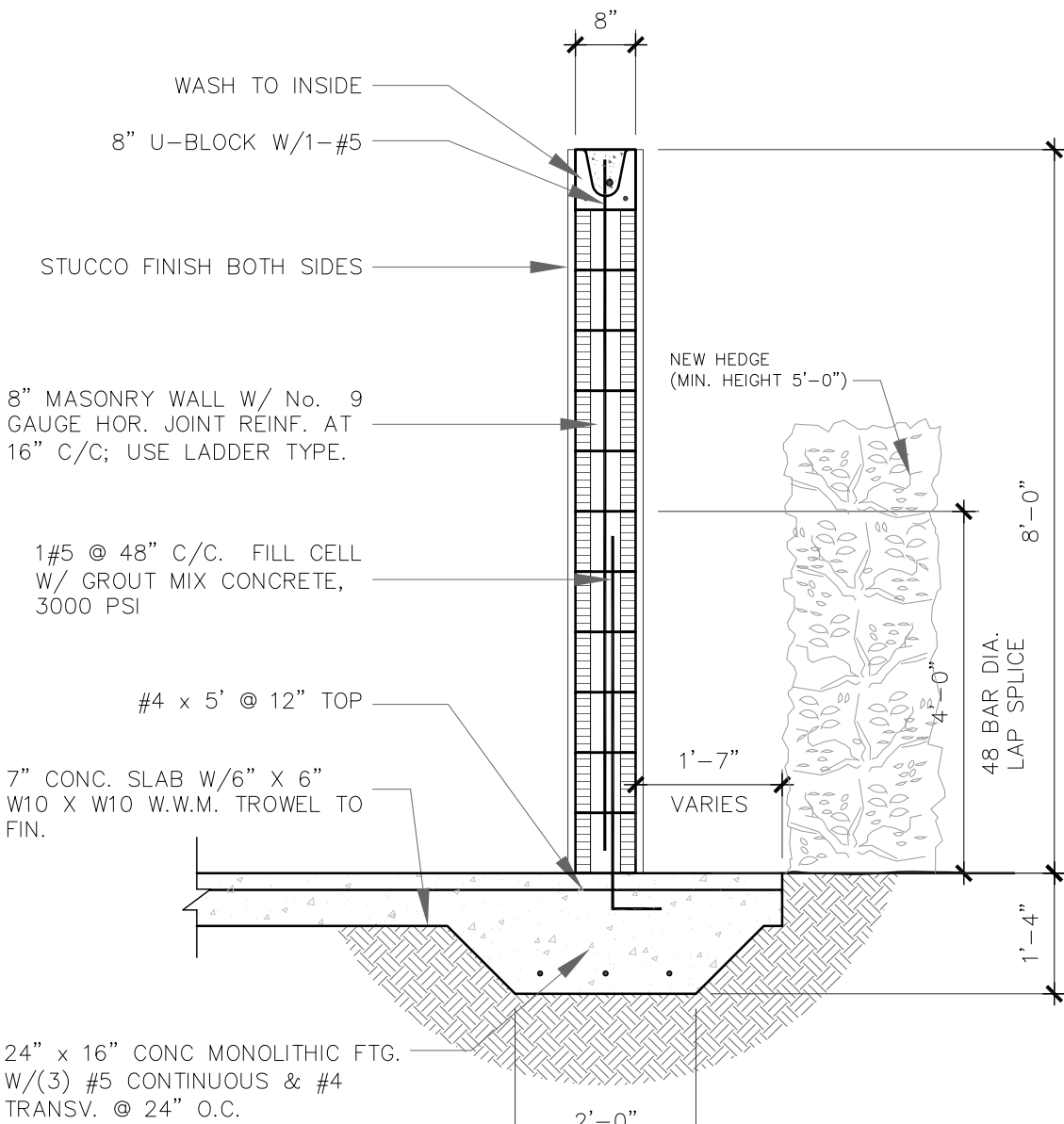
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DUMPSTER PLAN NOTES :

1. PROVIDE 6" CONCRETE SLAB REINFORCED W/ 6X6 2.9W X 2.9W WWM. OVER 6 MIL VAPOR BARRIER OVER WELL COMPACTED SOIL.
2. PROVIDE 1#5 @ 48" C/C PLUS AS SHOWN IN PLAN.

SOIL STATEMENT:

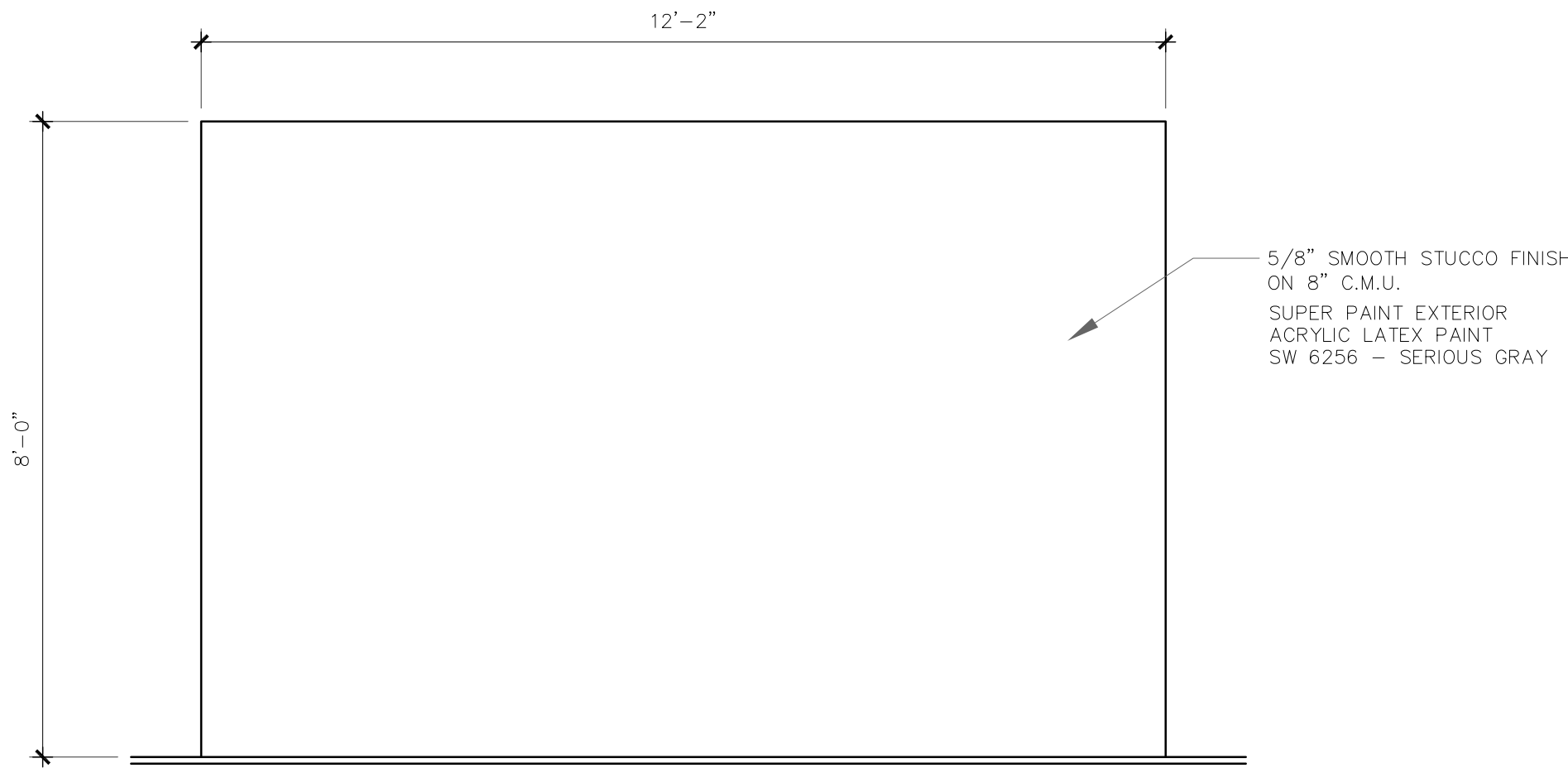
THE ENGINEER HAS VISITED & OBSERVED THE SITE AND FOUND THE FOUNDATION CONDITIONS ARE SAND AND LOOSE ROCK, WHICH ARE SIMILAR TO DESIGN BASIS. FURTHERMORE, UPON BREAKING OF GROUND, A LETTER SHALL BE SUBMITTED TO THE BUILDING OFFICIAL VERIFYING AND ATTESTING THAT THE SITE CONDITIONS ARE SIMILAR TO THOSE WHICH THE DESIGN WAS BASED ON. ASSUMED BRG. CAP. IS 2500 P.S.F.



WALL SECTION

SCALE: 1/2"= 1'-0"

A

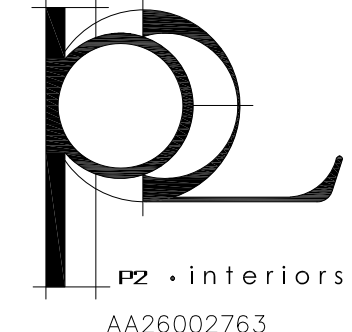


FRONT ELEVATION

SCALE: 1/2"= 1'-0"

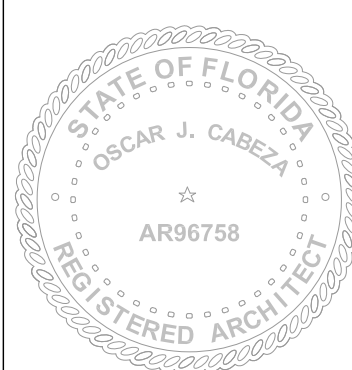
2

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OSCAR CABEZA.

DATE	ISSUE

- PROJECT: OAKLAND GHOST KITCHEN
- ADDRESS: 3569-3579 N. DIXIE HIGHWAY  
OAKLAND PARK, FL 33334
- PROJECT NUMBER:  
CD24-127 Oakland Ghost Kitchen (Major Amendment)
- OWNER:

PROJECT NUMBER: 22-1369

DATE: 04.04.23

REV.1: 10.23.24

SHEET TITLE

DUMPER PLAN  
& DETAILS

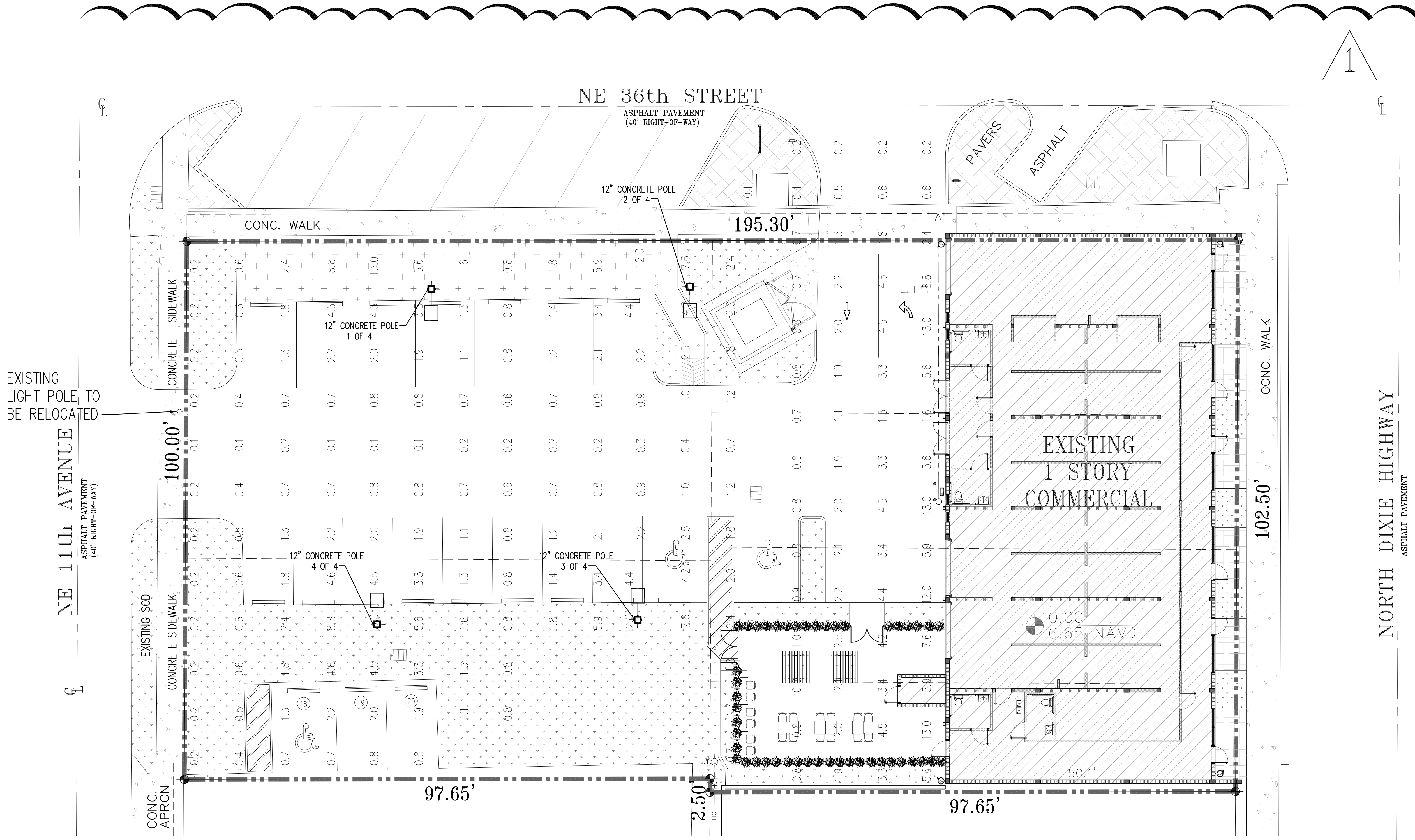
SCALE: AS NOTED

SHEET NO.

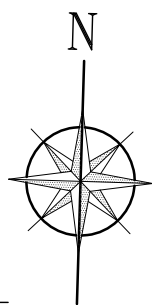
ST.2.3

NOTES:  
1. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.  
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.  
3. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.  
4. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.  
5. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.  
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8. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.  
9. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.  
10. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.





SITE PHOTOMETRIC PLAN  
SCALE: 1"= 10'-0"



CALCULATION SUMMARY								
Label	CalcType	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Illuminance	Illuminance	Fc	1.80	13.5	0.0	N.A.	N.A.

