

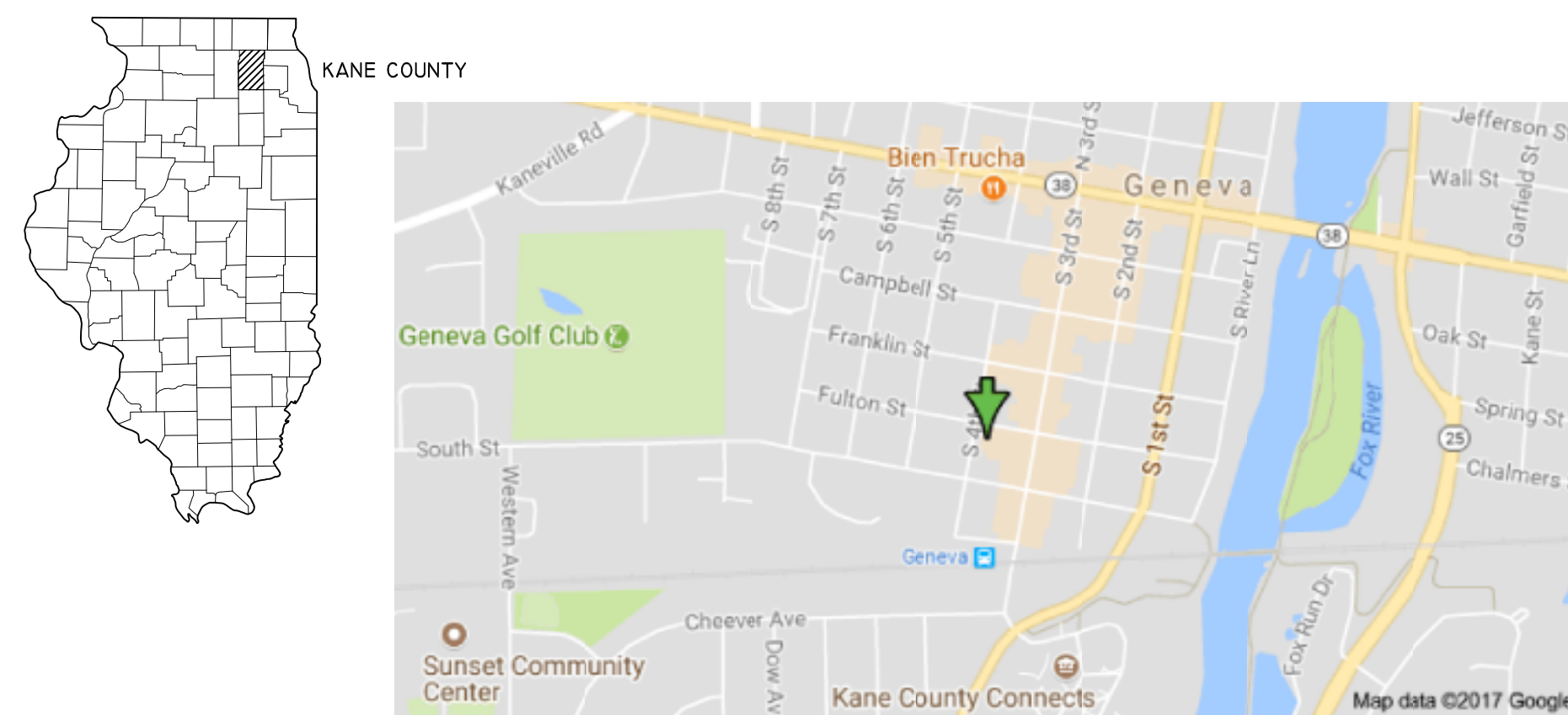
# KELLER WILLIAMS REALTY OFFICE SPACE BUILD-OUT

407 SOUTH 3RD STREET  
SUITE 114, GENEVA, ILLINOIS

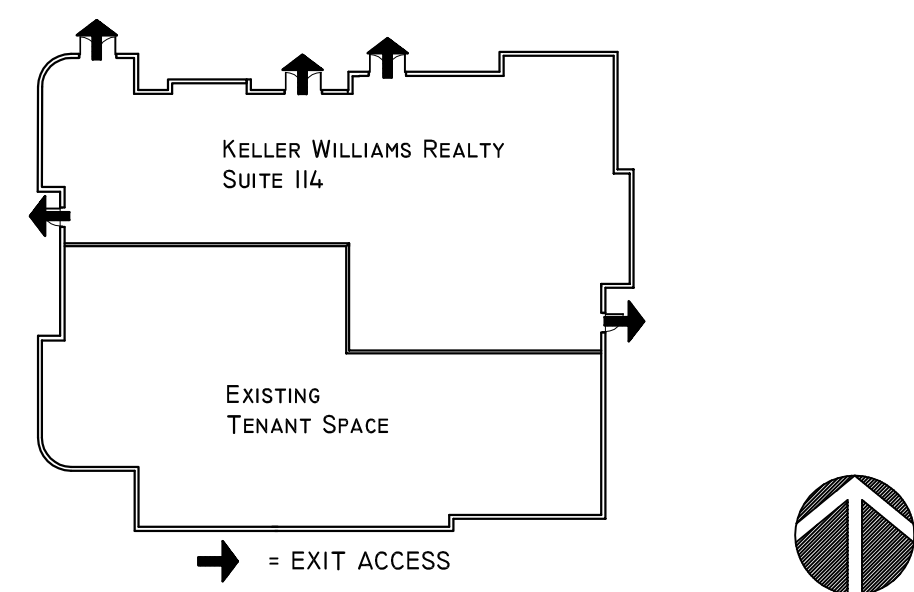
## DRAWING INDEX:

- A1 COVER SHEET, LOCATION MAP, BUILDING KEY PLAN, PROJECT DATA, NOTES.
- A2 PROPOSED FLOOR PLAN, PLUMBING DIAGRAMS & SECTION
- A3 ELECTRICAL/EMERGENCY/RCP PLAN
- A4 HVAC & SPRINKLER PLAN, VENT SCHEDULE
- A5 DEMO PLAN
- A6 WALL SECTIONS, DOOR SCHEDULE, ROOM FINISH SCHEDULE, STANDARD MOUNTING REQ'S

## LOCATION MAP:



## BUILDING KEYPLAN:



## CODE COMPLIANCE EXIST. CONDITIONS NOTE:

I. THESE DRAWINGS ASSUME CONFORMANCE OF EXISTING CONSTRUCTION TO APPLICABLE CODE AND/OR GOVERNING AGENCY REQUIREMENTS FOR EXISTING CONSTRUCTION. THESE DRAWINGS SHOULD NOT BE CONSTRUED TO IMPLY THE VERIFICATION OF THE CONFORMANCE OF EXISTING CONSTRUCTION TO SAID REQUIREMENTS. WHERE NEW OR REMODELED CONSTRUCTION OCCURS, AS INDICATED ON THESE DRAWINGS, APPLICABLE CODE REQUIREMENTS FOR NEW CONSTRUCTION ARE INTENDED TO BE MET.

## PROJECT DATA:

CITY OF GENEVA'S BUILDING CODES  
**CURRENT ADOPTED BUILDING CODES**  
 2009 INTERNATIONAL BUILDING CODE (WITH AMENDMENTS)  
 2006 INTERNATIONAL RESIDENTIAL CODE (WITH AMENDMENTS)  
 2006 INTERNATIONAL PROPERTY MAINTENANCE CODE  
 2015 INTERNATIONAL ENERGY CONSERVATION CODE  
 2006 INTERNATIONAL MECHANICAL CODE  
 2005 NATIONAL ELECTRICAL CODE (N.E.C.)  
 2009 INTERNATIONAL FIRE CODE (WITH AMENDMENTS)  
 2009 LIFE SAFETY CODE  
 2014 STATE OF ILLINOIS PLUMBING CODE  
 STATE OF ILLINOIS ACCESSIBILITY CODE, MOST RECENT EDITION  
 CITY OF GENEVA BUILDING REGULATIONS, TITLE 10  
 CITY OF GENEVA MUNICIPAL CODE

### GENEVA FIRE DEPARTMENT

### KELLER WILLIAMS REALTY BUILD OUT

**BUILDING DESCRIPTION**  
 EXISTING 2 STORY OFFICE BUILDING

**TENANT IMPROVEMENTS**  
 INTERIOR BUILDOUT OF EXISTING SPACE

**OCCUPANCY CLASSIFICATION (304)**  
 B, BUSINESS GROUP (3443 USEABLE S.F.)

EXISTING BUILDING IS SPRINKLED

**ZONING CLASSIFICATION**  
 N/A, EXISTING BUILDING

**CONSTRUCTION TYPE**  
 2C, NON COMBUSTIBLE UNPROTECTED-EXISTING

**BUILDING HEIGHT**  
 TWO STORIES

**OCCUPANT LOAD-MAX OCCUPANCY LOAD IS 24**  
 3443 SQ.FT./100 GFA=34.43 OCCUPANTS=34 OCCUPANTS

**EXIT SUMMARY**  
 TWO (5) TOTAL EXITS FROM TENANT SPACE

**LENGTH OF EXIT ACCESS TRAVEL**  
 BUSINESS "B" W/SPRINKLER SYTEM MAX. IS 300 FEET

**INTERIOR FINISHES**  
 FINISH, FLOOR AND TRIM CLASSIFICATION  
 VERTICAL EXITS & PASSAGEWAYS: CLASS B - FLAME SPREAD, 26-75.  
 CORRIDORS PROVIDING EXIT ACCESS: CLASS C - FLAME SPREAD, 76-200.  
 ROOMS OR ENCLOSED SPACES: CLASS C - FLAME SPREAD, 76-200.

## NOTES:

### GENERAL NOTES:

- ARCHITECT IS NOT RESPONSIBLE FOR METHODS OF CONSTRUCTION OR INADVERTENT ERRORS/ OMISSIONS.
- NO CONSTRUCTION SUPERVISION IS PROVIDED BY THE ARCHITECT ON THIS PROJECT.
- THESE DRAWINGS ARE DIAGRAMMATIC AND ARE NOT INTENDED TO SHOW EXACT LOCATIONS OF SWITCHES, OUTLETS, ETC.
- NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS PRIOR TO BIDDING OR BEGINNING WORK.
- GENERAL CONTRACTOR SHALL REVIEW DRAWINGS FOR ACCURACY PRIOR TO BEGINNING WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED DURING CONSTRUCTION SHOULD CHANGES BE REQUIRED FOR DISCREPANCIES OF WHICH THE ARCHITECT WAS NOT NOTIFIED.
- DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT PRIOR TO CONTINUING CONSTRUCTION.
- INFORMATION CONTAINED IN THESE DOCUMENTS IS BASED UPON EXISTING DOCUMENTS AND LISTED FIELD MEASUREMENTS, AND MAY REQUIRE ADJUSTMENTS AND/OR MODIFICATIONS TO CONFORM TO EXISTING CONDITIONS. OWNER SHALL APPROVE ADJUSTMENTS IN ACCORDANCE WITH DESIGN INTENT. IN NO CASE SHALL SAID ADJUSTMENTS REDUCE THE QUALITY OF CONSTRUCTION OR REDUCE THE PROJECT CONFORMANCE TO STATE AND LOCAL CODES AND ORDINANCES.
- PERFORM CUTTING AND PATCHING IN A NEAT AND WORKMANLIKE MANNER. REPAIR ANY EXISTING FINISHES DISTURBED OR DAMAGED DURING THE COURSE OF WORK TO MATCH EXISTING IN KIND AND FINISH.
- CONTRACTOR SHALL PROVIDE PUBLIC PROTECTIONS AS NECESSARY PER ALL APPLICABLE CODES.
- ALL WALLCOVERING AND ACOUSTICAL CEILING TILES AS WELL AS FLOOR FINISHES SHALL BE CLASS "A" AND SO LABELED.
- DOOR HARDWARE SHALL COMPLY WITH SECTION ADAAG 4.13.9.
- COORDINATE DUMPSTER LOCATION WITH LANDLORD.

### GENERAL DEMOLITION NOTES:

- ALL DEMOLISHED ITEMS, NOT TO BE DELIVERED TO THE OWNER, SHALL BE REMOVED FROM THE SITE. NO DEMOLISHED ITEMS SHALL BE STORED ON SITE UNLESS AUTHORIZED BY OWNER.
- ALL EXISTING AREAS TO REMAIN LOCATED ADJACENT TO ANY DEMOLITION WORK, SHALL BE PATCHED AND REPAIRED BY THE CONTRACTOR TO MATCH THE ORIGINAL EXISTING CONDITION, OR AS REQUIRED TO PROVIDE FOR NEW CONSTRUCTION WORK IN THE AREA OF DEMOLITION.
- ALL DEMOLITION WORK SHALL BE COORDINATED WITH ANY NEW CONSTRUCTION, IN THAT PARTICULAR LOCATION, REFER TO FLOOR PLAN FOR THE EXTENT OF NEW CONSTRUCTION WORK IN VARIOUS AREAS.
- AT LOCATIONS WHERE AN ITEM IS REMOVED FROM AN EXISTING SURFACE, THAT IS TO REMAIN, THE CONTRACTOR SHALL PATCH AND REPAIR THE DAMAGED AREA TO MATCH THE EXISTING FINISH ON THE ADJACENT SURFACE.
- IN ALL CONDITIONS WHERE A WALL OR A FLOOR FINISH IS DEMOLISHED CREATING A DISSIMILAR FINISH FLOOR ELEVATION WITH THE ADJACENT FLOOR, THE CONTRACTOR SHALL INSTALL AN APPROVED LEVELING GROUT OR CEMENT TO BRING THE LOWER FLOOR UP TO A FLUSH ELEVATION WITH THE ADJACENT FLOORS.

### GENERAL PARTITION NOTES:

- ALL DIMENSIONS ARE FROM THE FACE OF FINISHED SURFACE (STUD, PLUS DRYWALL), UNLESS NOTED OTHERWISE.
- ALIGN ABUTTING FINISH FACES OF DIFFERENT PARTITION TYPES FLUSH (IN SAME PLANE) FOR MONOLITHIC APPEARANCE.

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL LOCAL, COUNTY AND STATE CODES, APPLICABLE LAWS, RULES AND REGULATIONS GOVERNING INSTALLATIONS.

### INTERIOR FINISH NOTES:

- REVIEW ROOM FINISHES WITH OWNER PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY ALL AREAS OF FINISH DEMOLITION INCLUDING FLOORING, CEILING, AND WALL BASE.
- ALL NEW INTERIOR CONSTRUCTION SHALL CONFORM TO TYPE I, FIRE RESISTIVE CONSTRUCTION, AS REQUIRED BY THE APPLICABLE MUNICIPAL BUILDING CODES.

### CONSTRUCTION NOTES:

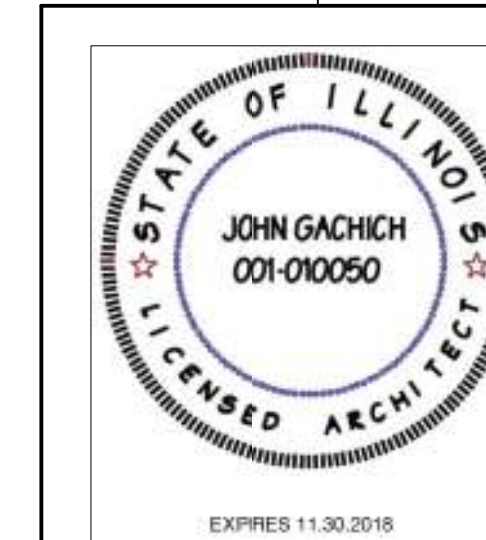
- ALL CONTRACTORS SHOULD ADHERE TO O.S.H.A. APPROVED SAFETY STANDARDS, STAIR OPENINGS, SCAFFOLDING, ETC.
  - DESIGNERS AND ARCHITECTS ARE NOT RESPONSIBLE FOR ANY O.S.H.A. VIOLATIONS OR REQUIREMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO ENSURE COMPLIANCE WITH ALL GOVERNING REGULATIONS, CODES, ORDINANCES, & CURRENT STANDARDS OF PRACTICE.
  - ALL WORK SHALL BE PERFORMED BY QUALIFIED CONTRACTORS FAMILIAR WITH THESE DRAWINGS & EACH TYPE OF WORK REQUIRED.
  - WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID ERRORS IN THE PREPARATION OF THESE DRAWINGS, THE PREPARER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR & HIS SUBCONTRACTORS, ON THE JOB, MUST CHECK ALL DIMENSIONS & DETAILS, & BE RESPONSIBLE FOR THE SAME.
  - APPROPRIATE SUBCONTRACTORS SHALL BE RESPONSIBLE FOR LAYOUT OF HVAC & ELECTRICAL SYSTEMS. SUBCONTRACTORS SHALL VERIFY, & ENSURE CONFORMANCE WITH OWNER'S REQUIREMENTS, BUT IN NO CASE SHALL SYSTEMS BE SUBSTANDARD TO REQUIREMENTS OF GOVERNING REGULATIONS, CODES, ORDINANCES, & CURRENT STADARDS OF PRACTICE.
  - GENERAL CONTRACTOR SHOULD PREPARE ALL CONDUIT AS REQUIRED BY LOCAL CODE. THE ELECTRICIAN IS RESPONSIBLE FOR SUPPLYING THE POWER AND THE CONDUITS ONLY. SEPARATE BOXES SHOULD BE PROVIDED AT ALL PHONE AND DATA LOCATIONS. PHONE AND DATA REQUIRE SEPARATE FACEPLATES. SEPARATE CONTRACTORS WILL INSTALL THE PHONE AND DATA WIRING.

### ELECTRICAL NOTES:

- THE COMPLETE INSTALLATION SHALL COMPLY WITH ALL LAWS OF THE CITY OF GENEVA'S ELECTRICAL CODE, AND THE LATEST PUBLISHED EDITION (INCLUDING AMENDMENTS) OF THE NATIONAL ELECTRICAL CODE AS ISSUED BY THE NATIONAL FIRE PROTECTION ASSOCIATION. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGE NECESSARY TO COMPLY WITH CODES AND ORDINANCES AND SHALL VERIFY WITH THE SERVICE UTILITY COMPANY THE AVAILABILITY OF THE SERVICE LOCATION AND REQUIRED VOLTAGE.
- ALL FEES FOR PERMITS, INSPECTIONS, LICENSES, TAXES, INSURANCE, AND OTHER INCIDENTAL CHARGES SHALL BE ARRANGED AND PAID FOR BY THIS CONTRACTOR.
- ALL RECEPTACLES SHALL BE INSTALLED AT 18" AFF, UNLESS OTHERWISE NOTED. SWITCHES SHALL BE INSTALLED AT 48" AFF, UNLESS OTHERWISE NOTED IN BUILDING STANDARDS.
- FRAMING MEMBERS OF SUSPENDED CEILING SYSTEMS USED TO SUPPORT FIXTURES SHALL BE SECURELY FASTENED TO EACH OTHER AND SHALL BE SECURELY ATTACHED TO THE BLDG. STRUCTURE AT APPROPRIATE INTERVALS. FIXTURES SHALL BE SECURELY FASTENED TO THE CLG. FRAMING MEMBER BY MECHANICAL MEANS SUCH AS BOLTS, SCREWS, OR RIVETS.
- RACEWAYS, CABLE ASSEMBLIES, BOXES, CABINETS, AND FITTINGS SHALL BE SECURELY FASTENED IN PLACE. WHERE INDEPENDENT SUPPORT WIRES ARE USED, THEY SHALL BE SECURED AT BOTH ENDS. CABLES AND RACEWAYS SHALL NOT BE SUPPORTED BY CEILING GRIDS.
- ALL ELECTRICAL AND/OR TELEPHONE BOXES ON OPPOSITE FACES OF THE SAME WALL ARE TO BE STAGGERED. CAULK FOR SOUND ATTENUATION.
- TELEPHONE EQUIPMENT PANEL SHALL BE MOUNTED ON FIRE-PROOFED PLYWOOD AS REQUIRED BY CODES.
- ALL WORK, MATERIALS, AND EQUIPMENT SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE PROJECT ACCEPTANCE, AND TURN OVER, FAULTY WORKMANSHIP OR DEFECTIVE MATERIALS SHALL BE CORRECTED IMMEDIATELY AT NO COST TO THE OWNER.
- ALL EQUIPMENT SHALL BE GROUNDED AND BONDED IN ACCORDANCE WITH LOCAL REGULATIONS AND THE NATIONAL ELECTRICAL CODE, ARTICLE 250.
- NIGHT LIGHTS, EMERGENCY LIGHTS, AND EXIT LIGHTS SHALL BE WIRED INTO A SEPARATE CIRCUIT WHICH SHALL BE PERMANENTLY LOCKED USING A BREAKER LOCK SERVICE.
- THE ELECTRICAL LAYOUT IS DIAGRAMMATICAL, ALL CONDUIT ROUTING IS BY THE ELECTRICAL CONTRACTOR.
- CONTRACTOR TO REMOVE CABLES FOR UNUSED APPLIANCES OR LOADS (SMALL WATER HEATERS). CAP THE CONDUIT AT WALL PENETRATION AND MARK CIRCUIT AS SPARE ON THE PANEL SCHEDULE.
- ALL EMERGENCY LIGHTS SHALL BE CONNECTED TO THE GENERAL LIGHTING CIRCUIT FOR THE AREA AND AHEAD OF ANY LOCAL SWITCHING MEANS.

### FIRE ALARM NOTES:

- ALL FIRE ALARM STROBE UNITS AND OTHER WALL MOUNTED VISUAL DEVICES SHALL BE MOUNTED AT 80" A.F.F.
- PROVIDE AND INSTALL F/A EQUIPMENT/ DEVICES AS SHOWN ON PLAN TO MATCH EXISTING F/A SYSTEM CURRENTLY INSTALLED. PROVIDE PROGRAMMING, CONNECTIONS AND INTERFACE AS REQUIRED TO HAVE A COMPLETE, OPERATING F/A SYSTEM.
- SUBMIT FIRE ALARM, EMERGENCY AND EXIT LIGHTING DRAWING TO THE LOCAL FIRE DEPARTMENT OR LOCAL AGENCY REQUIRING SUCH DOCUMENTS FOR APPROVAL.
- ALL EMERGENCY LIGHTING AND EXIT SIGNS SHALL HAVE 1 1/2 HR. BATTERY BACK-UP TO ASSURE CONTINUED ILLUMINATION OF NOT LESS THAN 1 1/2 HR. IN THE EVENT OF PRIMARY POWER LOSS. COMPLY W/ NATIONAL ELECTRIC CODE.
- FIRE EXTINGUISHERS SHALL BE INSTALLED AS DIRECTED BY THE LOCAL FIRE DEPARTMENT AND SHALL COMPLY WITH NFPA-10 STANDARDS.
- EMERGENCY WARNING SYSTEM TO BE IN CONFORMANCE WITH REQUIREMENTS SET FORTH IN THE ILLINOIS ACCESSIBILITY CODE SECTION 400.310(s).