LUMINARIES SCHEDULE								
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
	7	B	SINGLE	XAS3-FT-LED-63-550-CW-UE 12' M.H.	0.09	N.A.	7059	122

CODE IN EFFECT: 2023 Florida Building Code – 8th. Edition

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FLORIDA ARCHITECT  
No. AR96758

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DATE	ISSUE

- PROJECT: OAKLAND GHOST KITCHEN
- ADDRESS: 3569-3579 N. DIXIE HIGHWAY  
OAKLAND PARK, FL 33334
- PROJECT NUMBER:  
CD24-12Z Oakland Ghost Kitchen (Major Amendment)
- OWNER:

PROJECT NUMBER: 22-1369

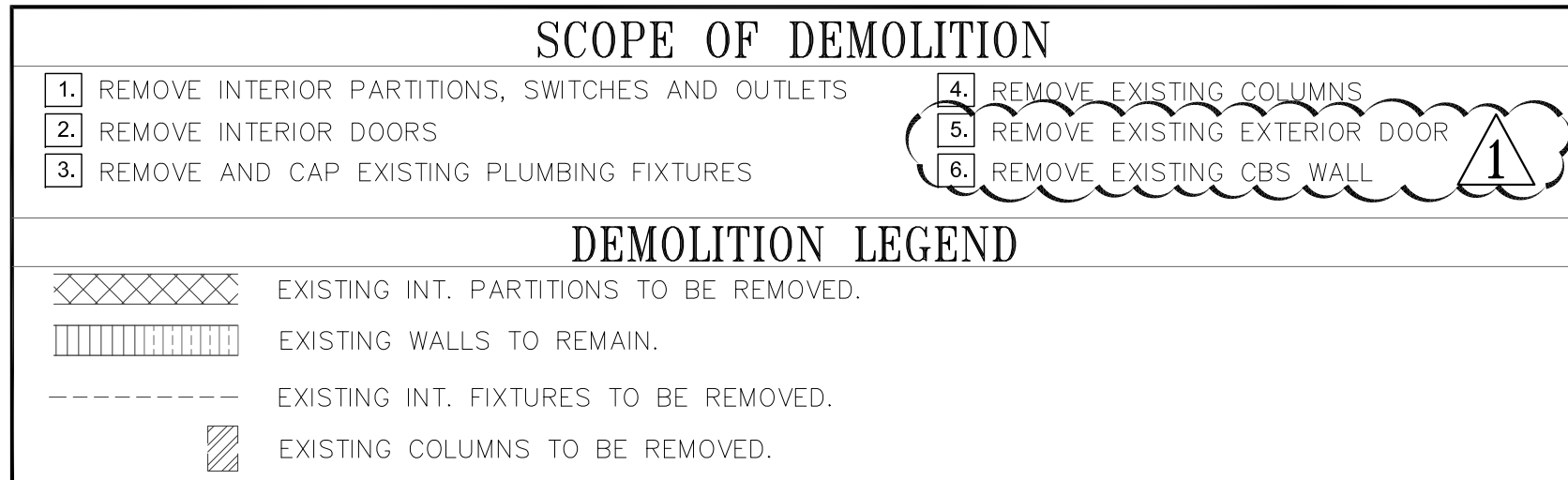
DATE: 04.04.23

REV.1: 10.23.24

SHEET TITLE  
**SITE  
PHOTOMETRIC  
PLAN**  
SCALE: AS NOTED

SHEET NO.  
**ST.3**





## DEMOLITION NOTES

DEMOLITION NOTES			
PART I	SUMMARY	PART III	EXECUTION
1.01	DESCRIPTION	3.01	PERFORMANCE :
A.	FURNISH ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES TO PERFORM DEMOLITION AND REMOVAL OF DEBRIS FROM DEMOLITION OPERATIONS AS INDICATED ON DRAWINGS AND SPECIFIED IN THIS SECTION.	A.	PREVENT DAMAGE TO ADJOINING STRUCTURES AND OWNER'S SALVAGED PROPERTY DURING DEMOLITION.
1.02	QUALITY ASSURANCE	B.	CONTRACTOR TO VERIFY ALL STRUCTURAL CONDITION BEFORE COMMENCING WITH DEMOLITION. NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
A.	QUALIFICATIONS :	C.	PREVENT DAMAGE TO OVERHEAD WIRES, UNDERGROUND CABLES, TELEPHONE, WATER, AND SEWER LINES DURING DEMOLITION. CONTRACTOR TO COORD. W/UTILITIES TO VERIFY THE LOCATION OF ALL UNDERGROUND AND OVERHEAD LINES
1.	PROVIDE STAFF RESPONSIBLE FOR DEMOLITION WORK FULLY EXPERIENCED IN THIS TYPE OF WORK.	D.	SHORE STRUCTURE AS REQUIRED TO PREVENT STRUCTURAL DAMAGE OR COLLAPSE. REMOVE FINISHES FIRST IN ORDER
2.	PROVIDE EQUIPMENT OF SUITABLE TYPE, IN GOOD WORKING CONDITION, AND OPERATED BY SKILLED MECHANICS.		TO ASCERTAIN WHICH ITEMS ARE OF A STRUCTURAL NATURE. CONTRACTOR SHALL PROVIDE AN ADEQUATE SHORING PLAN. SAID SHORING PLAN SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF FLORIDA.
3.	PERFORM WORK IN SAFE AND CAUTIOUS MANNER TO AVOID ACCIDENTS OR PROPERTY DAMAGE.	E.	REMOVE ALL ROTTEN WOOD SHEATHING, JOISTS, AND TRUSSES.
4.	REMOVAL AND DEMOLITION OF HAZARDOUS MATERIALS SHALL BE PERFORMED BY COMPANY LICENSED AND QUALIFIED TO DO SO.	F.	REMOVAL, DISPOSAL AND DEMOLITION OF HAZARDOUS MATERIALS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES, RULES AND REGULATIONS.
B.	REFERENCE STANDARDS : COMPLY WITH ALL CODES AND REGULATIONS REGARDING DEMOLITION WORK.	3.02	ADJUST AND CLEAN :
	PRODUCTS	A.	REMOVE ALL DEMOLITION MATERIALS, DEBRIS, AND RUBBISH FROM SITE IMMEDIATELY ON COMPLETION OF DEMOLITION WORK.
2.01	SALVAGED ITEMS :	B.	DO NOT PERMIT ANY ACCUMULATION OF DEBRIS ON SITE.
A.	OTHER SALVAGED COMPONENTS WILL BE THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IMMEDIATELY UPON DISCONNECTION FROM BUILDING.		
		C.	TRANSPORT ALL DEMOLITION MATERIALS WITHOUT SPILLAGE ON STREETS.
		D.	LEAVE SITE NEAT AND ORDERLY ON COMPLETION OF DEMOLITION WORK.
		1.	GENERAL CONTRACTOR SHALL CAP AND IDENTIFY EXPOSED UTILITIES.
		2.	GENERAL CONTRACTOR TO PROVIDE PERMITS AND NOTICES AUTHORIZING DEMOLITION.
		3.	GENERAL CONTRACTOR TO PROVIDE PERMIT FOR TRANSPORT AND DISPOSAL OF DEBRIS.
		4.	GENERAL CONTRACTOR SHALL SUBMIT A SCHEDULE FOR DEMOLITION PROCEDURES AND OPERATIONAL SEQUENCE.
		5.	GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE. ASSUME LIABILITY FOR DAMAGE OR INJURY RELATED TO ANY PORTION OF THE WORK.
		6.	GENERAL CONTRACTOR SHALL CLOSE OPERATIONS AND NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATION UNTIL SAFETY IS RESTORED.
		7.	GENERAL CONTRACTOR SHALL, EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE UNLESS OTHERWISE NOTIFIED.
		8.	GENERAL CONTRACTOR SHALL DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK.
		9.	GENERAL CONTRACTOR SHALL PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
		10.	GENERAL CONTRACTOR SHALL REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO COST TO THE OWNER.
		11.	GENERAL CONTRACTOR SHALL REMOVE FROM SITE, CONTAMINATED, VERMIN INFESTED OR DANGEROUS MATERIALS ENCOUNTERED AND SPOSE OF BY SAFE MEANS SO AS NOT TO ENDANGER HEALTH OR WORKERS AND PUBLIC.

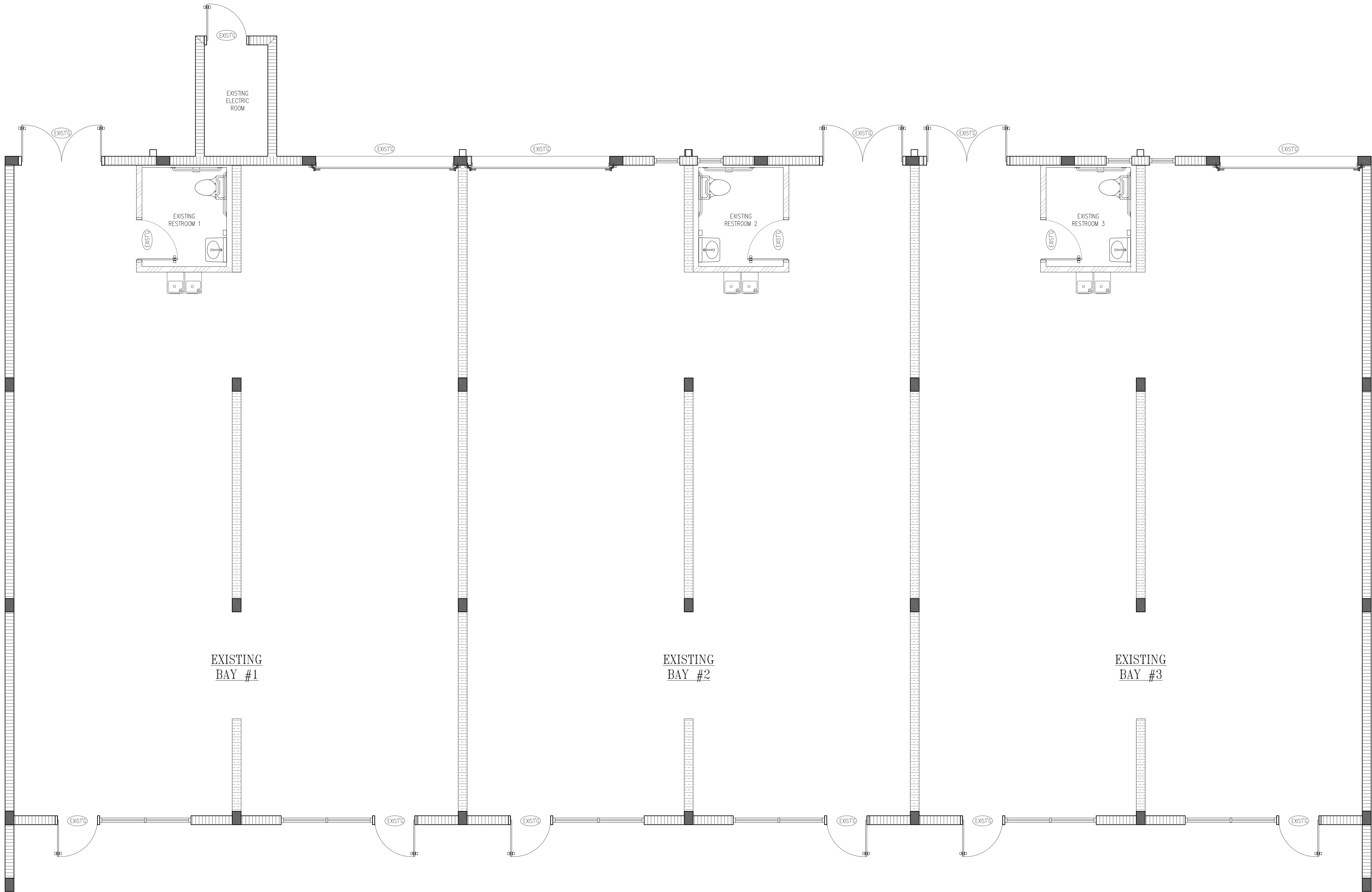
**1** CODE IN EFFECT: 2023 Florida Building Code - 8th, Edition



SHEET NO.  
D.1

10. ALL DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
TRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS AND CONDITIONS  
AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CON-  
DITIO NS BY THESE DRAWINGS.  
ALL DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL, BEFORE PROCEEDING WITH  
CONSTRUCTION.





EXISTING FLOOR PLAN  
SCALE: 1/4" = 1'-0"

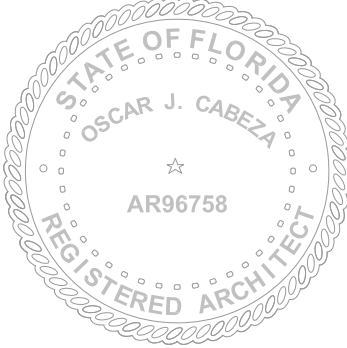
WALL LEGEND:	
	EXISTING EXTERIOR C.B.S. WALL
	EXISTING INTERIOR C.B.S. WALL
	EXIST'G 5/8" GYP. BD. WALLS
	EXISTING METAL STUD PARTITION UP TO CONC. ROOF DECK



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DATE	ISSUE

PROJECT: OAKLAND GHOST KITCHEN

ADDRESS: 3569-3579 N. DIXIE HIGHWAY  
OAKLAND PARK, FL 33334

PROJECT NUMBER:  
CD24-12Z Oakland Ghost Kitchen (Major Amendment)

OWNER:

PROJECT NUMBER: 22-1369

DATE: 04.04.23

REV.1: 10.23.24

SHEET TITLE

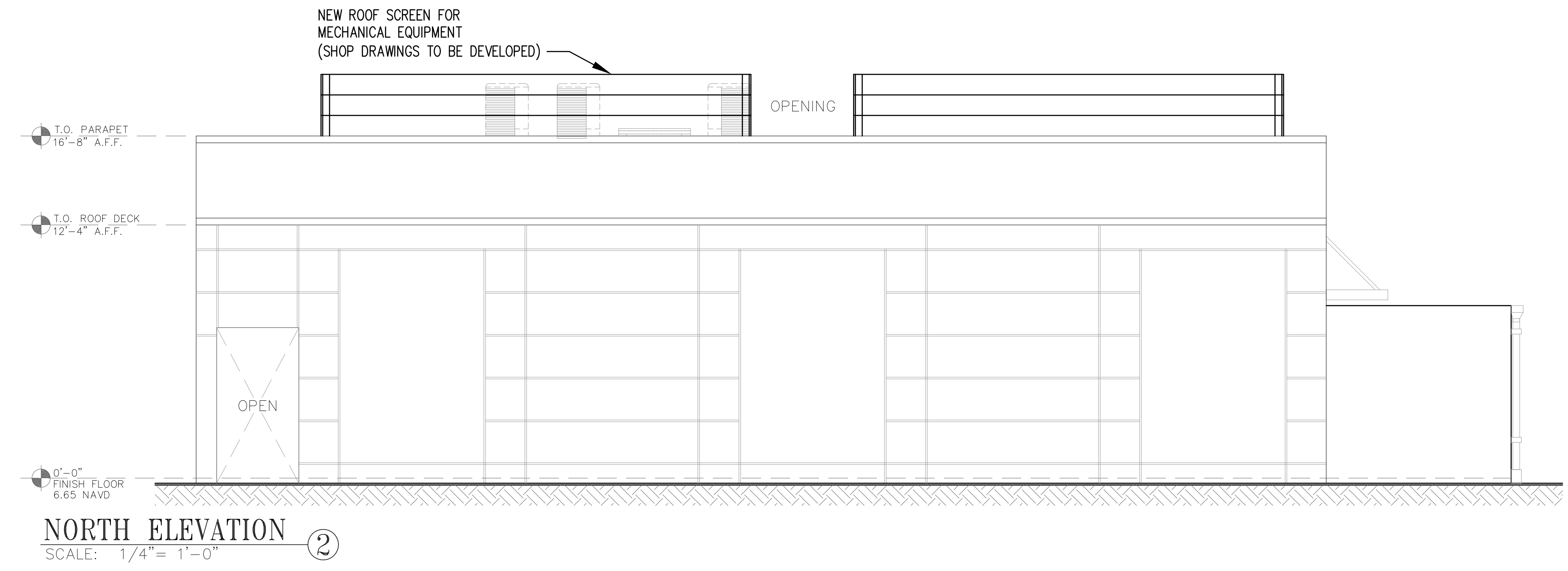
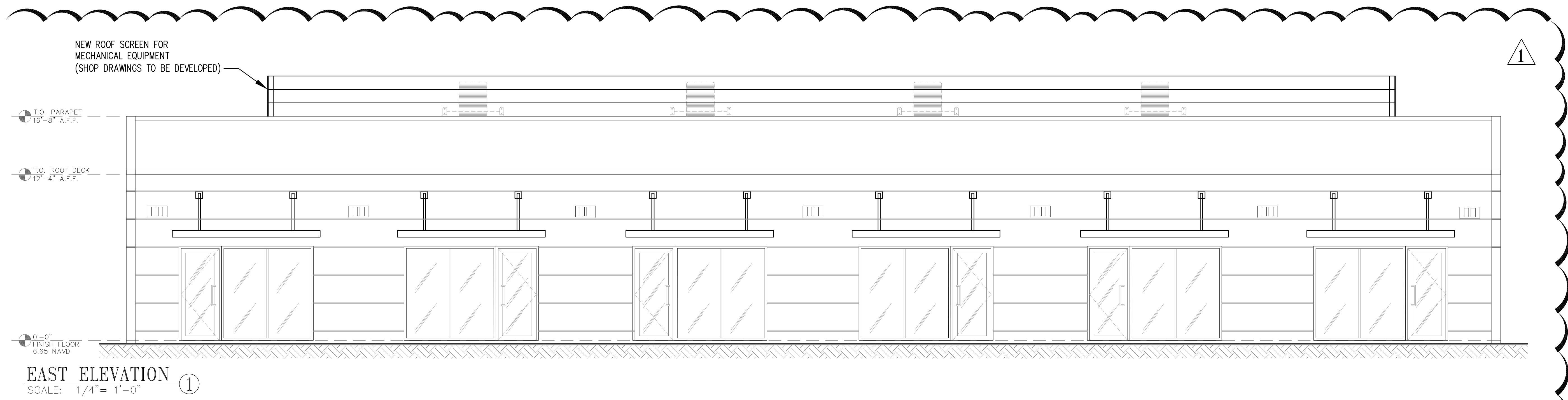
**EXISTING FLOOR PLAN**

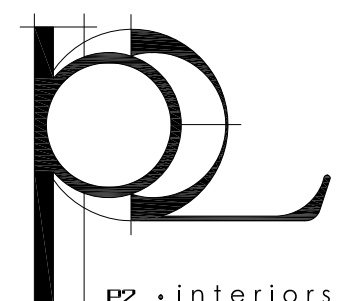
SCALE: AS NOTED

SHEET NO.

**A.0.0**

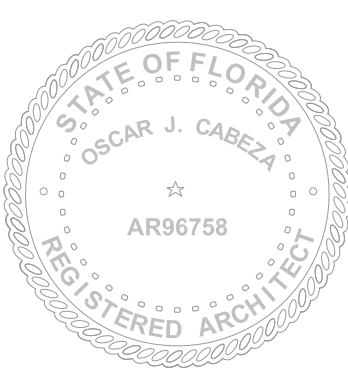






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DATE: 04.04.23

REV.1: 10.23.24

SHEET TITLE

**ELEVATIONS**

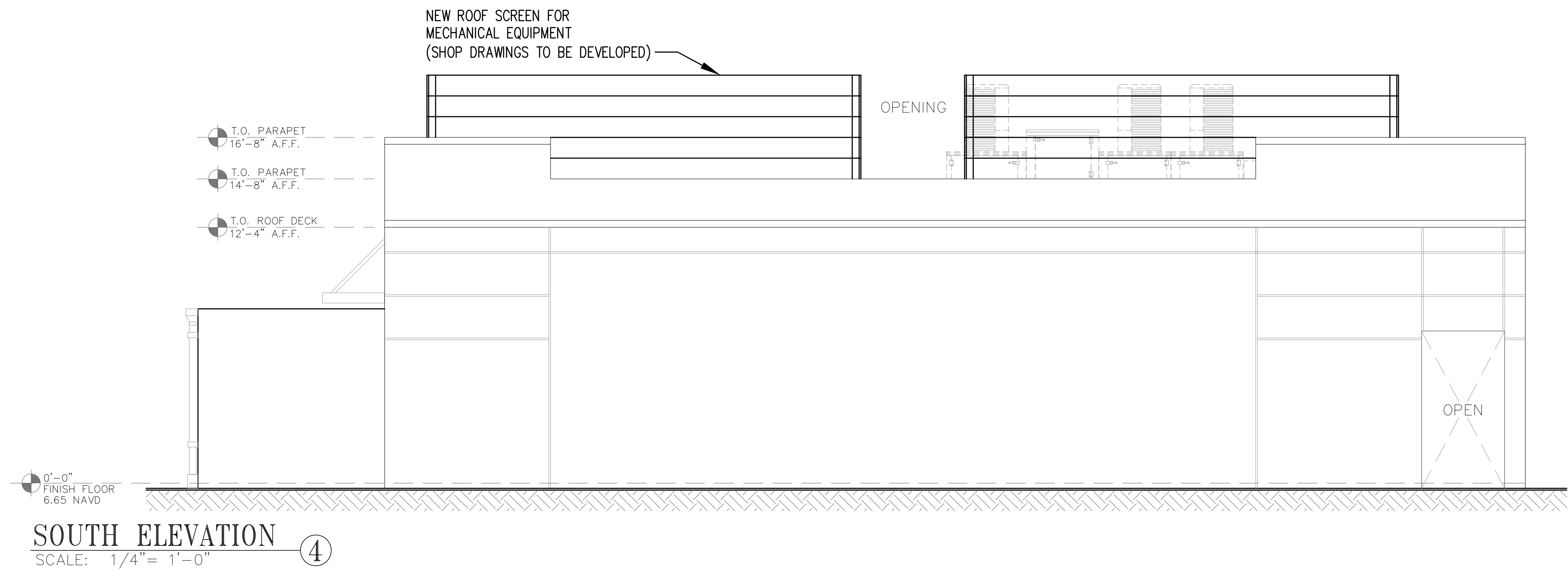
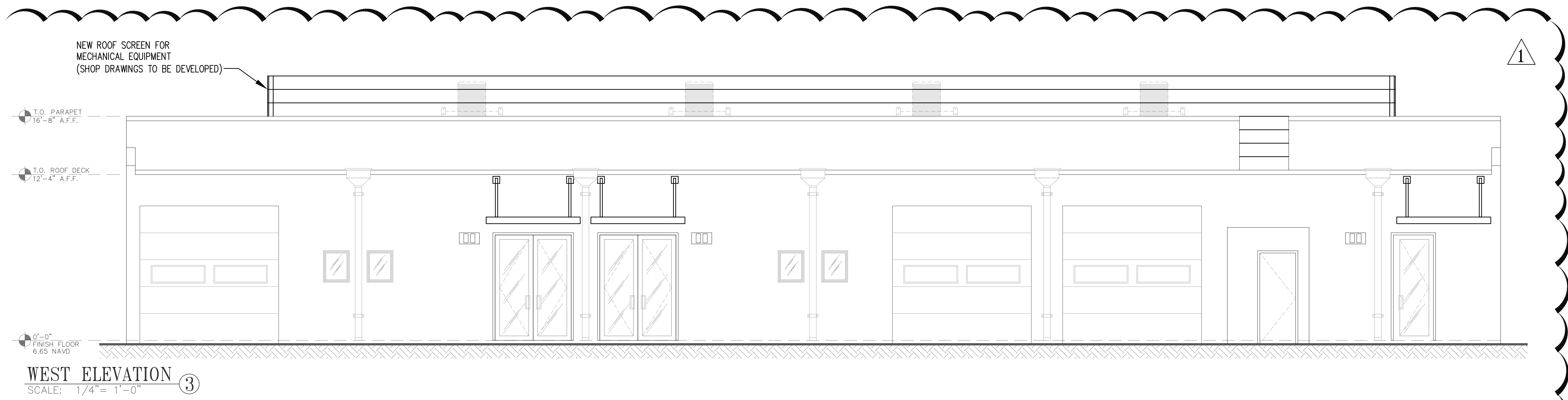
SCALE: AS NOTED

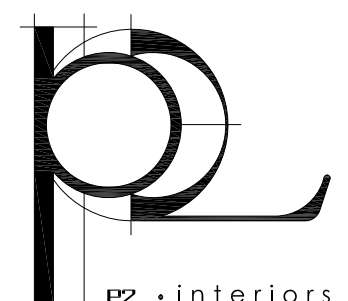
SHEET NO.

**A.0.1**

NOTES:  
1. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE IN METERS.  
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
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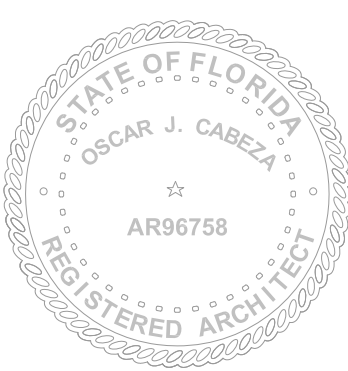






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OSCAR CABEZA.

DATE	ISSUE

PROJECT: OAKLAND GHOST KITCHEN  
ADDRESS: 3569 - 3579 N. DIXIE HIGHWAY  
OAKLAND PARK, FL 33334  
PROJECT NUMBER: CD24-12Z Oakland Ghost Kitchen (Major Amendment)  
OWNER:

PROJECT NUMBER: 22-1369  
DATE: 04.04.23  
REV.1: 10.23.24

SHEET TITLE  
**ELEVATIONS**  
SCALE: AS NOTED

SHEET NO.  
**A.0.2**

NOTES:  
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2023 FLORIDA BUILDING CODE, 8TH EDITION.  
2. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.  
3. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
4. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

CODE IN EFFECT: 2023 Florida Building Code – 8th. Edition









GENERAL NOTES:

ALL WORKS SHALL STRICTLY COMPLY WITH THE 2020 FLORIDA BUILDING CODE, NFPA 101 LIFE SAFETY CODE, AND ALL OTHER APPLICABLE LAWS AND ORDINANCES.

ALL WORK SHALL INCLUDE ALL ITEMS, BUILDING AND SITE, INDICATED ON THESE DRAWINGS  
UNLESS OTHERWISE INDICATED.  
G.C. TO LOCATE STRUCTURE

THE CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE EXISTING SITE PRIOR TO CONSTRUCTION. THE CONTRACTOR WILL ALSO VERIFY ALL DIMENSIONS AND FIELD CONDITIONS. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE THE COMMENCEMENT OF ANY WORK. IF THE CONTRACTOR DOES NOT NOTIFY THE ARCHITECT NO CHANGE ORDER WILL BE ALLOWED. SHOP DRAWINGS SHALL BE SUBMITTED TO OSCAR CABEZA FOR GENERAL REVIEW AND DESIGN COMPLIANCE FOUR (4) COPIES OF EACH OF THE ITEMS CHECKED BELOW:

WINDOWS\_\_\_\_\_

HVAC DUCTY LAYOUT\_\_\_\_\_

DOORS\_\_\_\_\_

CABINETS AND BUILT INS\_\_\_\_\_

THE WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

THE ARCHITECT IS NOT RESPONSIBLE OR LIABLE FOR THE INTEGRITY OR CORRECTNESS OF THE EXISTING BUILDING AND IT'S COMPONENTS.

ALL WORKMANSHIP SHALL BE NEAT, CLEAN, TRUE AND CORRECT.

THE CONTRACTOR WILL VERIFY ROUGH OPENING REQUIREMENTS QF-DOORS AND WINDOWS PRIOR TO CONSTRUCTION. DEPOSIT AND FEES FOR UTILITIES INCL. WATER METER, TELEPHONE, AND ELECTRICAL SERVICE SHALL BE PAID BY OWNER THE CONTRACTOR SHALL MAINTAIN TEMPORARY ELECTRICAL, WATER AND SANITARY FACILITIES FOR THE DURATION OF THE CONSTRUCTION.

## SQUARE FEET PER OCCUPANT BASE ON FLOOR AREA

TOTAL INTERIOR SEATING	55 SEATS
TOTAL OUTSIDE SEATING	34 SEATS
TOTAL COMBINE SEATING	89 SEATS

TRAVEL DISTANCE: (TABLE 1017.2) 200 FT. MAX (WITHOUT SPRINKLERS)  
COMMON PATH 75 FT. MAX.