I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH ALL APPLICABLE CODES.  
 November 8, 2017  
 JOHN GACHICH, ARCHITECT  
 ILLINOIS LICENSE NO. 001-010050  
 EXP. 11.30.2018



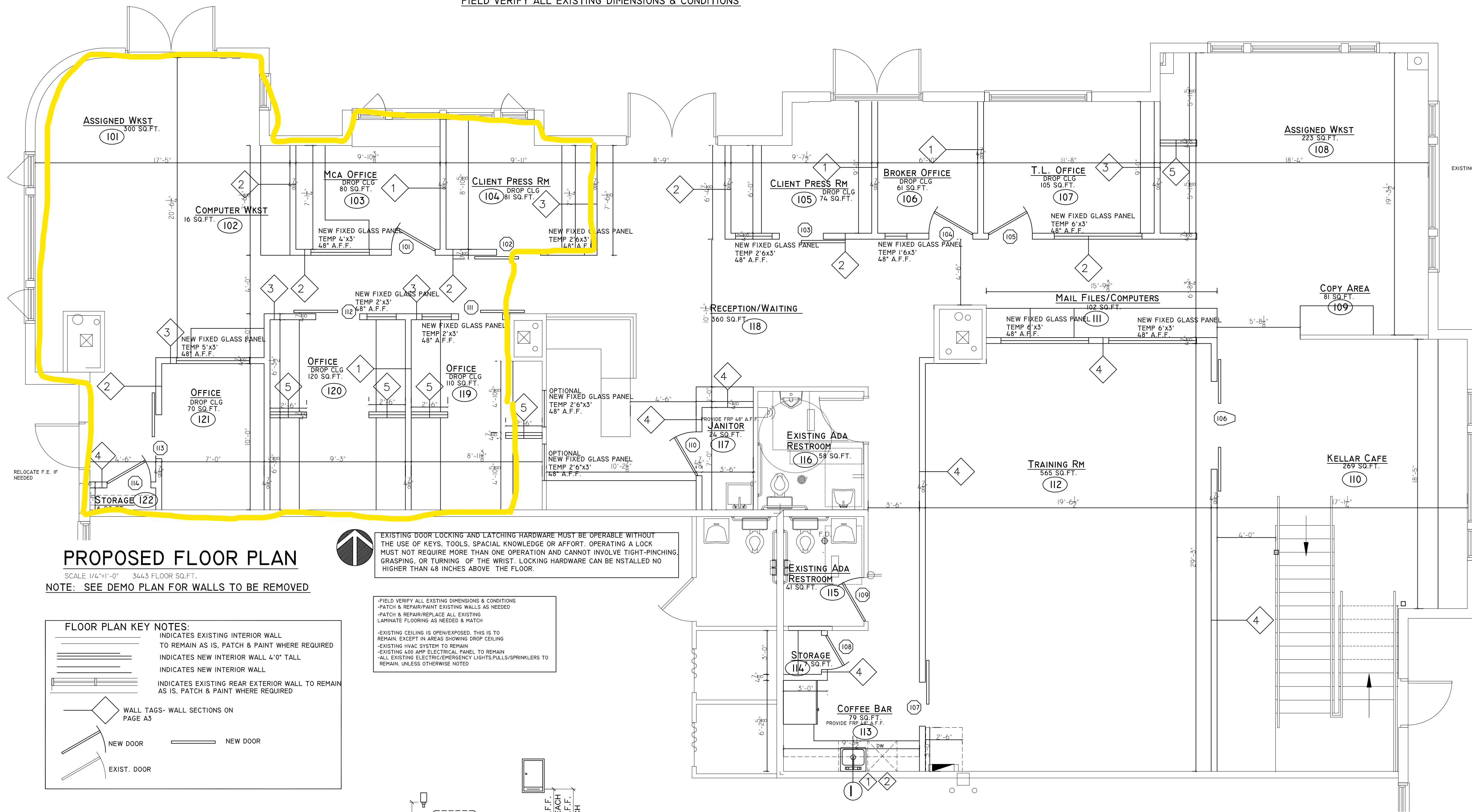
**BUILDER**  
 CENTENNIAL BUILDERS  
 849 AYERS  
 NAPERVILLE, ILLINOIS  
 PH. 630.514-4437

**PROJECT**  
 KELLER WILLIAMS REALTY  
 BUILDOUT  
 SUITE 114  
 407 SOUTH 3RD STREET  
 GENEVA, ILLINOIS

REV	DATE	ISSUES AND REVISIONS:	BY:
0			

TOTAL SQUARE FOOTAGE 3443  
 SCALE: 1/4" = 1'-0" (UNLESS NOTED)  
 JOB NO. 00-709  
 SHEET NO. A-1 OF 6

FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS



**PROPOSED FLOOR PLAN**

SCALE 1/4"=1'-0" 3443 FLOOR SQ.FT.

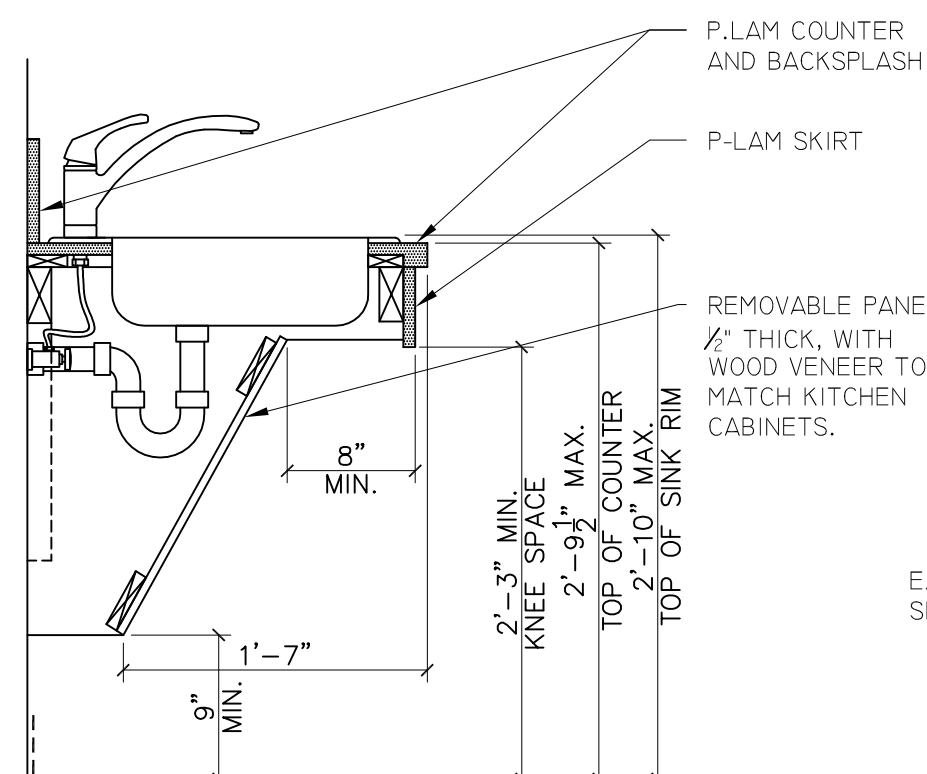
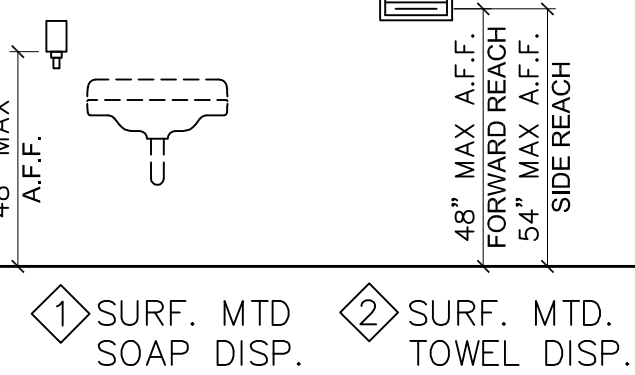
NOTE: SEE DEMO PLAN FOR WALLS TO BE REMOVED

**FLOOR PLAN KEY NOTES:**

- INDICATES EXISTING INTERIOR WALL TO REMAIN AS IS. PATCH & PAINT WHERE REQUIRED
- INDICATES NEW INTERIOR WALL 4'-0" TALL
- INDICATES NEW INTERIOR WALL
- INDICATES EXISTING REAR EXTERIOR WALL TO REMAIN AS IS. PATCH & PAINT WHERE REQUIRED
- WALL TAGS- WALL SECTIONS ON PAGE A3
- NEW DOOR
- EXIST. DOOR

EXISTING DOOR LOCKING AND LATCHING HARDWARE MUST BE OPERABLE WITHOUT THE USE OF KEYS, TOOLS, SPECIAL KNOWLEDGE OR EFFORT. OPERATING A LOCK MUST NOT REQUIRE MORE THAN ONE OPERATION AND CANNOT INVOLVE TIGHT-PINCHING, GRASPING, OR TURNING OF THE WRIST. LOCKING HARDWARE CAN BE INSTALLED NO HIGHER THAN 48 INCHES ABOVE THE FLOOR.

FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS  
 PATCH & REPAIR/PAINT EXISTING WALLS AS NEEDED  
 PATCH & REPAIR/REPLACE ALL EXISTING LAMINATE FLOORING AS NEEDED & MATCH  
 EXISTING CEILING IS OPEN/EXPOSED. THIS IS TO REMAIN EXCEPT IN AREAS SHOWING DROP CEILING  
 EXISTING HVAC SYSTEM TO REMAIN  
 EXISTING 400 AMP ELECTRICAL PANEL TO REMAIN  
 ALL EXISTING ELECTRIC/EMERGENCY LIGHTS/PULLS/SPRINKLERS TO REMAIN, UNLESS OTHERWISE NOTED

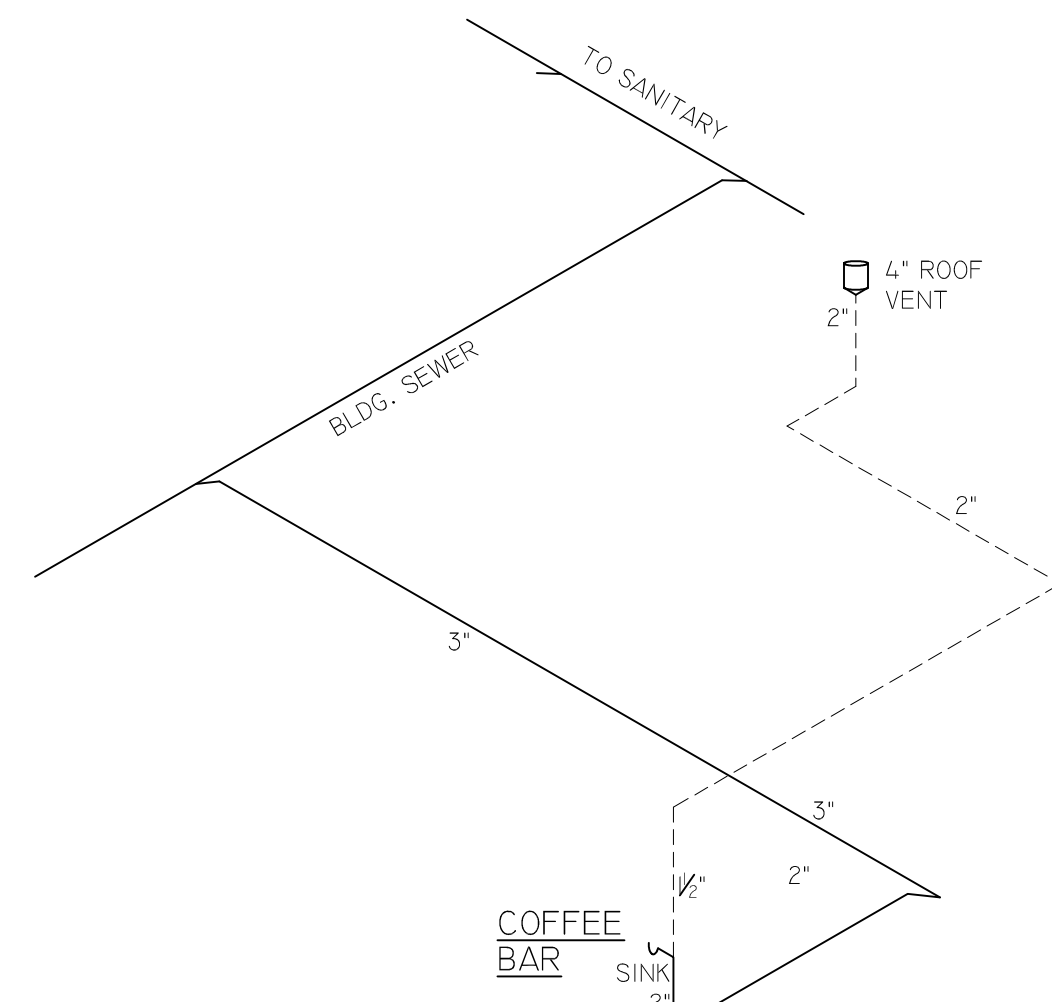


**SECTION**

Scale 1"=1'-0"

**DOM. WATER RISER DIAG. FOR NEW SINK**

- PLUMBING NOTES:**
- OWNER TO PROVIDE ADA COMPLIANT BOTTLED WATER COOLER w/ CUP DISPENSER PER IAC FIG. 5 # 6

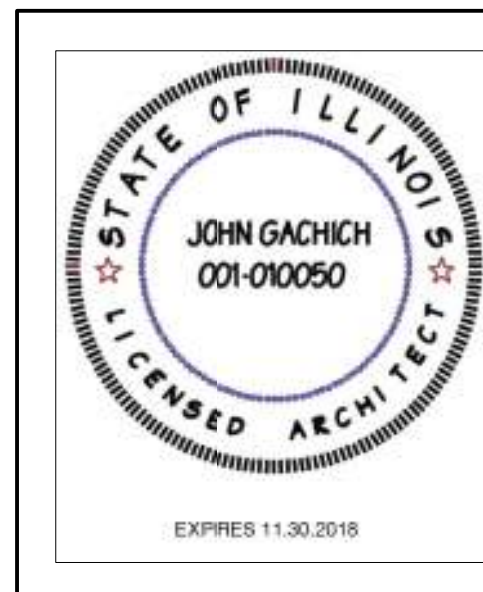
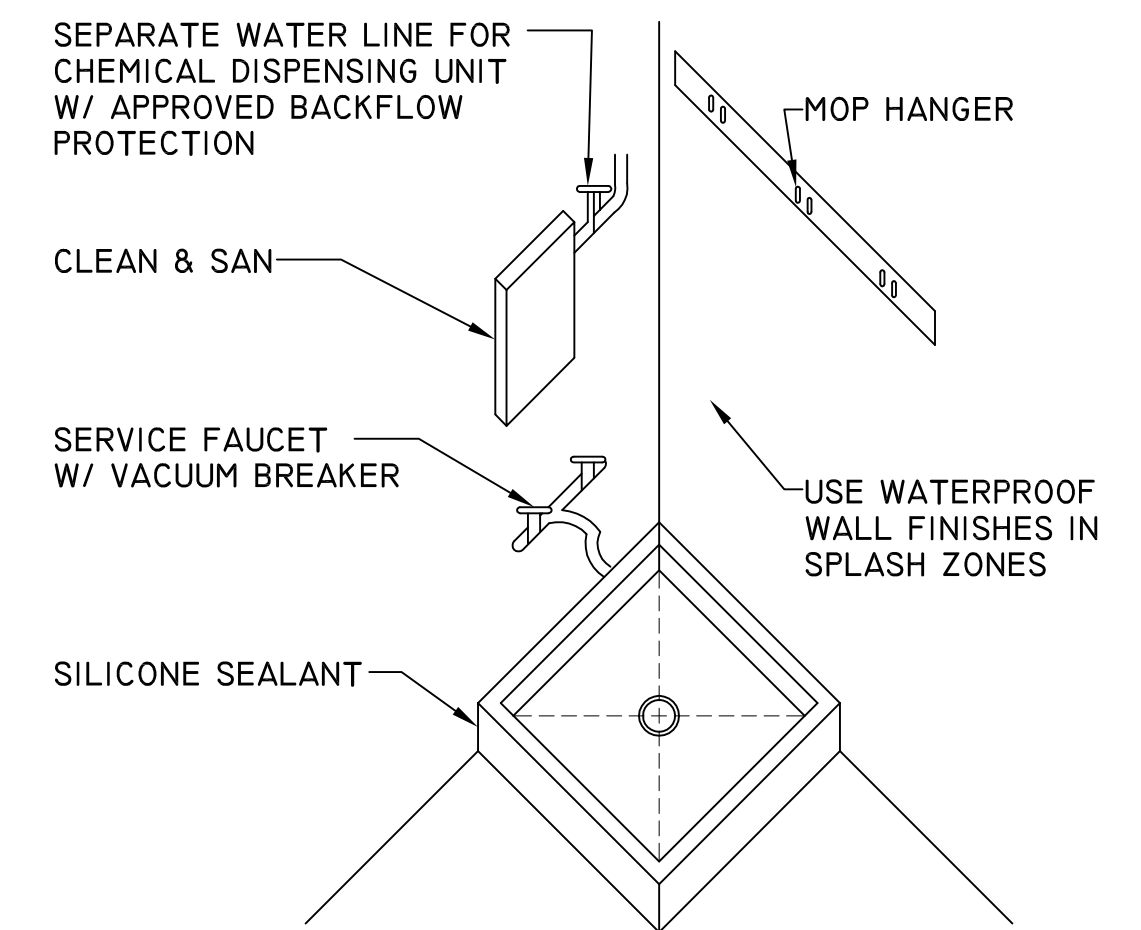


**SAN. RISER DIAG. FOR NEW SINK**

**PLUMBING NOTES:**

- TYPE L COPPER WITH NO LEAD SOLDER REQ'D ON ABOVE GROUND DOMESTIC WATER
- WASTE AND VENT PIPING TO BE SCH 40 PVC OR SERVICE WEIGHT CAST IRON.
- UNDERGROUND SANITARY TO BE SCH 40 OR SERVICE WEIGHT CAST IRON.
- TYPE K COPPER REQUIRED ON UNDERGROUND DOMESTIC WATER.
- TEMPERED HOT WATER NOT TO EXCEED 110 DEGREES.
- 75 LB. AIR TEST OR WATER PRESSURE REQ'D ON WATER PIPING AT TIME OF ROUGH INSPECTION.
- ALL EXIST. PLBG. THAT MAY POSE A HEALTH OR SAFETY HAZARD MUST BE REVISED TO MEET ILLINOIS PLUMBING CODE AND CITY OF NAPERVILLE ORDINANCES.
- ALL NEW PLUMBING MUST MEET ILLINOIS PLUMBING CODES.
- ISOLATION VALVES REQ'D ON WATER PIPE IN ACCORDANCE WITH THE ILLINOIS PLUMBING CODE SECTION 890.1190.
- STACK TEST REQ'D ON ALL NEW UNDERGROUND AND ROUGH PLUMBING.
- WATER PIPING TO BE SIZED PER THE ILLINOIS PLUMBING CODE.

**EXISTING MOP SINK STATION:**



**IMAGE BY DESIGN, INC.**  
 DESIGN & DRAFTING  
 13765 SHARP DRIVE  
 PLAINFIELD, ILLINOIS 60544  
 PH. 630.968.2510  
 FAX 630.839.9119

**BUILDER**  
**CENTENNIAL BUILDERS**  
 849 AVERS  
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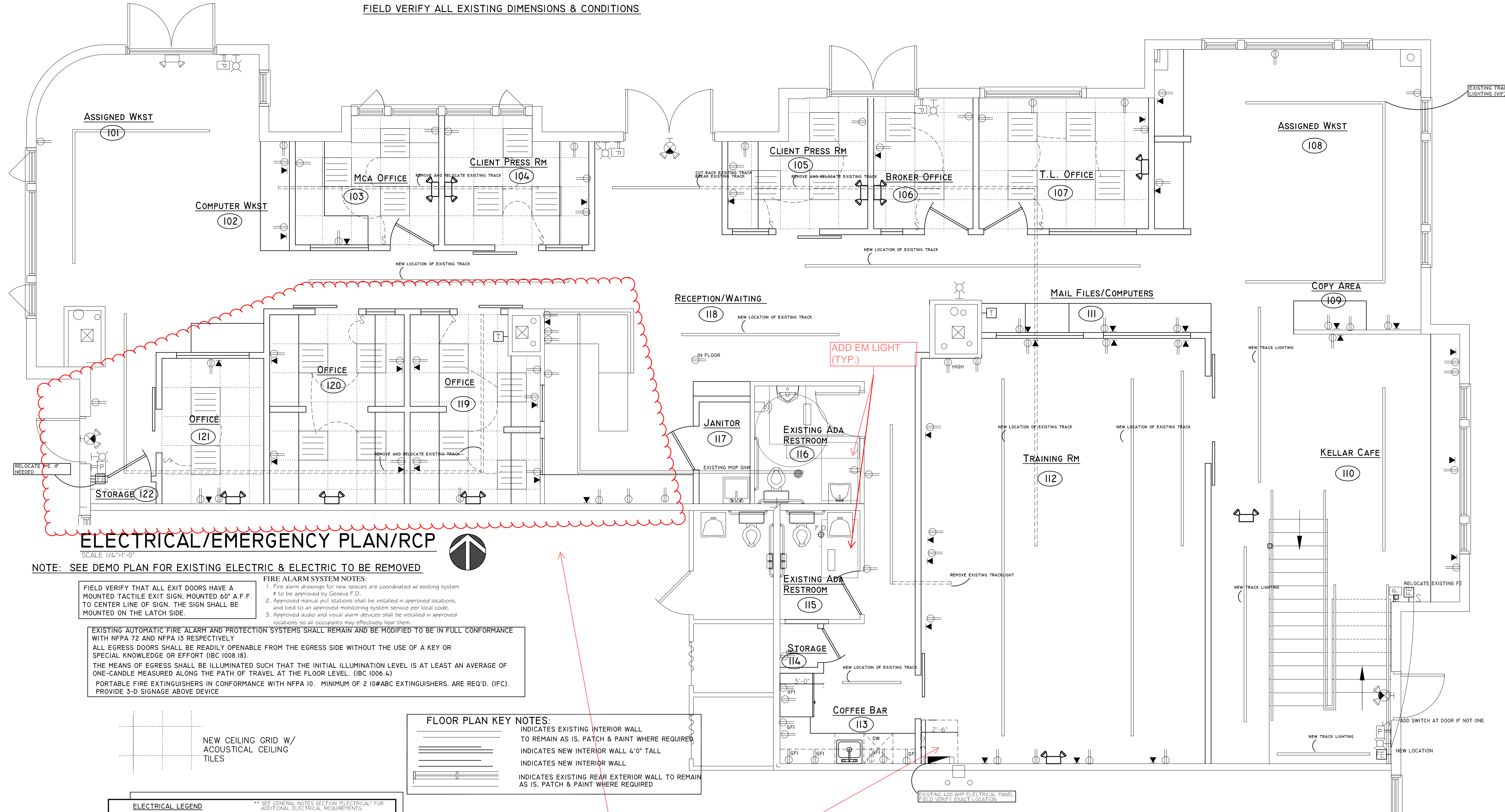
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REV	DATE	ISSUES AND REVISIONS	BY
0			

TOTAL SQUARE FOOTAGE 3443  
 SCALE: 1/4" = 1'-0" (UNLESS NOTED)  
 JOB NO. 00-709  
 SHEET NO.

**A-2**  
 OF 6

FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS



**ELECTRICAL/EMERGENCY PLAN/RCP**

SCALE: 1/4" = 1'-0"

NOTE: SEE DEMO PLAN FOR EXISTING ELECTRIC & ELECTRIC TO BE REMOVED

FIELD VERIFY THAT ALL EXIT DOORS HAVE A MOUNTED TACTILE EXIT SIGN, MOUNTED 60" A.F.F. TO CENTER LINE OF SIGN. THE SIGN SHALL BE MOUNTED ON THE LATCH SIDE.

**FIRE ALARM SYSTEM NOTES:**  
 1. Fire alarm drawings for new spaces are coordinated w/ existing system & to be approved by Geneva F.D.  
 2. Approved manual pull stations shall be installed in approved locations, and tied to an approved monitoring system service per local code.  
 3. Approved audio and visual alarm devices shall be installed in approved locations so all occupants may effectively hear them.

EXISTING AUTOMATIC FIRE ALARM AND PROTECTION SYSTEMS SHALL REMAIN AND BE MODIFIED TO BE IN FULL CONFORMANCE WITH NFPA 72 AND NFPA 13 RESPECTIVELY  
 ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT (IBC 1008.18)  
 THE MEANS OF EGRESS SHALL BE ILLUMINATED SUCH THAT THE INITIAL ILLUMINATION LEVEL IS AT LEAST AN AVERAGE OF ONE-CANDLE MEASURED ALONG THE PATH OF TRAVEL AT THE FLOOR LEVEL. (IBC 1006.4)  
 PORTABLE FIRE EXTINGUISHERS IN CONFORMANCE WITH NFPA 10. MINIMUM OF 2 10#ABC EXTINGUISHERS, ARE REQ'D. (IFC). PROVIDE 3-D SIGNAGE ABOVE DEVICE

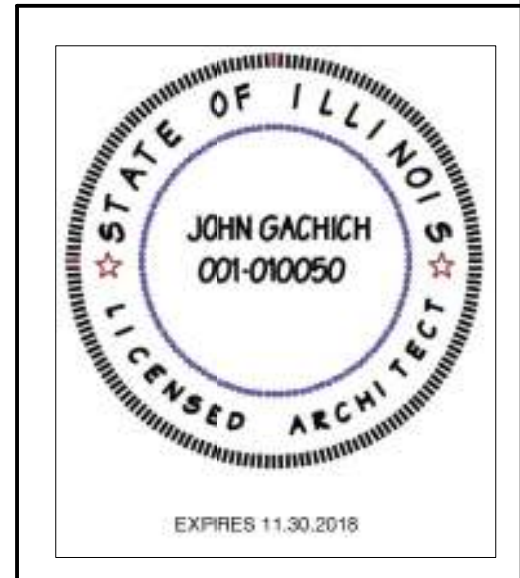
NEW CEILING GRID W/ ACOUSTICAL CEILING TILES

**FLOOR PLAN KEY NOTES:**  
 INDICATES EXISTING INTERIOR WALL TO REMAIN AS IS. PATCH & PAINT WHERE REQUIRED  
 INDICATES NEW INTERIOR WALL 4'-0" TALL  
 INDICATES NEW INTERIOR WALL  
 INDICATES EXISTING REAR EXTERIOR WALL TO REMAIN AS IS. PATCH & PAINT WHERE REQUIRED

ELECTRICAL LEGEND		** SEE GENERAL NOTES SECTION ELECTRICAL FOR ADDITIONAL ELECTRICAL REQUIREMENTS.	
	WALL POINT SWITCH/PROVIDE DIMMERS OR OCCUPANCY SENSORS		TELEPHONE/GATA JACK
	120V DUPLEX RECEPTACLE OUTLET		EXISTING HORN/STROBE COMBO
	GROUND FAULT INTERRUPTED 120V DUPLEX RECEPTACLE OUTLET		EXISTING FIRE ALARM PULL STATION
	EXISTING RECEPTACLE OUTLET		EXISTING FIRE EXTINGUISHER
	OVERHEAD FIXTURE		EXISTING THERMOSTAT
	WALL POINT FIXTURE		EMERGENCY LIGHT
	RECESSED CAN FIXTURE		EXISTING EMERGENCY LIGHT
	NEW 2'0 x 2'0 FLUORESCENT LIGHT		EXISTING EXIT SIGN/ EY. LIGHT COMBO
	NEW TRACK LIGHTING OR NEW LOCATION (PER PLAN)		EXISTING TRACK LIGHTING TO BE REMOVED & RELOCATED (PER PLAN)
	EXISTING TRACK LIGHTING		NEW WIRING

CLEAR SPACE

THIS AREA PART OF PHASE 2- NOT INCLUDED IN THIS PROJECT



**IMAGE BY DESIGN, INC.**  
 DESIGN & DRAFTING  
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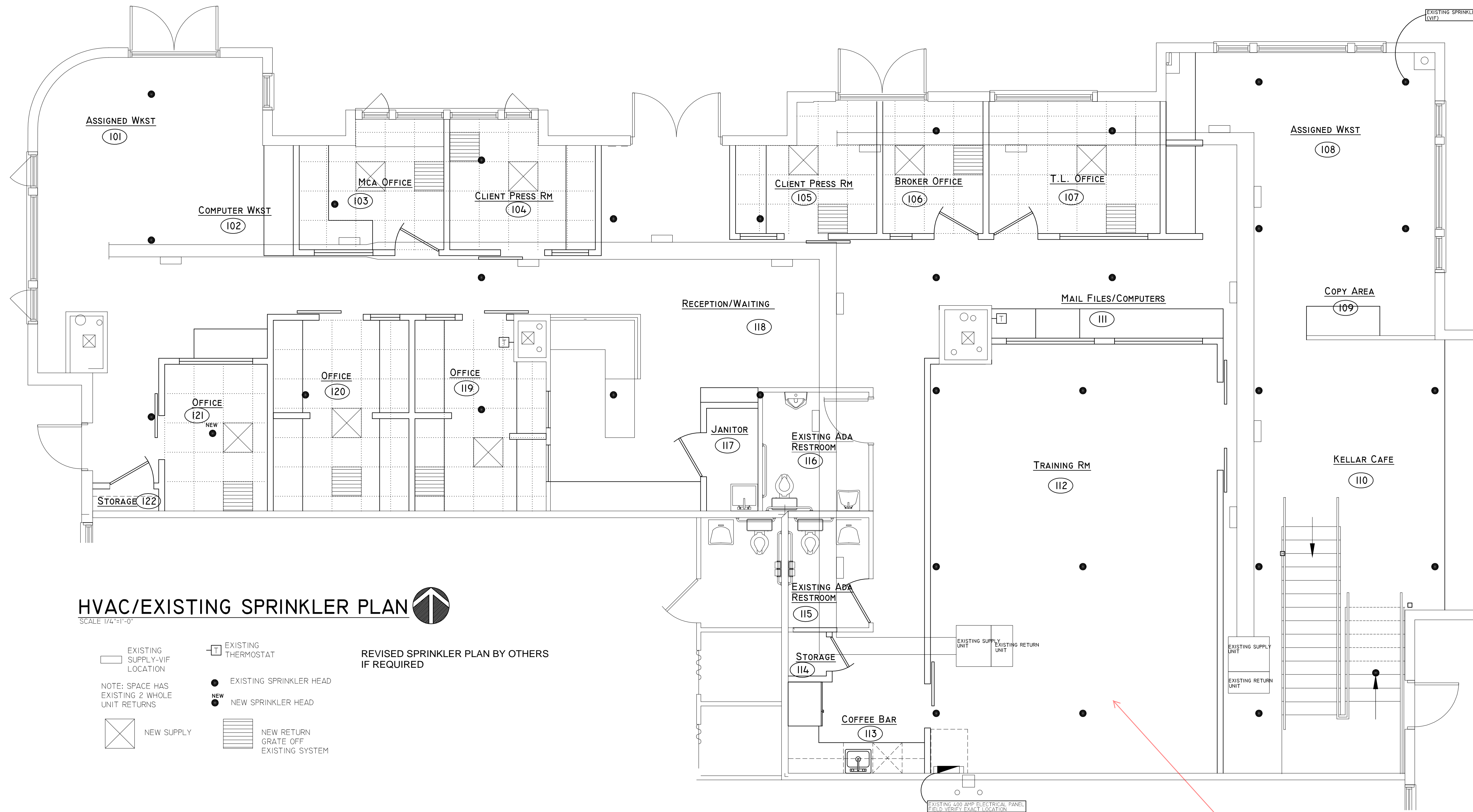
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0	11/17/17		BHC

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**A-3**  
 OF 6

FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS



**HVAC/EXISTING SPRINKLER PLAN**

SCALE 1/4"=1'-0"

- EXISTING SUPPLY-VIF LOCATION
- EXISTING THERMOSTAT
- EXISTING SPRINKLER HEAD
- NEW SPRINKLER HEAD
- NEW SUPPLY
- NEW RETURN GRATE OFF EXISTING SYSTEM