MEANS OF EGRESS: 1 (FBC TABLE 1015.1)


MINIMUM CORRIDOR/ AISLE WIDTH: 44">50 OCCUP.LOAD & 36"<50 OCCUP. LOAD (FBC 1028.9.1.1)

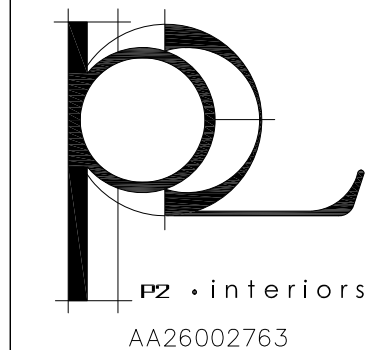
MAX. DEAD END CORRIDOR LENGTH: 20'-0" (FBC 1018.4)

MIN. CLEAR OPENING OF EXIT DOORS: 32 (FBC 1008.1.1)

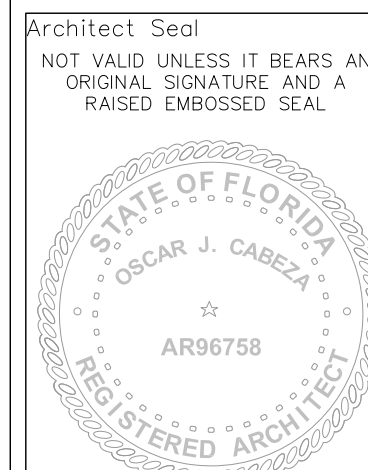
1 CODE IN EFFECT: 2023 Florida Building Code – 8th. Edition.

\* REFER TO SHEET A.1.1 FOR:  
— OUTSIDE PLAN

\* REFER TO SHEET A.4 FOR:  
 - DOOR SCHEDULE  
 - WALL TYPES 



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OSCAR CABEZAL.

DATE	ISSUE
------	-------

■ PROJECT: OAKLAND GHOST KITCHEN

PROJECT: OAKLAND GHOST KITCHEN

ADDRESS: 3569-3579 N. DIXIE HIGHWAY  
OAKLAND, CALIF. 94612

■ PROJECT: OAKLAND  
 ■ ADDRESS: 3569-3579  
 OAKLAND F  
 ■ PROJECT NUMBER:  
 CD24-12Z Oakland Ghos  
 ■ OWNER:

PROJECT NUMBER: 22-1369

DATE: 04.04.23

REV.1: 10.23.24

SHEET TITLE

## PROPOSED FLOOR PLAN

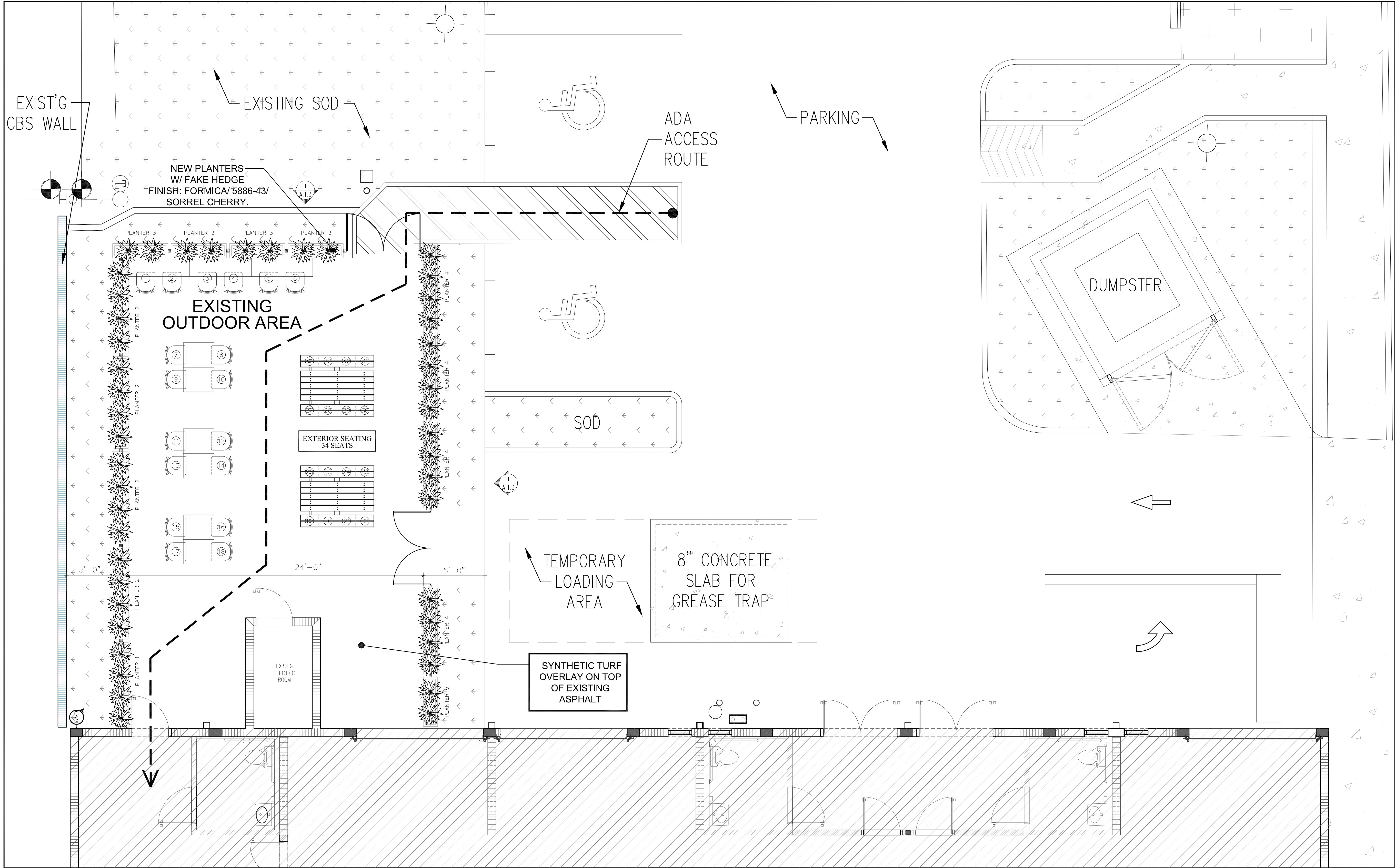
SCALE: AS NOTED

SHEET NO.

## A.1

NOTE:  
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CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS.  
JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE (S)  
SHOWN BY THESE DRAWINGS.  
SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE





PROPOSED OUTDOOR PLAN 1

SCALE: 1/4" = 1'-0"

SQUARE FEET PER OCCUPANT BASE ON EXTERIOR SEATING AREA			
SQ. FT.	USE	SQ. FT. / OCCUPANT	MAX # OF OCCUPANTS
862	SEATING AREA	15 NET	57
15'-0"	SEATING AREA	1:18	10
6'-0"	SEATING AREA	1:18	4
6'-0"	SEATING AREA	1:18	4
6'-0"	SEATING AREA	1:18	4
6'-0"	SEATING AREA	1:18	4
		TOTAL =	83
		*PROPOSED	34 SEATS

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STATE OF FLORIDA  
OSCAR J. CABEZA  
AR96758  
REGISTERED ARCHITECT

OSCAR CABEZA  
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- OWNER:

PROJECT NUMBER: 22-1369

DATE: 04.04.23

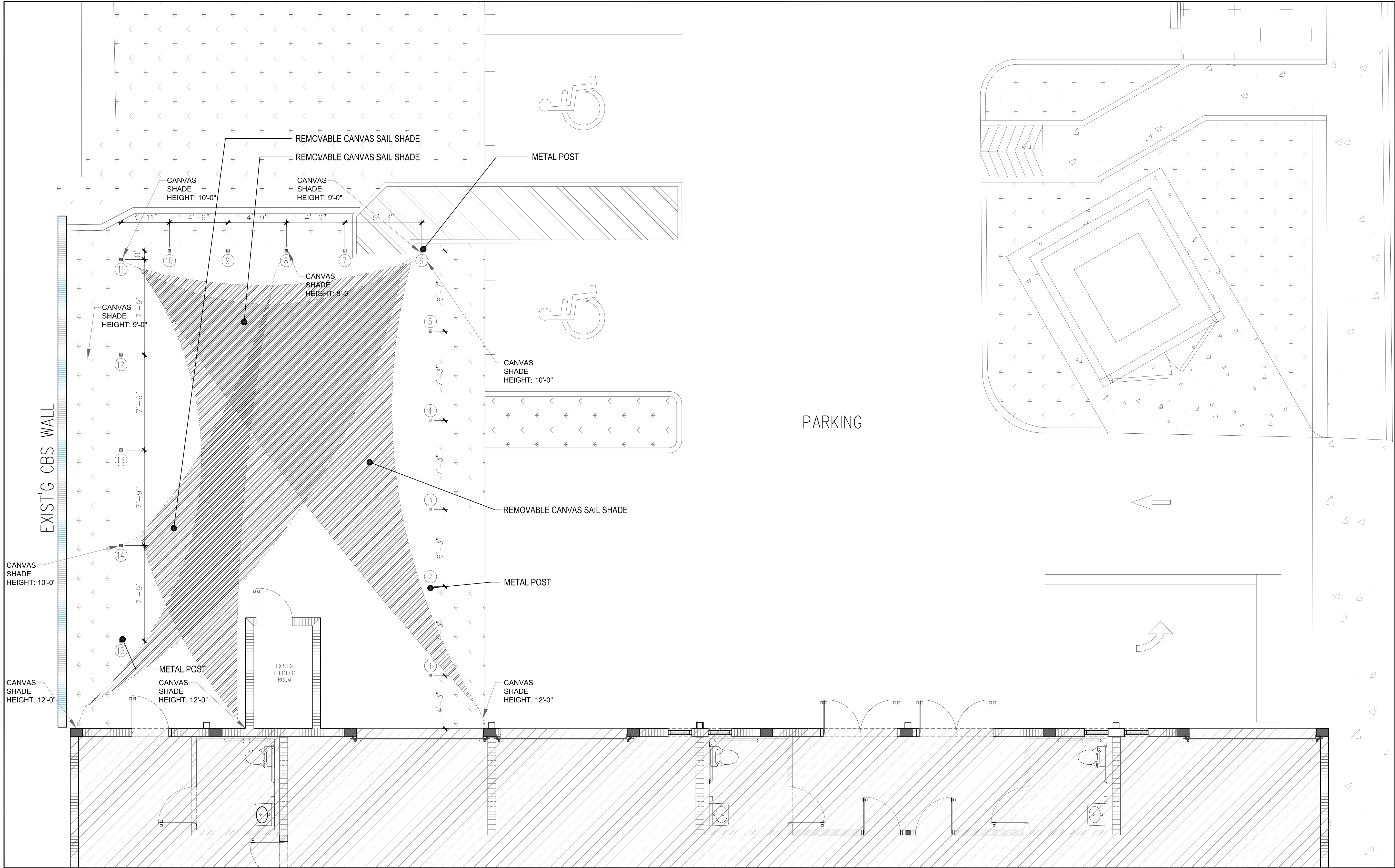
REV.1: 10.23.24

SHEET TITLE  
**OUTDOOR  
PLAN 1**  
SCALE: AS NOTED

SHEET NO.  
**A.1.1**

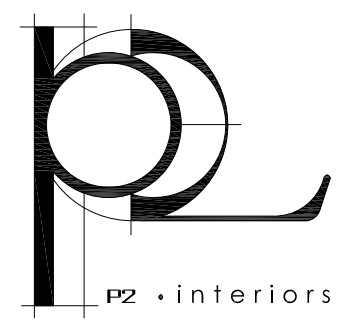
NOTES:  
1. ALL DIMENSIONS SHOWN ARE MEASURED FROM EXISTING CONDITIONS.  
2. THE DESIGN AND DRAWINGS ARE THE PROPERTY OF P2 INTERIORS AND SHALL REMAIN THE PROPERTY OF P2 INTERIORS.  
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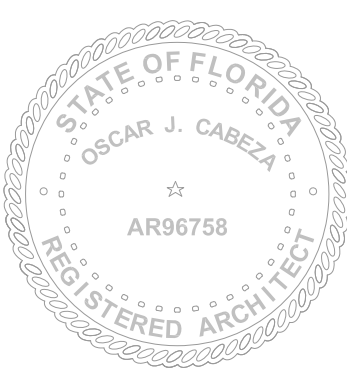
PROPOSED OUTDOOR PLAN 2  
SCALE: 1/4" = 1'-0"

METAL POSTS HEIGHT			
Item No.	HEIGHT	Item No.	HEIGHT
①	6'-0" FT.	⑨	6'-0" FT.
②	6'-0" FT.	⑩	6'-0" FT.
③	6'-0" FT.	⑪	10'-6" FT.
④	6'-0" FT.	⑫	6'-0" FT.
⑤	6'-0" FT.	⑬	6'-0" FT.
⑥	10'-6" FT.	⑭	10'-6" FT.
⑦	6'-0" FT.	⑮	6'-0" FT.
⑧	10'-6" FT.		



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RAISED EMBOSSED SEAL.



**OSCAR CABEZA**  
FLORIDA ARCHITECT  
No. AR96758

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CHANGED IN ANY FORM OR MANNER, WHAT  
SO EVER NOR ASSIGNED TO ANY PARTY  
WITHOUT FIRST OBTAINING THE EXPRESS  
WRITTEN PERMISSION AND CONSENT OF  
OSCAR CABEZA.

DATE	ISSUE

PROJECT: OAKLAND GHOST KITCHEN  
ADDRESS: 3569 - 3579 N. DIXIE HIGHWAY  
OAKLAND PARK, FL 33334  
PROJECT NUMBER:  
CD24-12Z Oakland Ghost Kitchen (Major Amendment)  
OWNER:

PROJECT NUMBER: 22-1369  
DATE: 04.04.23  
REV.1: 10.23.24

SHEET TITLE

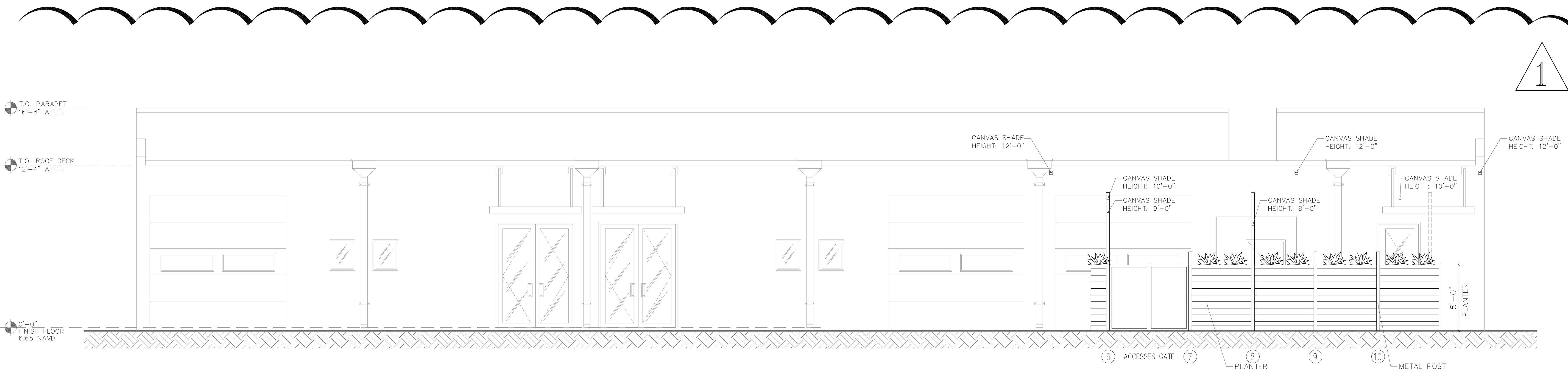
**OUTDOOR  
PLAN 2**

SCALE: AS NOTED

SHEET NO.  
**A.1.2**

NOTES:  
1. ALL DIMENSIONS ARE IN FEET AND INCHES.  
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
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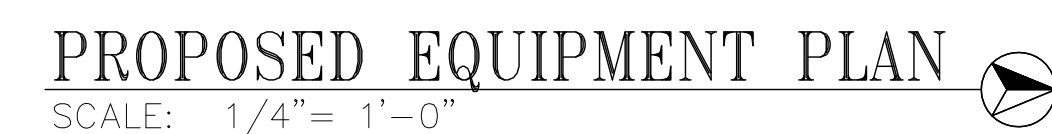
ELEVATION 1  
SCALE: 1/4" = 1'-0"

METAL POSTS HEIGHT			
Item No.	HEIGHT	Item No.	HEIGHT
①	6'-0" FT.	⑨	6'-0" FT.
②	6'-0" FT.	⑩	6'-0" FT.
③	6'-0" FT.	⑪	10'-6" FT.
④	6'-0" FT.	⑫	6'-0" FT.
⑤	6'-0" FT.	⑬	6'-0" FT.
⑥	10'-6" FT.	⑭	10'-6" FT.
⑦	6'-0" FT.	⑮	6'-0" FT.
⑧	10'-6" FT.		