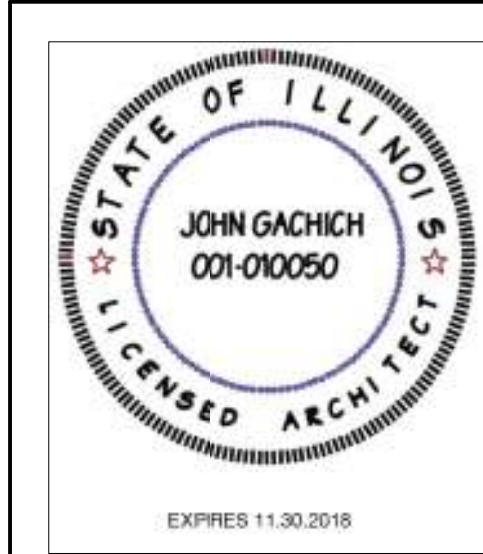
REVISED SPRINKLER PLAN BY OTHERS IF REQUIRED

NOTE: SPACE HAS EXISTING 2 WHOLE UNIT RETURNS

PROVIDE SUPPLY AND RETURNS  
PROVIDE HVAC DUCT BALANCE REPORT (FOR ENTIRE PROJECT)

VENTILATION SCHEDULE-2 EXISTING UNITS TO REMAIN

ROOM NO.	ROOM NAME OCCUPANCY CLASSIFICATION	AREA, SQ. FT.	# OF OCCUPANTS OR FIXTURES	TABLE REQUIREMENTS CFM/OCC	REQUIRED SPACE VENTILATION		ACTUAL SPACE VENTILATION		
					O.A. (CFM)	SUPPLY	TOTAL SUPPLY	OUTDOOR AIR (30%)	RETURN CFM
101	ASSIGNED WKST	300	3	20	60		250	75	250
102	COMPUTER WKST	16	1	20	20		150	45	150
103	MCA OFFICE	80	1	20	20		150	45	150
104	CLIENT PRESS ROOM	81	1	20	20		150	45	150
105	CLIENT PRESS ROOM	74	1	20	20		150	45	150
106	BROKER OFFICE	61	1	20	20		150	45	150
107	T.L. OFFICE	105	1	20	20		150	45	150
108	ASSIGNED WKST	223	2	20	40		200	60	200
109	COPY AREA	81	1	20	20		150	45	150
110	KELLAR CAFE	269	2	20	40		250	75	250
111	MAIL FILES/COMPUTERS	102	1	20	20		150	45	150
112	TRAINING ROOM	565	5	20	100		400	160	400
113	COFFEE BAR	79	1	20	20		75	22.5	75
114	STORAGE	7	0	20	0		75	22.5	75
115	RESTROOM	41	1	20	20		75	22.5	75
116	RESTROOM	58	1	20	20		75	22.5	75
117	JANITOR	24	0	20	0		75	22.5	75
118	RECEPTION/WAITING	360	3	20	60		300	120	300
119	OFFICE	110	1	20	20		150	45	150
120	OFFICE	120	1	20	20		150	45	150
121	OFFICE	70	1	20	20		150	45	150
122	STORAGE	6	0	20	0		75	22.5	75



**IMAGE BY DESIGN, INC.**  
DESIGN & DRAFTING  
13763 SHARP DRIVE  
PLAINFIELD, ILLINOIS 60544  
PH. 630.968.2510  
FAX 630.839.9119

**BUILDER**  
**CENTENNIAL BUILDERS**  
849 AYERS  
NAPERVILLE, ILLINOIS  
PH. 630.514-4437

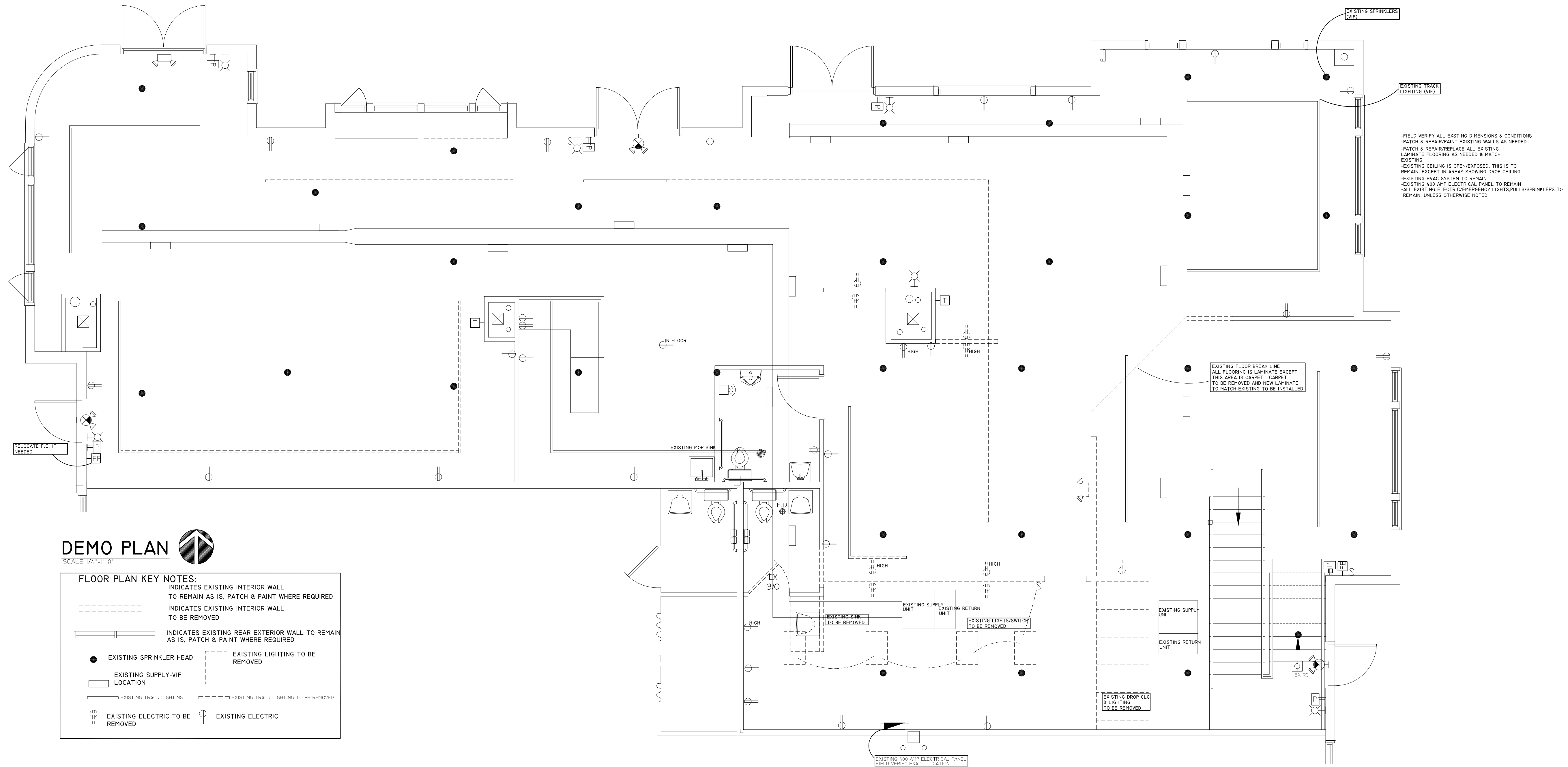
**PROJECT**  
**KELLER WILLIAMS REALTY BUILDOUT**  
SUITE 114  
407 SOUTH 3RD STREET  
GENEVA, ILLINOIS

REV	DATE	ISSUES AND REVISIONS	BY
0			

TOTAL SQUARE FOOTAGE 3443  
SCALE: 1/4" = 1'-0" (UNLESS NOTED)  
JOB NO. 00-709

SHEET NO. **A-4**  
OF 6

FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS

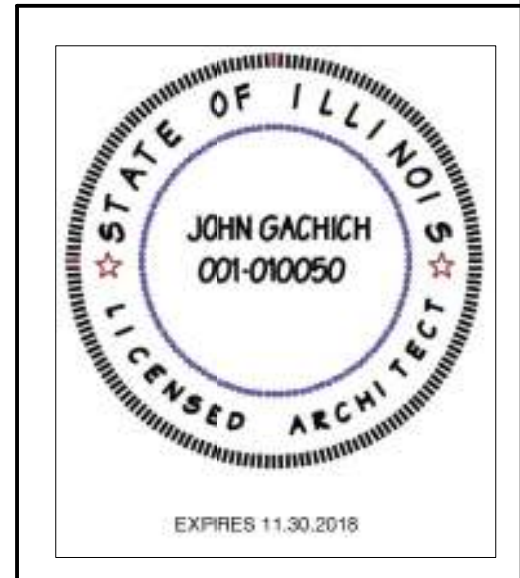


-FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS  
 -PATCH & REPAIR/PAINT EXISTING WALLS AS NEEDED  
 -PATCH & REPAIR/REPLACE ALL EXISTING LAMINATE FLOORING AS NEEDED & MATCH EXISTING  
 -EXISTING CEILING IS OPEN/EXPOSED. THIS IS TO REMAIN EXCEPT IN AREAS SHOWING DROP CEILING  
 -EXISTING HVAC SYSTEM TO REMAIN  
 -EXISTING 400 AMP ELECTRICAL PANEL TO REMAIN  
 -ALL EXISTING ELECTRIC/EMERGENCY LIGHTS/PULLS/SPRINKLERS TO REMAIN, UNLESS OTHERWISE NOTED

**DEMO PLAN**  
 SCALE: 1/4" = 1'-0"

**FLOOR PLAN KEY NOTES:**

	INDICATES EXISTING INTERIOR WALL TO REMAIN AS IS. PATCH & PAINT WHERE REQUIRED
	INDICATES EXISTING INTERIOR WALL TO BE REMOVED
	INDICATES EXISTING REAR EXTERIOR WALL TO REMAIN AS IS. PATCH & PAINT WHERE REQUIRED
	EXISTING SPRINKLER HEAD
	EXISTING LIGHTING TO BE REMOVED
	EXISTING SUPPLY-VIF LOCATION
	EXISTING TRACK LIGHTING
	EXISTING TRACK LIGHTING TO BE REMOVED
	EXISTING ELECTRIC TO BE REMOVED
	EXISTING ELECTRIC



**IMAGE BY DESIGN, INC.**  
 DESIGN & DRAFTING  
 13765 SHARP DRIVE  
 PLAINFIELD, ILLINOIS 60544  
 PH. 630.968.2510  
 FAX 630.839.9119

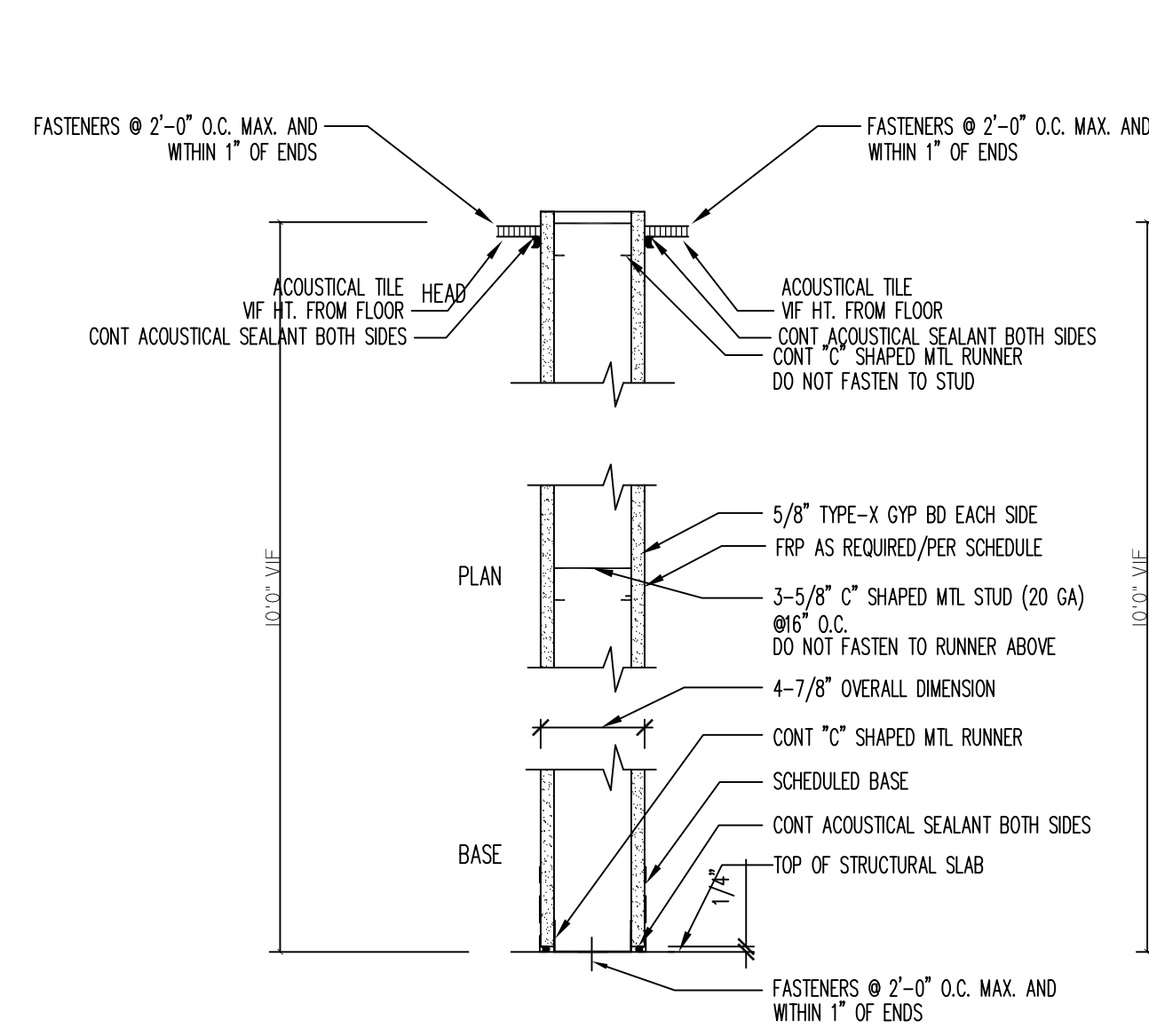
**BUILDER**  
**CENTENNIAL BUILDERS**  
 849 AYERS  
 NAPERVILLE, ILLINOIS  
 PH. 630.514-4437

**PROJECT**  
**KELLER WILLIAMS REALTY BUILDOUT**  
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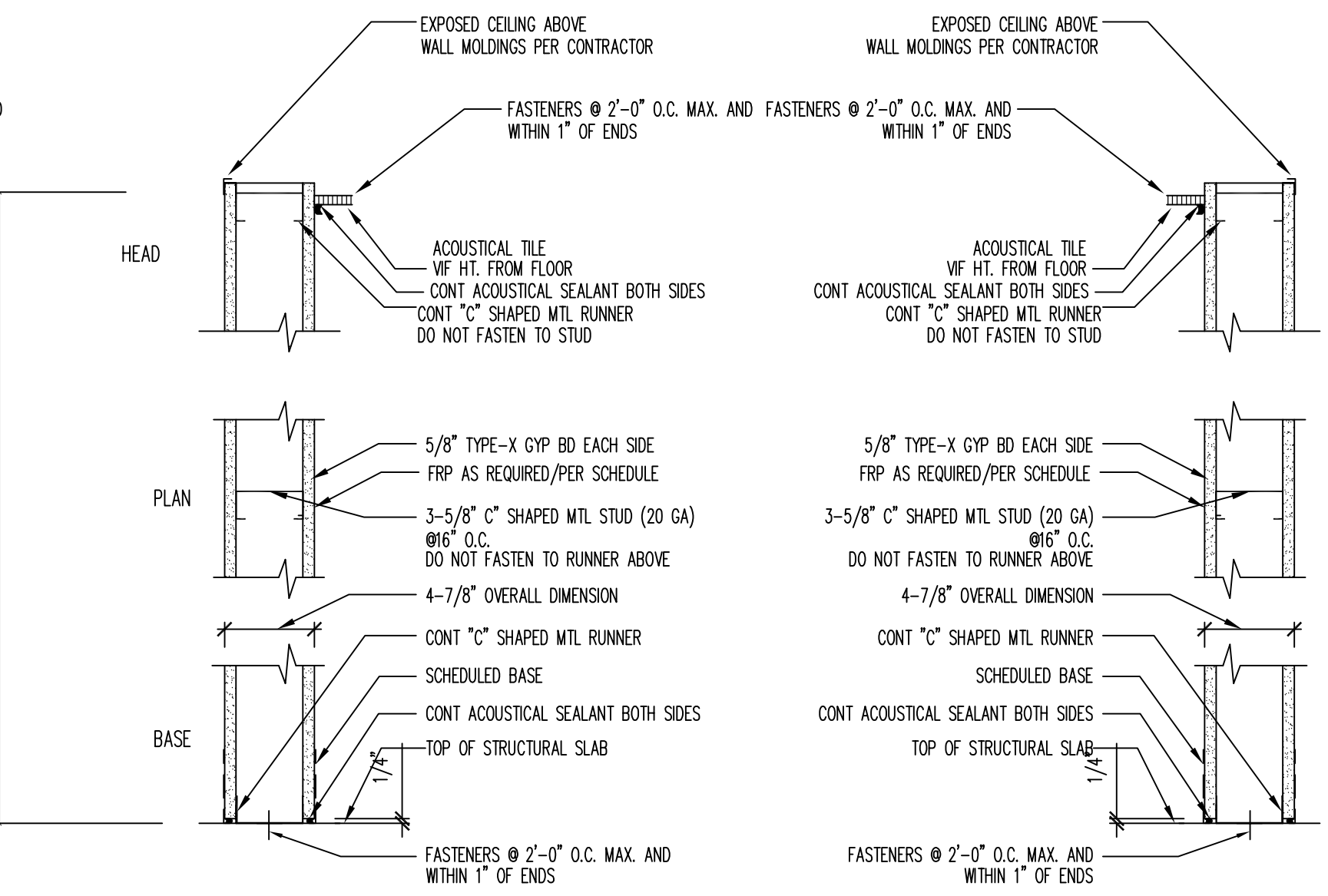
REV	DATE	ISSUES AND REVISIONS	BY
0	11/17/17		BHC

TOTAL SQUARE FOOTAGE: 344.3  
 SCALE: 1/4" = 1'-0" (UNLESS NOTED)  
 JOB NO. 00-709  
 SHEET NO.