ELEVATION 2  
SCALE: 1/4" = 1'-0"



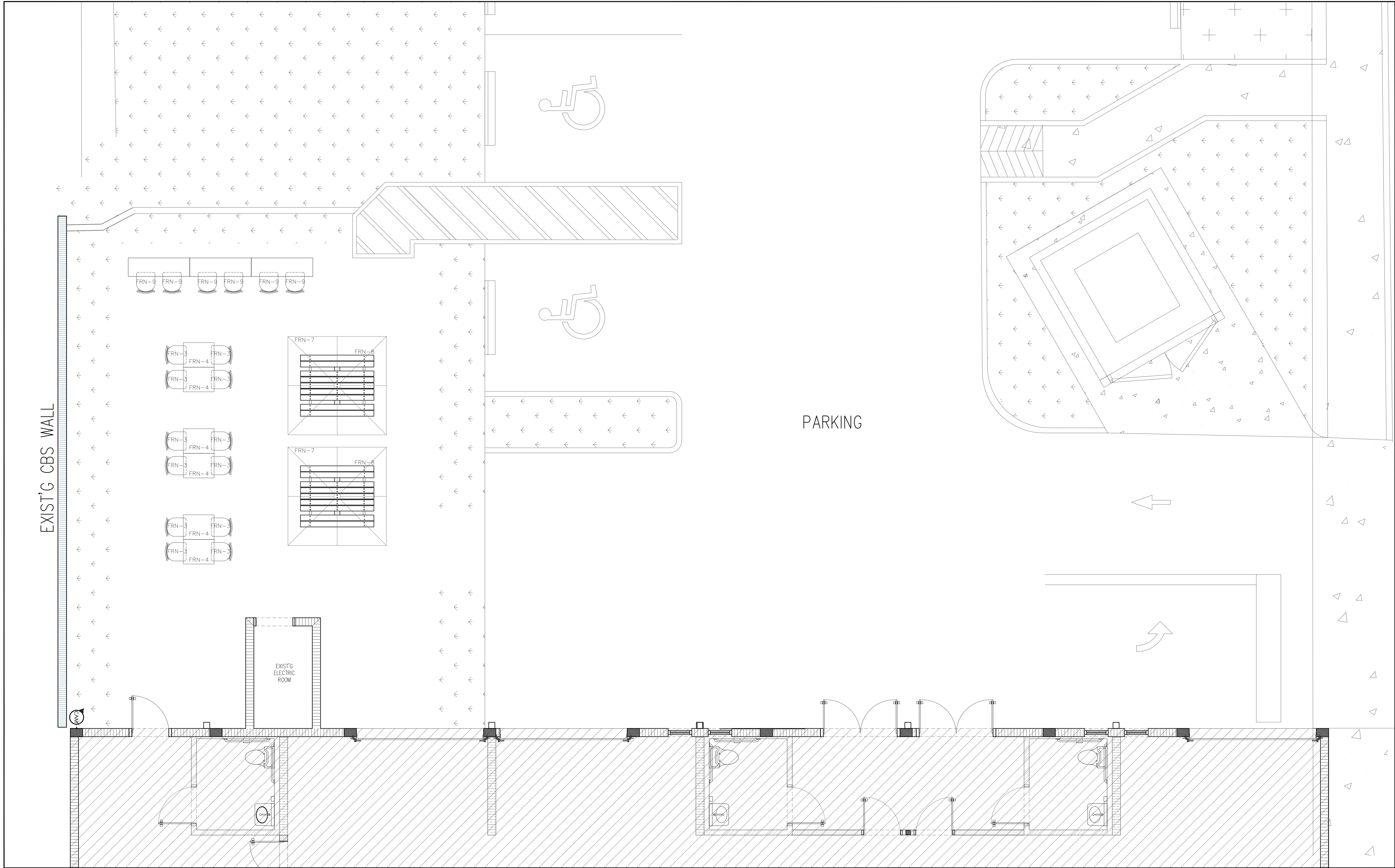


NOTE:  
PLEASE REFER TO PAGE A.10 FOR  
ALL DRY STORAGE PARTITION DETAIL

[illegible]

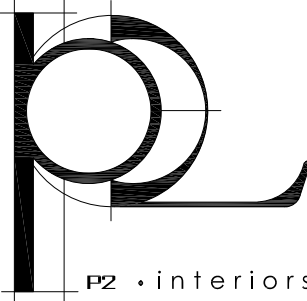
1 CODE IN EFFECT: 2023 Florida Building Code – 8th. Edition





PROPOSED OUTDOOR FURNITURE PLAN  
SCALE: 1/4"= 1'-0"

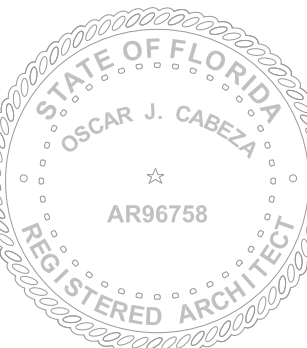
CODE IN EFFECT: 2023 Florida Building Code – 8th. Edition



AA26002763

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FL 33063  
Tel: (954) 642 2255  
Fax: (954) 642 2255 ext. 202

Architect Seal  
NOT VALID UNLESS IT BEARS AN  
ORIGINAL SIGNATURE AND A  
RAISED EMBOSSED SEAL



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REV.1: 10.23.24

SHEET TITLE

OUTDOOR  
FURNITURE  
PLAN

SCALE: AS NOTED

SHEET NO.

A.2.1













NOTES:  
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
2. ALL MATERIALS AND FINISHES ARE TO BE AS NOTED.  
3. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE  
FBC AND ALL APPLICABLE CODES.  
4. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE  
FBC AND ALL APPLICABLE CODES.





ARMSTRONG  
OPTIMA HEALTH ZONE  
EDGE PROFILE 15/16" SQUARE TEGULAR  
DIMENSION: 24" X 24"  
ITEM #: 3316

\* REFER TO LIGHTING E.2  
FOR LIGHTING SCHEDULE.

LEGEND	
	CEILING LIGHTING FIXTURE / REFER TO LIGHTING SCHEDULE
	EXISTING FLUORESCENT LIGHTING FIXTURE - SURFACE MTD.
	NEW / RELOCATED FLUORESCENT LIGHTING FIXTURE SURFACE MTD.
	RETURN GRILL / TRASFER GRILL
	AIR SUPPLY
<div> <div>P T</div> <div>8'-9"</div> <div>A</div> </div>	<div>CEILING FINISH</div> <div>FINISHED CEILING HEIGHT</div> <div>FINISHED CEILING MATERIAL * REFER TO FINISH PLAN</div>
LETTER	MATERIAL
A	GYP. BD. CEILINGS
B	ACUSTICAL CLGS.
C	EXPOSED
E	EXISTING
	CEILING SECTION DETAIL NUMBER
	REFER TO CEILING SECTION DRAWINGS FO/CS
	CONTROL POINT FOR PARTITION WORK AND CEILING WORK.
	CONTROL POINT FOR FLOORING WORK AND CEILING WORK.
	EXISTING SPRINKLER HEAD
	RELOCATED CONCEALED SPRINKLER HEAD
	NEW SPRINKLER

1 CODE IN EFFECT: 2023 Florida Building Code – 8th, Edition



### A.3

DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
 DESK SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL DIMENSIONS AND CONDITIONS ON  
 HIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND COND  
 THESE DRAWINGS.  
 ALL MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL, BEFORE PROCEEDING WITH

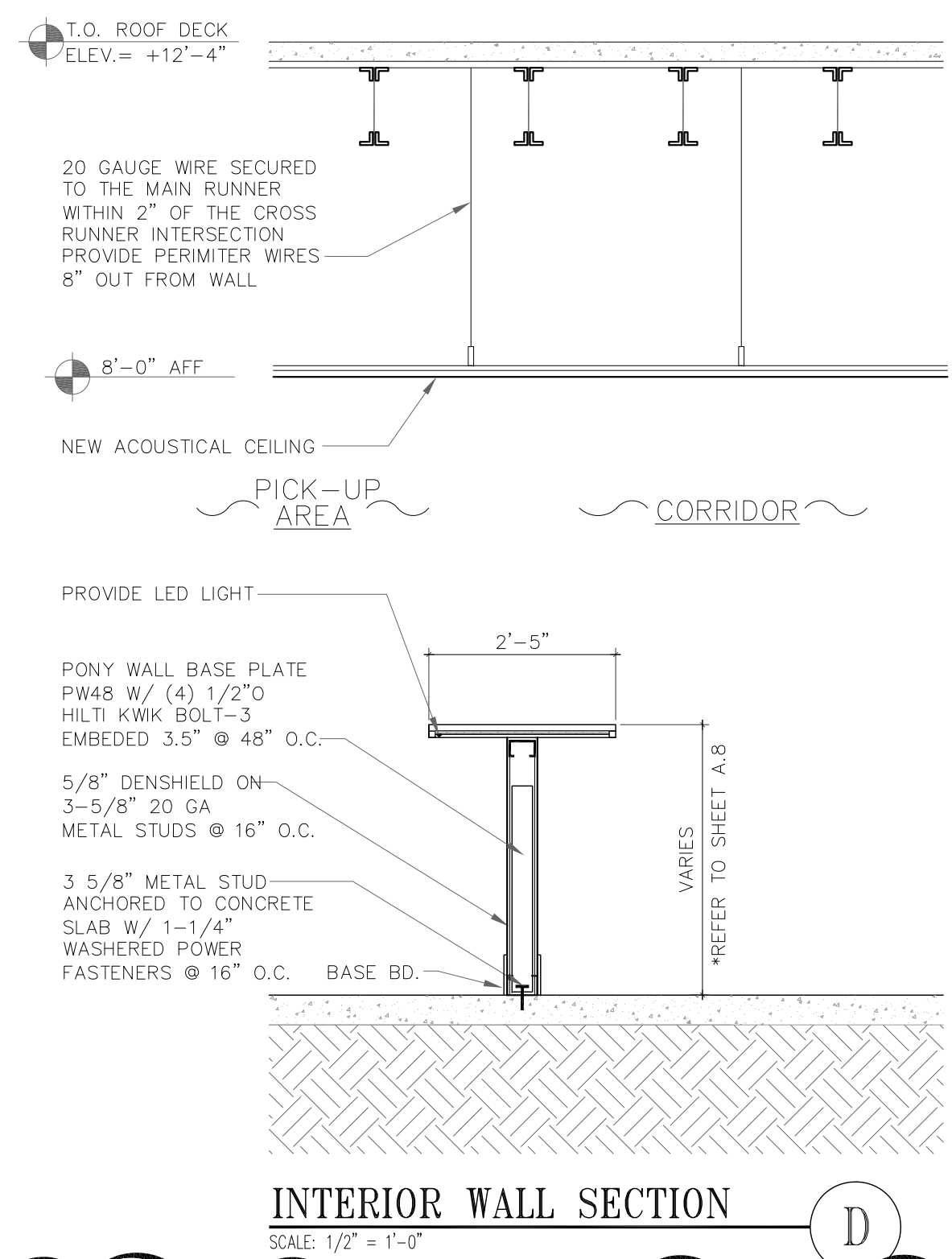
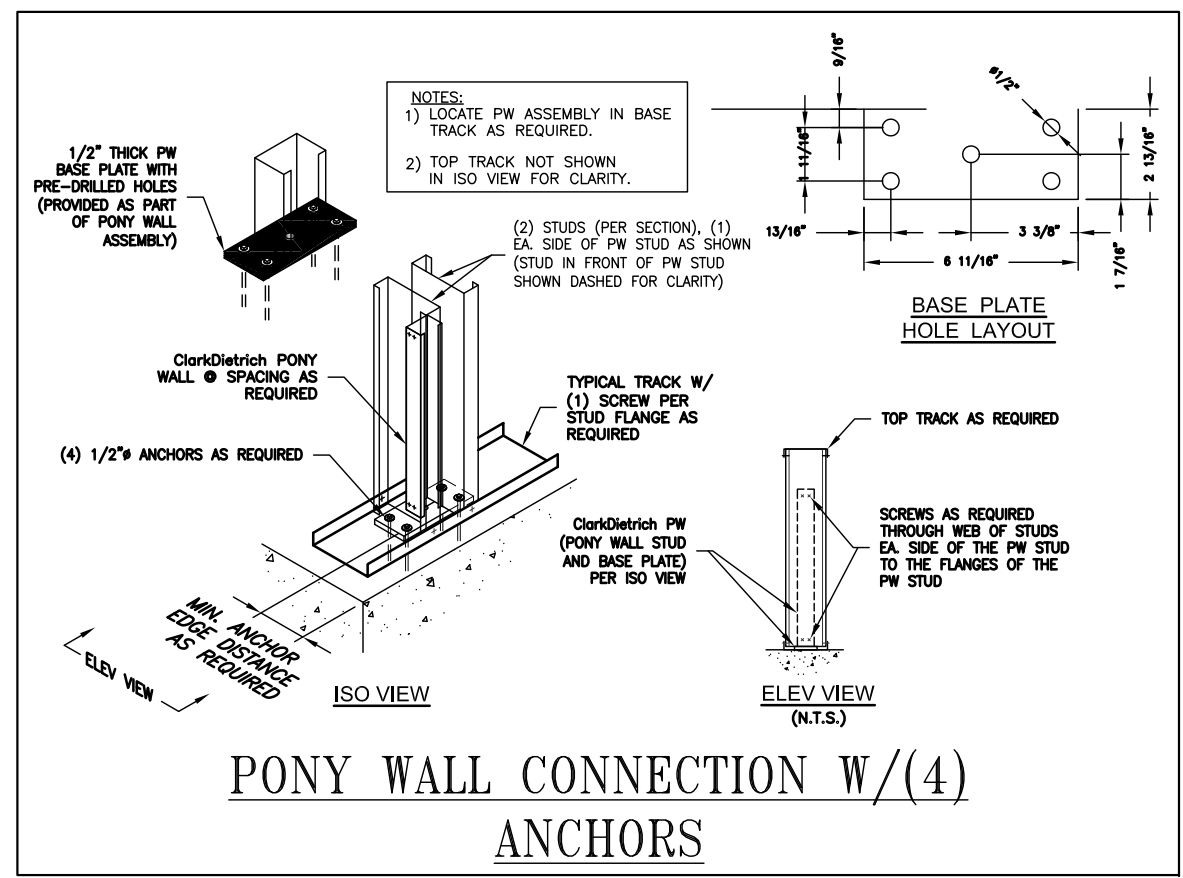


DOOR SCHEDULE												
EXTERIOR DOORS												
	LOCATION		SIZE		DOOR	FRAME	QUANT.	RATING	TYPE	HARDWARE	TYPE/ REMARKS	
		W.	H.	TH.								
E-A1	FRONT ENTRANCE	36"	80"	1 3/4"	ALUM./GLASS	AL	1	---	---	EXTERIOR LOCKSET	EXISTING	
E-A2	FRONT ENTRANCE	36"	80"	1 3/4"	ALUM./GLASS	AL	1	---	---	EXTERIOR LOCKSET	EXISTING/DOOR CLOSED AT ALL TIMES	
E-A3	FRONT ENTRANCE	36"	80"	1 3/4"	ALUM./GLASS	AL	1	---	---	EXTERIOR LOCKSET	EXISTING/DOOR CLOSED AT ALL TIMES	
E-A4	FRONT ENTRANCE	36"	80"	1 3/4"	ALUM./GLASS	AL	1	---	---	EXTERIOR LOCKSET	EXISTING/DOOR CLOSED AT ALL TIMES	
E-A5	FRONT ENTRANCE	36"	80"	1 3/4"	ALUM./GLASS	AL	1	---	---	EXTERIOR LOCKSET	EXISTING/DOOR CLOSED AT ALL TIMES	
E-A6	FRONT ENTRANCE	36"	80"	1 3/4"	ALUM./GLASS	AL	1	---	---	EXTERIOR LOCKSET	EXISTING	
E-A7	REAR DOOR - PICK-UP AREA	120"	120"	1 3/4"	METAL/GLASS	METAL	1	---	---	---	EXISTING ROLL UP DOOR	
E-A8	REAR EXIT	72"	80"	1 3/4"	ALUM./GLASS	AL	1	---	---	INTERIOR LOCKSET	EXISTING DOUBLE DOOR	
E-A9	REAR EXIT	72"	80"	1 3/4"	ALUM./GLASS	AL	1	---	---	INTERIOR LOCKSET	EXISTING DOUBLE DOOR	
E-A10	REAR DOOR	120"	120"	1 3/4"	METAL/GLASS	METAL	1	---	---	---	EXISTING ROLL UP DOOR DOOR CLOSED AT ALL TIMES	
E-A11	REAR DOOR - PICK-UP AREA	120"	120"	1 3/4"	METAL/GLASS	METAL	1	---	---	---	EXISTING ROLL UP DOOR	

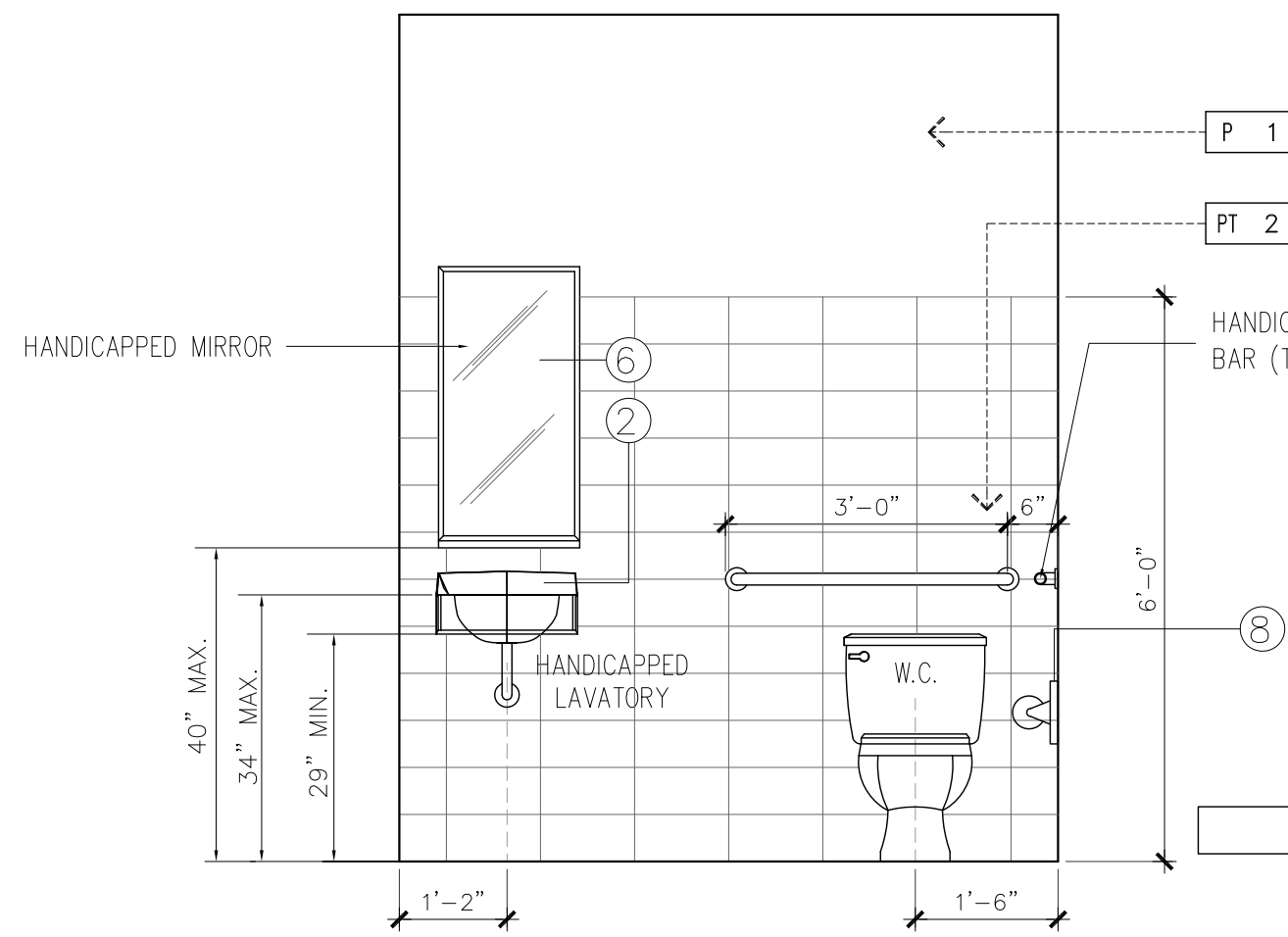
SHOP DRAWINGS FOR ALL DOORS FOR APPROVALS.

NOTES:

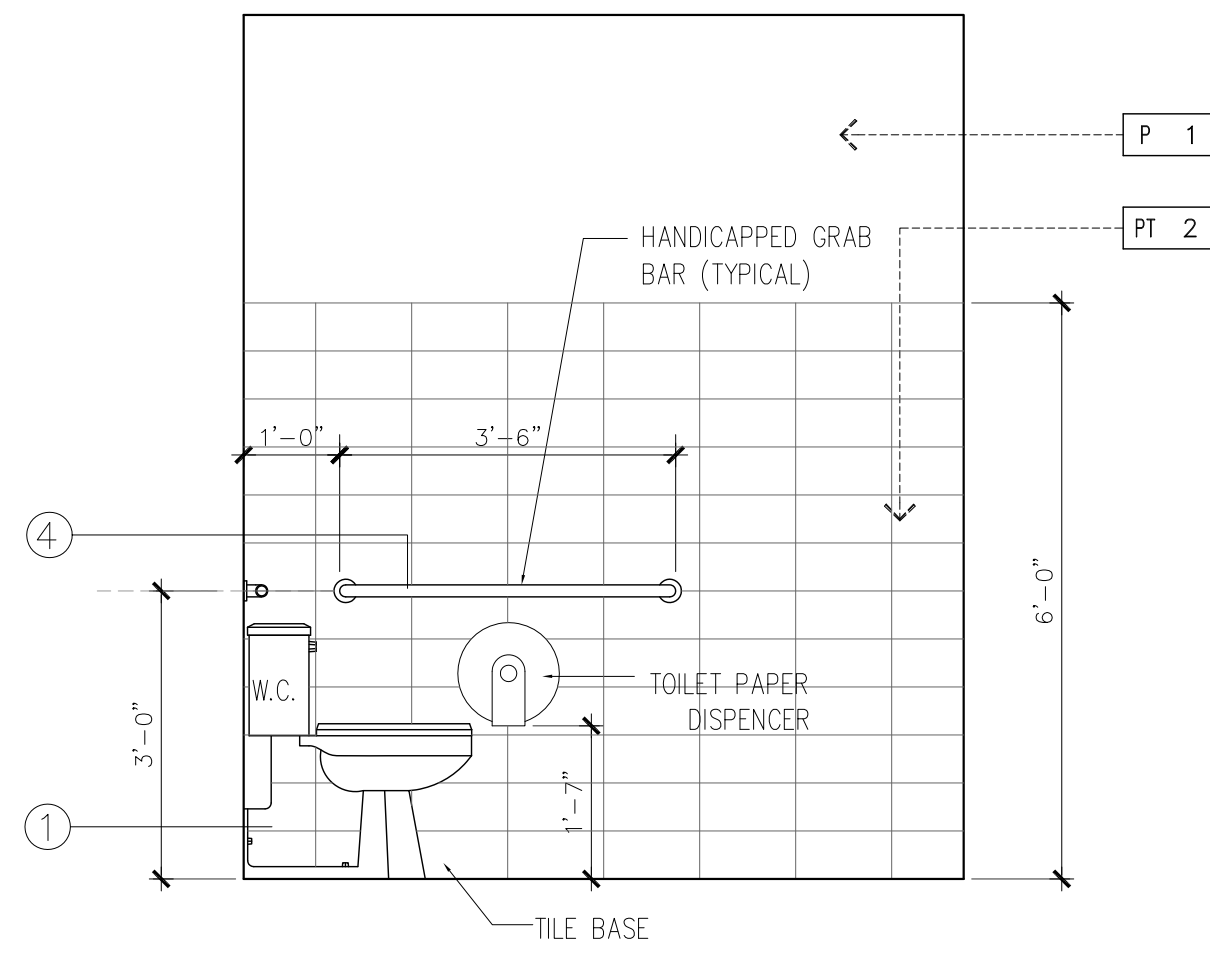
- 
- A schematic diagram of a column section. The column is represented by two vertical lines. A horizontal line at the top is labeled 'SUPPLEMENTAL BRACING' with an arrow pointing to it. A vertical line on the left side is labeled 'LIMITING HEIGHT' with an arrow pointing to it. The column is shown within a rectangular frame.



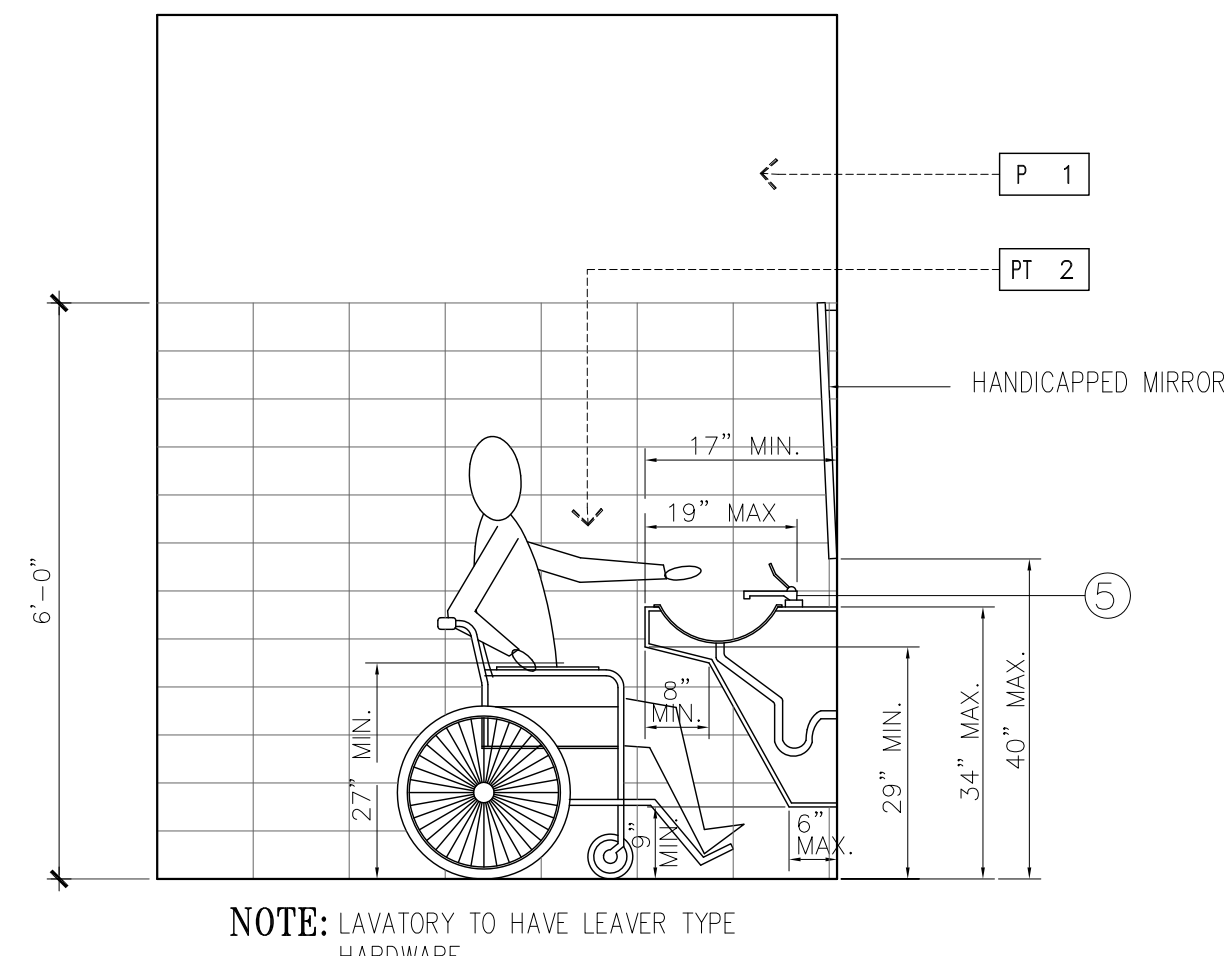




TYP. RESTROOM ELEVATION  
SCALE: 1/2"= 1'-0"

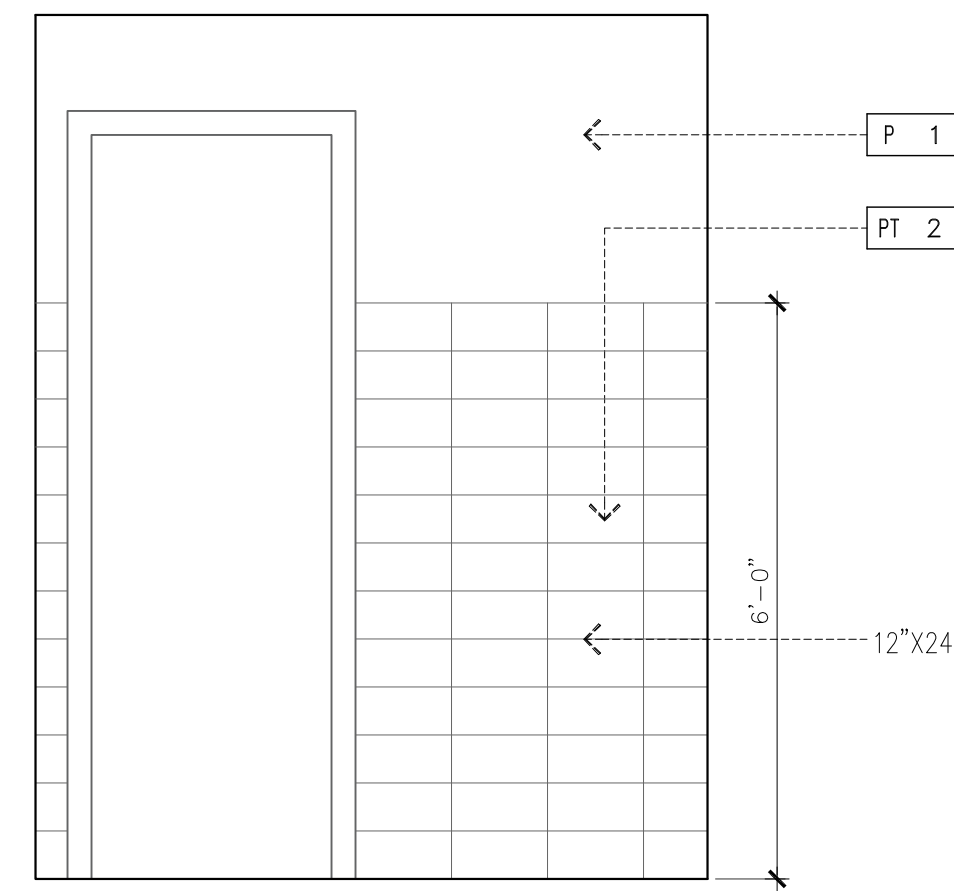


TYP. TOILET ELEVATION  
SCALE: 1/2"= 1'-0"

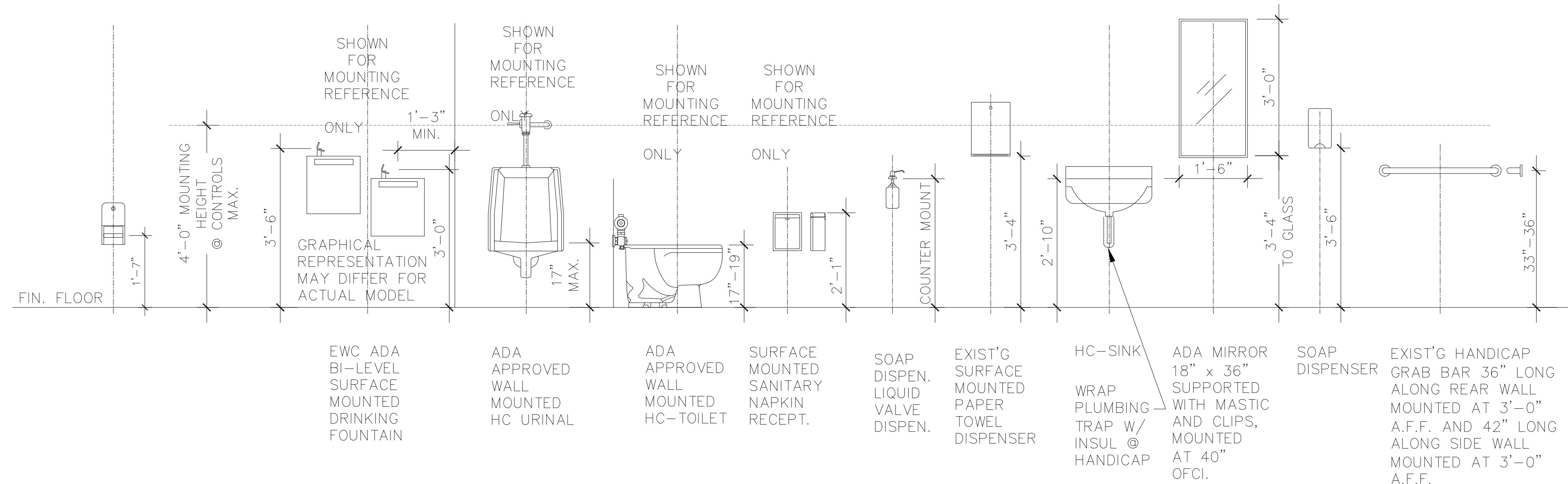


NOTE: LAVATORY TO HAVE LEVER TYPE HARDWARE

TYP. RESTROOM ELEVATION  
SCALE: 1/2"= 1'-0"

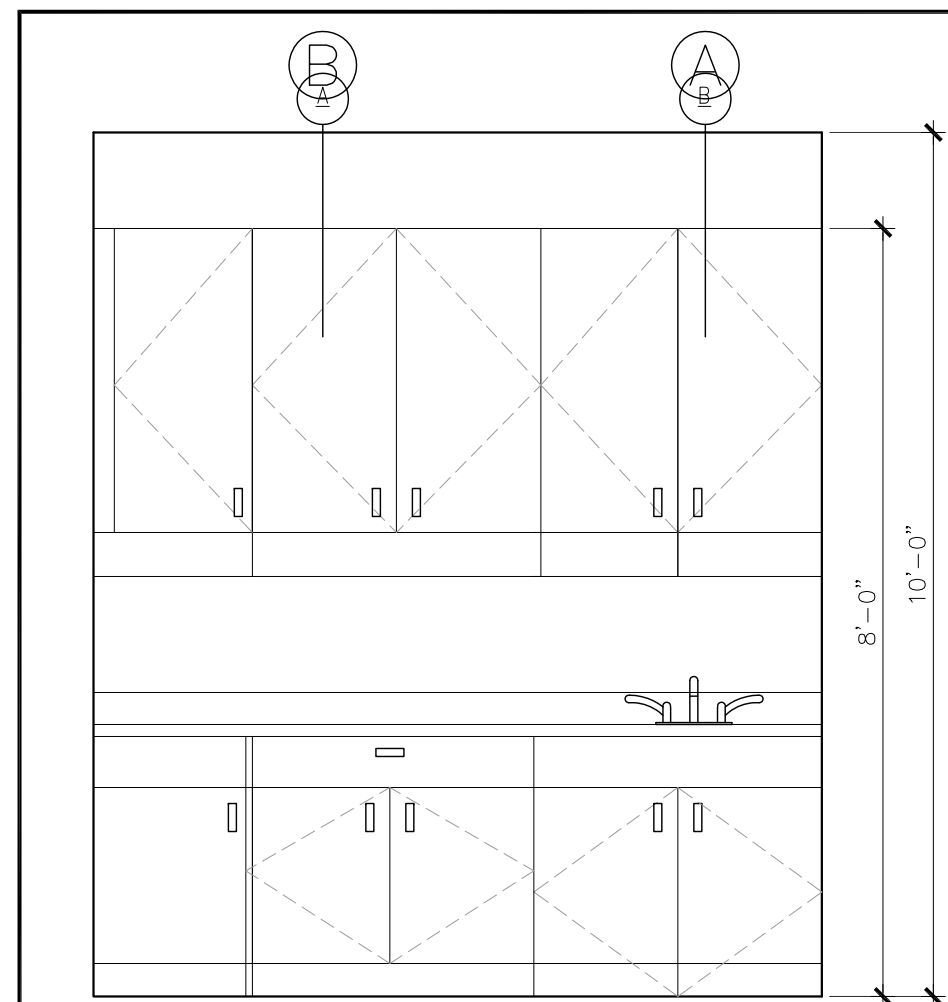


TYP. RESTROOM ELEVATION  
SCALE: 1/2"= 1'-0"



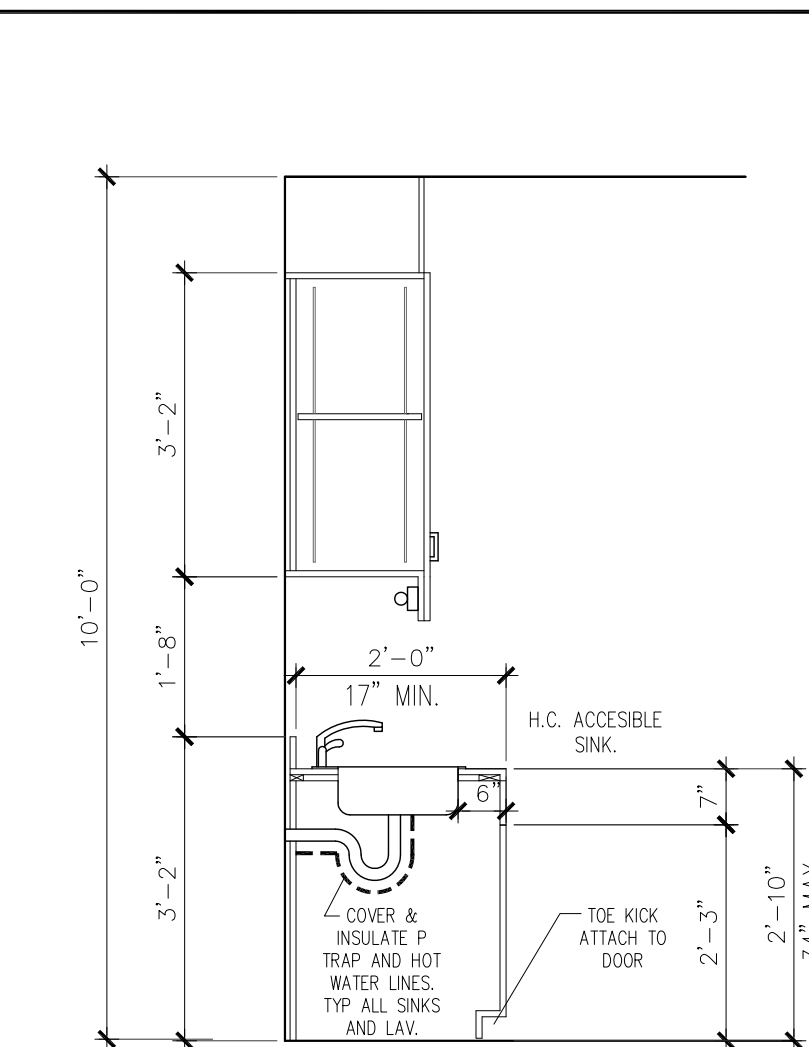
PLUMBING FIXTURES & ACCESSORIES

①	AMERICAN STANDARD 2034.014 CHAMPION 4 RIGHT HEIGHT ELONGATED 1-PIECE TOILET, LOW CONSUMPTION 1.6 GPF (WHITE), OR EQUAL.
②	AMERICAN STANDARD 0356.115 LUCERNE 24" WALL MOUNTED LAVATORY SINK PRE-DRILLED FOR SINGLE HOLE FAUCET.
③	SOAP DISPENSER BY OWNER.
④	BOBRICK B-6806 STAINLESS STEEL GRAB BARS WITH SNAP FLANGE, OR EQUAL
⑤	AMERICAN STANDARD 6055.104 SELECTRONIC CAST PROXIMITY METERING FAUCET, DC POWERED, OR EQUAL. HIGH EFFICIENCY LAVATORY FAUCET.
⑥	BOBRICK B-293 1830 18"x30" FIXED POSITION TILTED MIRROR, OR EQUAL.
⑦	PAPER TOWEL DISPENSER BY OWNER.
⑧	TOILET TISSUE DISPENSER BY OWNER.
⑨	MOP SINK: ELKAY FLR-1X - STANDARD SERIES MOP SINK
⑩	MOP SINK FAUCET: ELKAY LKB940C-SERVICE/UTILITY WALL MOUNT FAUCET
⑪	DRINKING FOUNTAIN: TWO STATION WALL MOUNT WATER COOLERS, MODEL No. ELKAY - EZH2O LZ2SLBWSVRSK
⑫	BREAK ROOM & DONOR ROOM SINK: ELKAY ELUHAD211555 - GOURMET STAINLESS STEEL UNDERMOUNT SINK
⑬	BREAK ROOM & DONOR ROOM FAUCET: KOHLER K-7507 KITCHEN SINK FAUCET

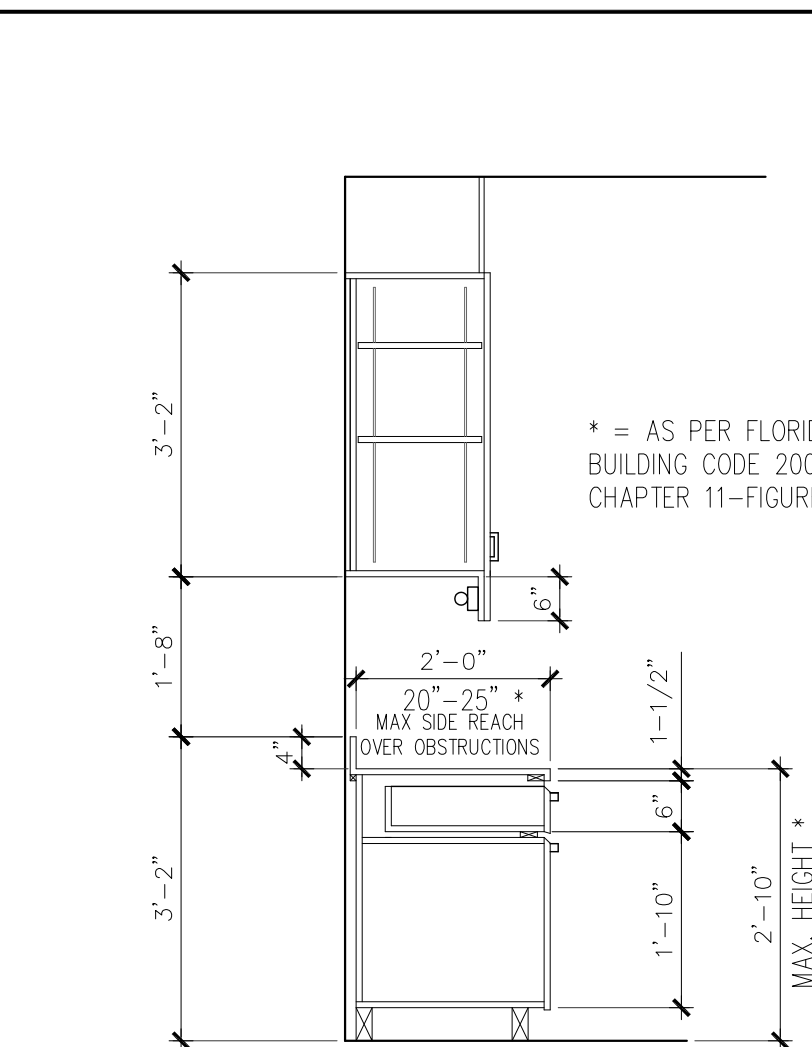


TYP. CABINET ELEVATIONS  
SCALE: 1/2"= 1'-0"

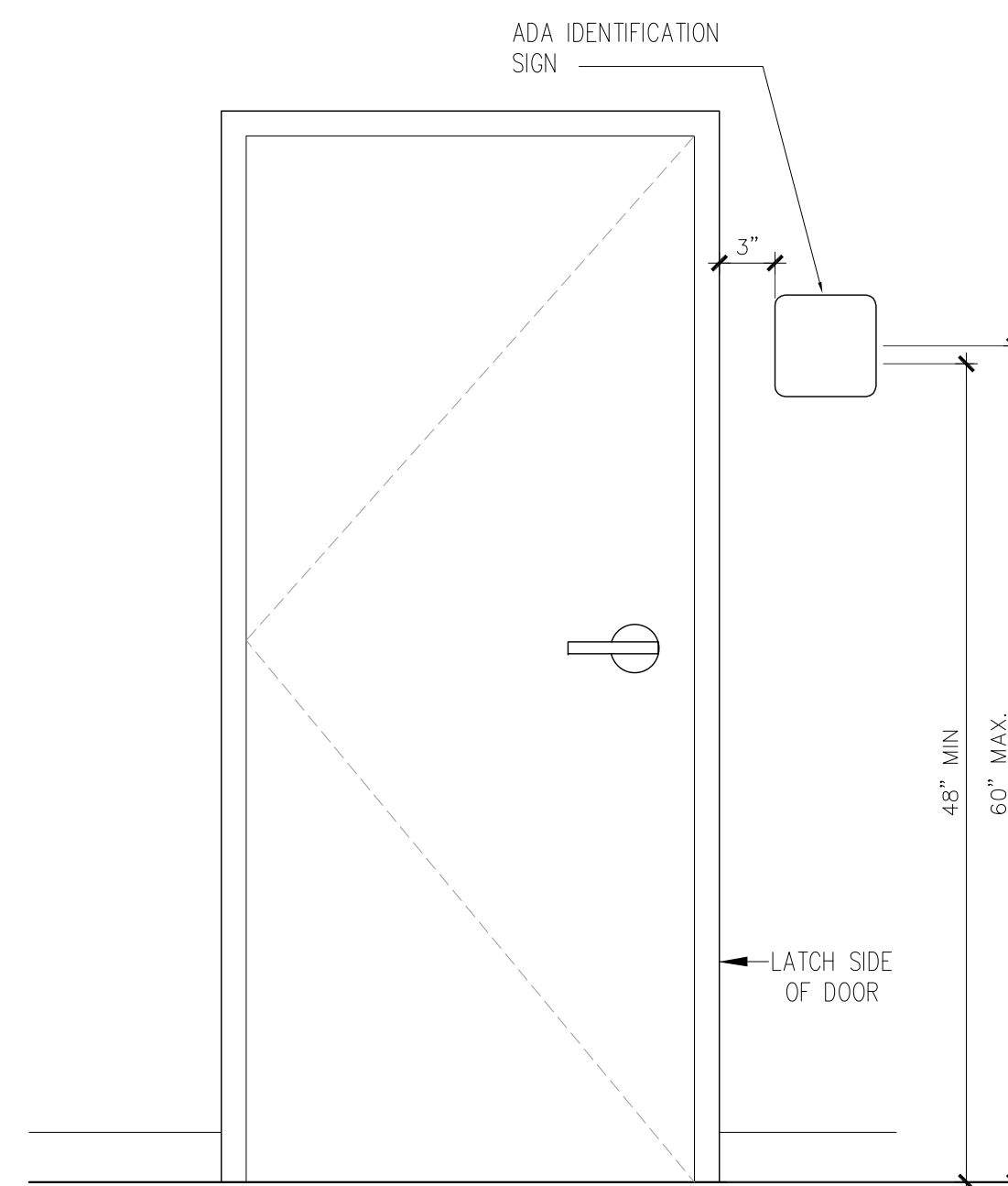
NOTE:  
REFER TO PLAN FOR HORIZONTAL DIMENSIONS AND LOCATIONS



TYP. CABINET/SINK SECTION A  
SCALE: 1/2"= 1'-0"



TYP. CABINET/SINK SECTION B  
SCALE: 1/2"= 1'-0"

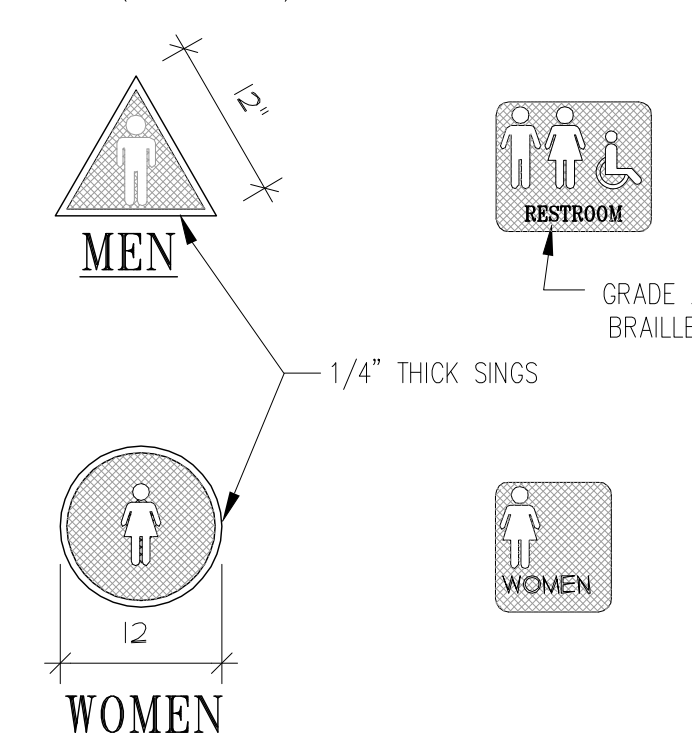


NOTE:  
SIGNAGE REQUIRED TO BE ACCESSIBLE ROOM

PICTOGRAM APPLICATIONS  
SIZE: 6"X6"

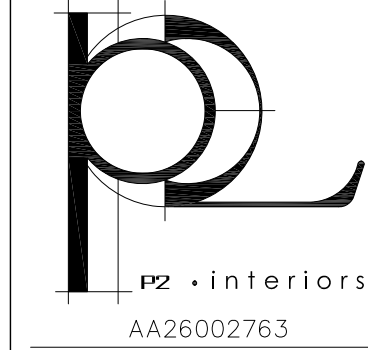
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ADA SIGN



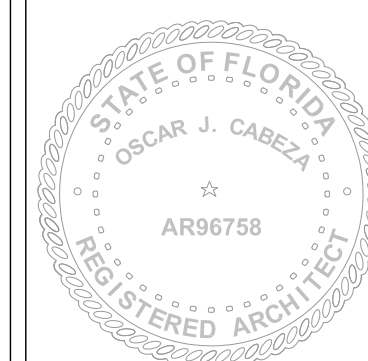
NOTE:

1. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND.
2. IDENTIFICATION SYMBOLS ARE TO BE CENTERED ON DOOR 60" ABOVE FLOOR AND ARE TO BE DISTINCTLY DIFFERENT FROM THE DOOR IN COLOR AND CONTRAST.
3. PROVIDE ROOM IDENTIFICATION SIGN ON LATCH SIDE OF DOOR.
4. LETTERS & NUMBERS ON SIGNS SHALL BE RAISED 1/8" MIN. SHALL BE A MIN OF 8" HIGH & SHALL BE SANS-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE.
5. ADA SIGNAGE PROVIDED BY "CUSA" OR APPROVED EQUAL.



E-mail: info@p2interiors.com  
1801 BANKS RD, MARGATE  
FL 33063  
Tel: (954) 642 2255  
Fax: (954) 642 2255 ext. 202

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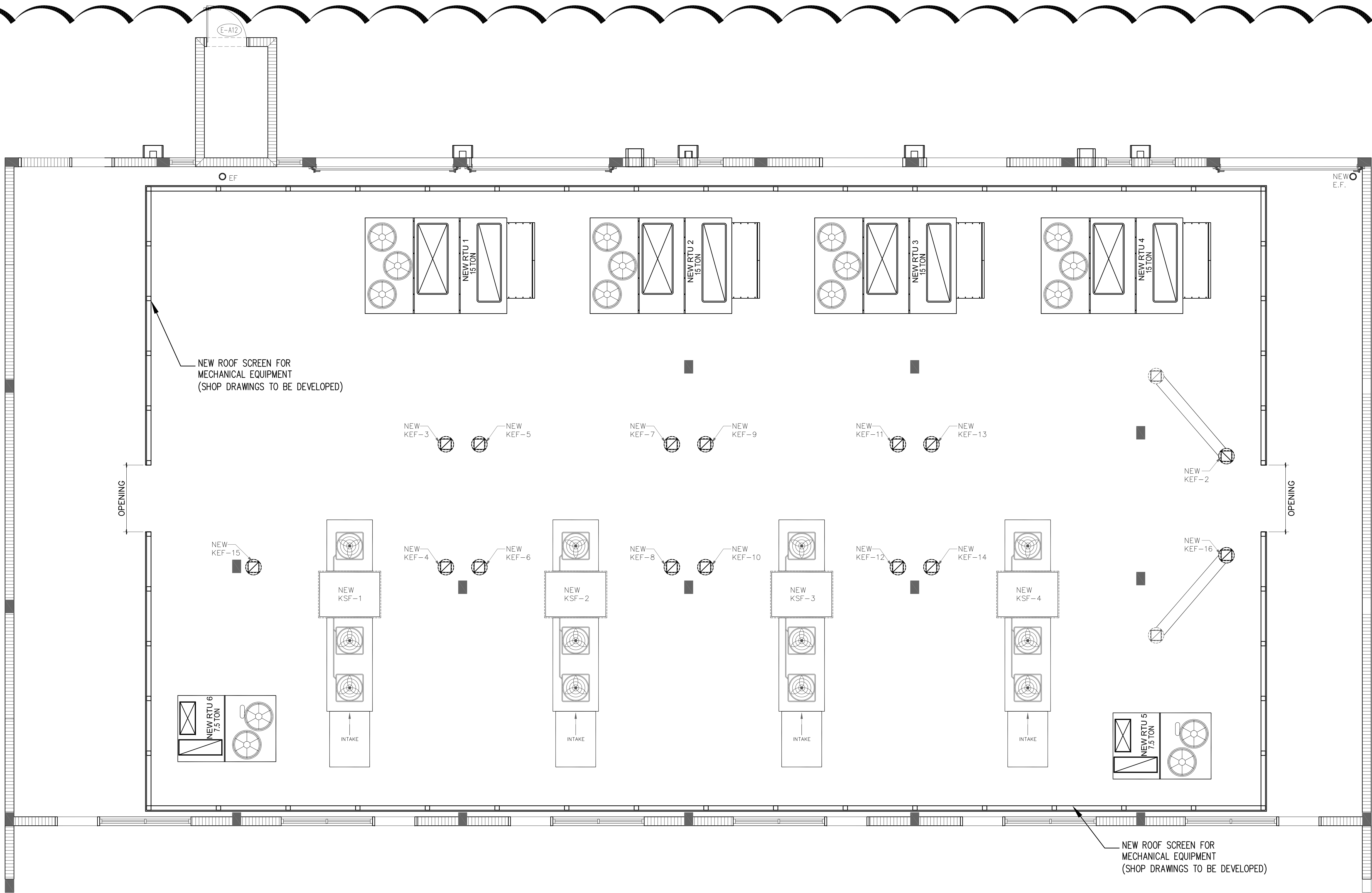
RESTROOM  
& KITCHEN  
DETAILS  
SCALE: AS NOTED

SHEET NO.

A.5

1 CODE IN EFFECT: 2023 Florida Building Code - 8th, Edition





PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"

**p2** interiors  
AA26002763  
E-mail: info@p2interiors.com  
1801 BANKS RD, MARGATE  
FL 33063  
Tel: (954) 642 2255  
Fax: (954) 642 2255 ext. 202

Architect Seal  
NOT VALID UNLESS IT BEARS AN  
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OSCAR J. CABEZA  
AR96758  
REGISTERED ARCHITECT

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SHEET TITLE

ROOF PLAN

SCALE: AS NOTED

SHEET NO.  
A.6