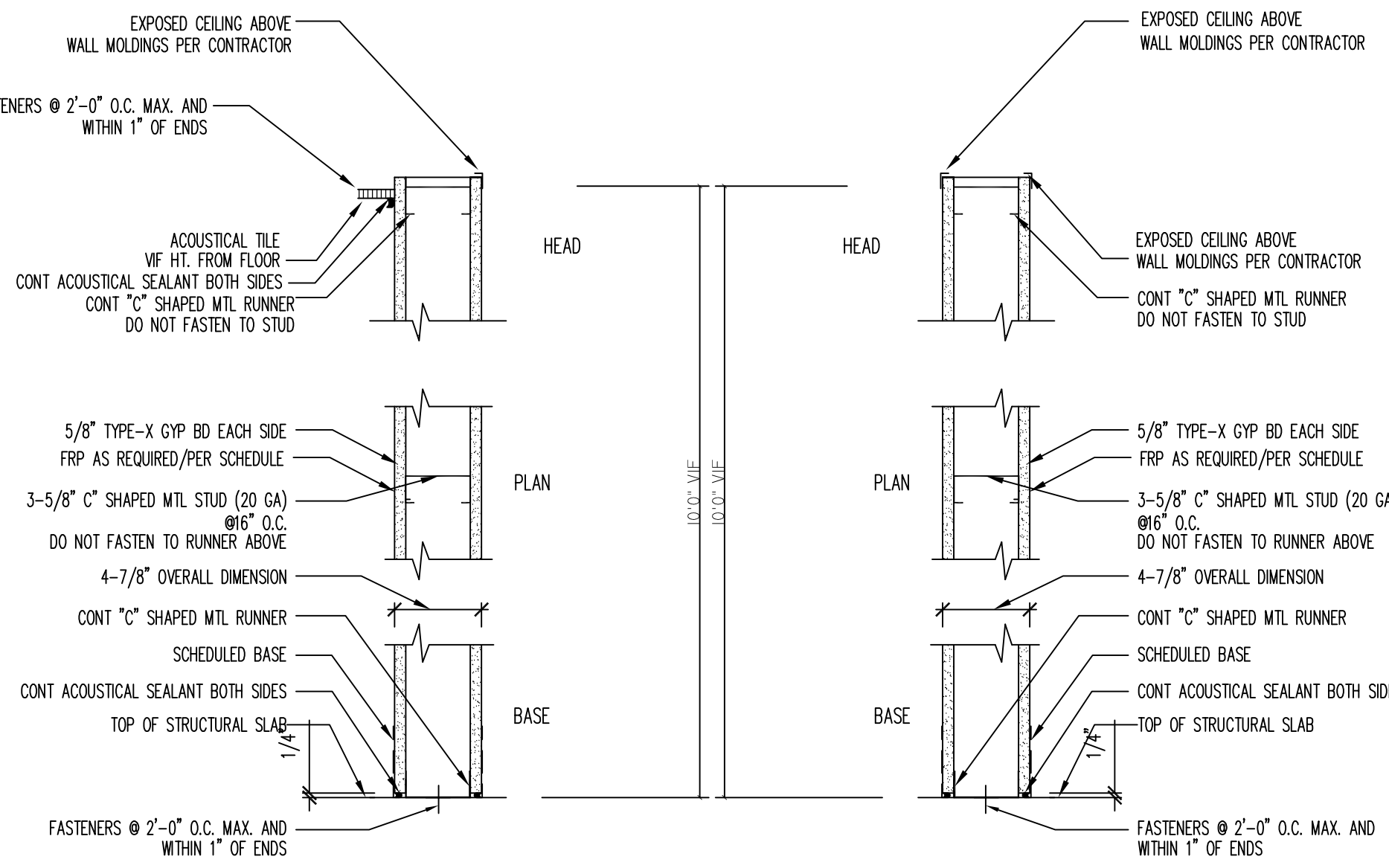
**A-5**  
 OF 6



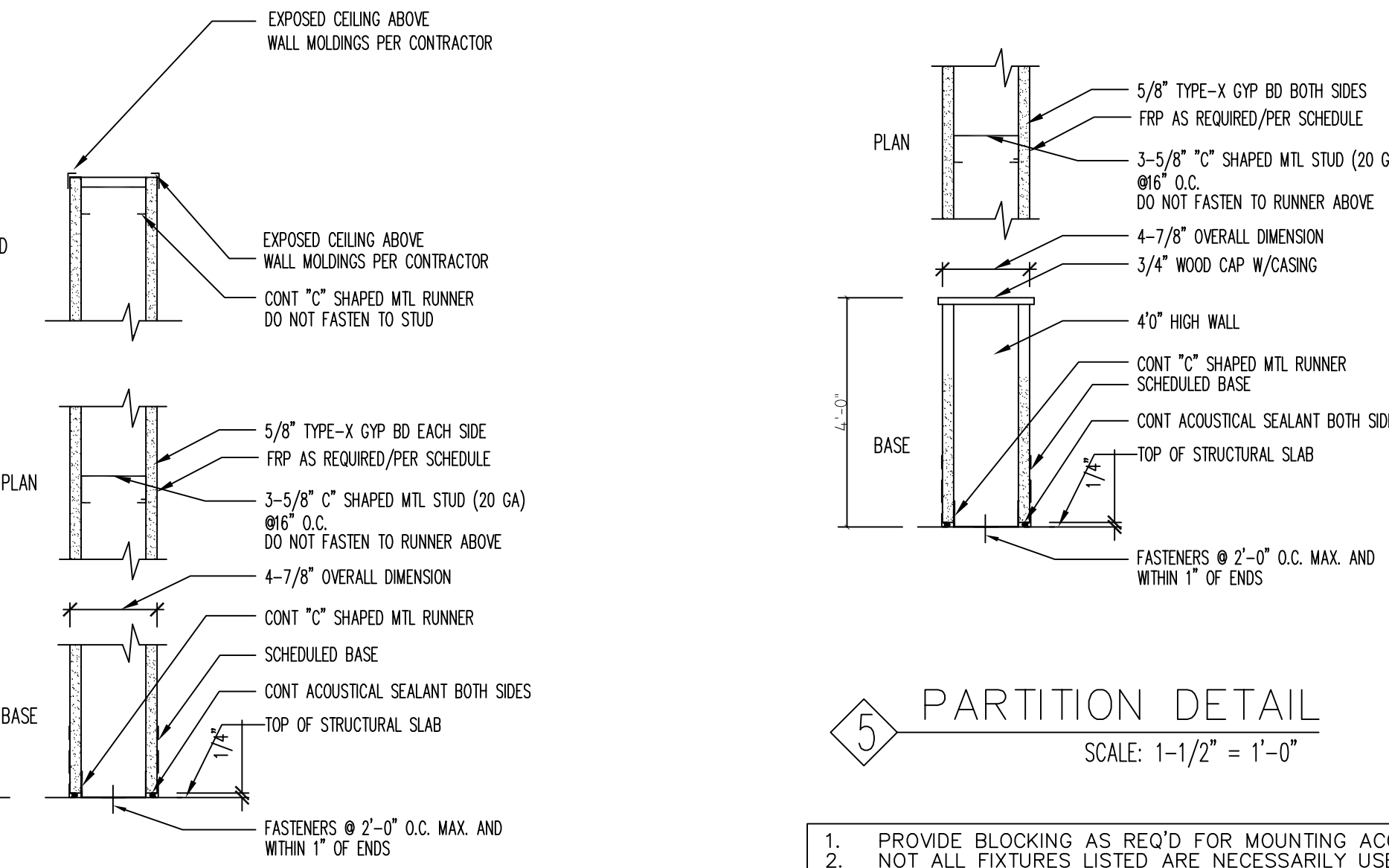
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SCALE: 1-1/2" = 1'-0"



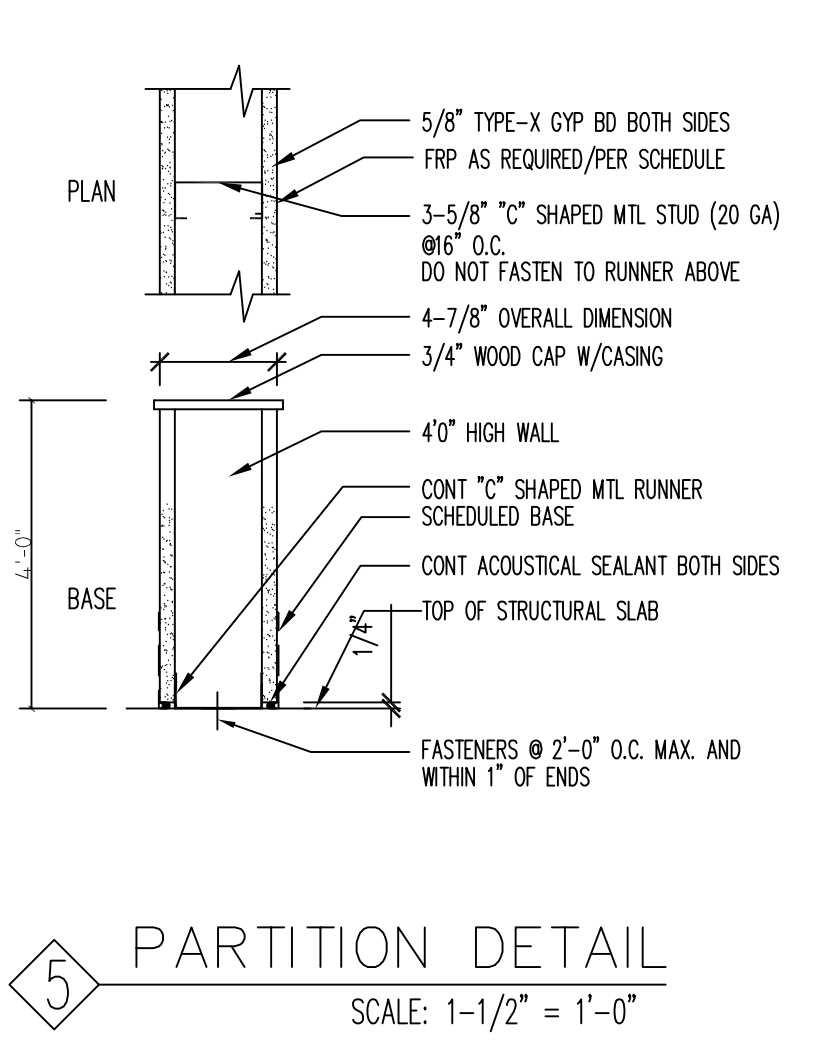
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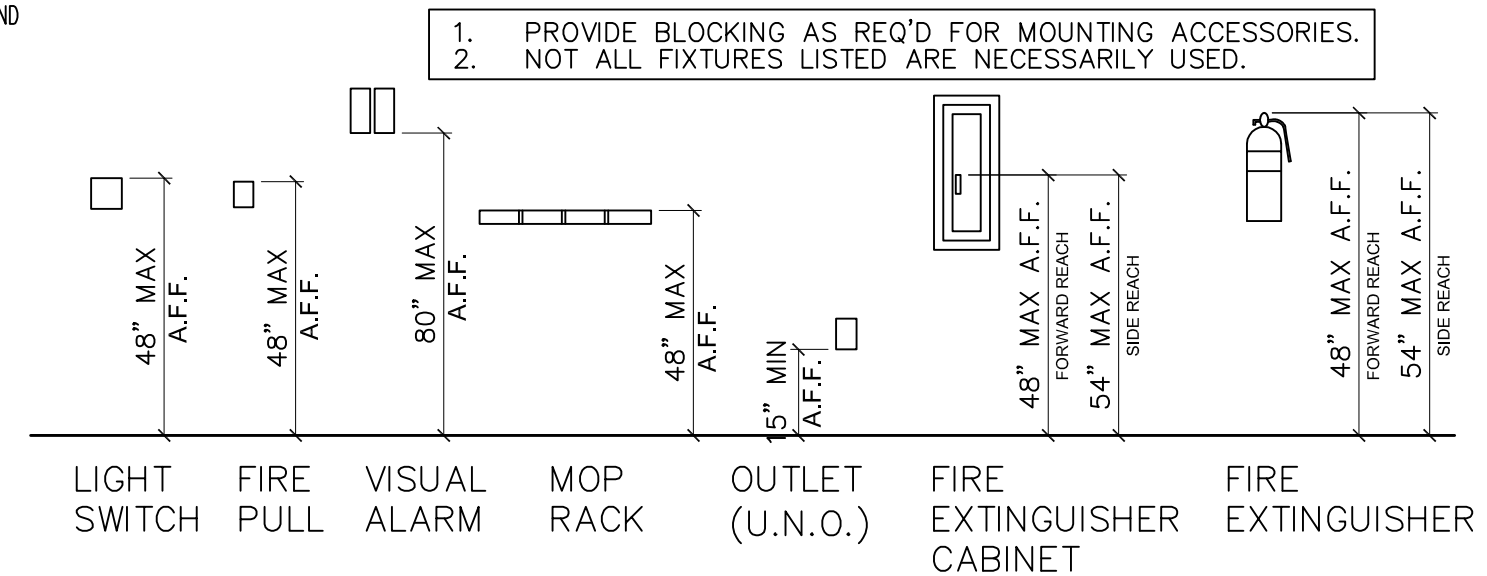
3 PARTITION DETAIL  
SCALE: 1-1/2" = 1'-0"



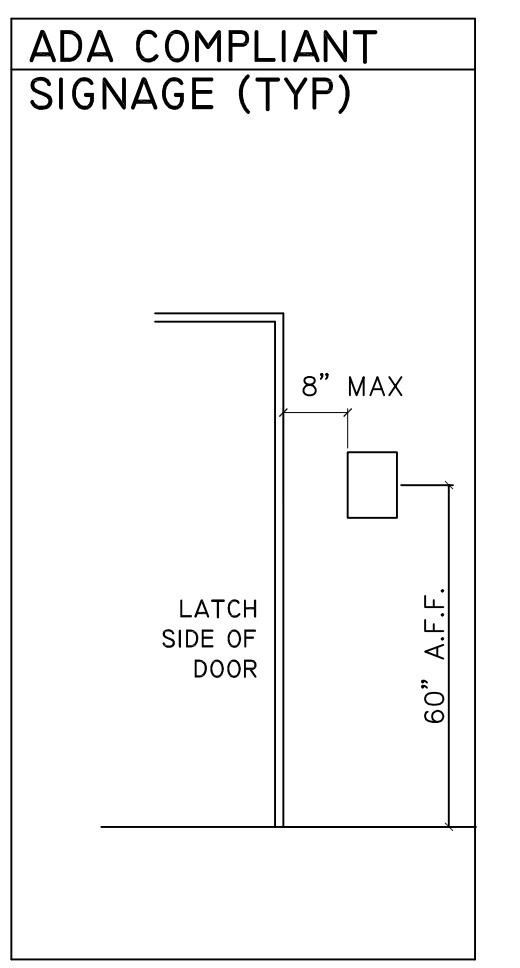
4 PARTITION DETAIL  
SCALE: 1-1/2" = 1'-0"



5 PARTITION DETAIL  
SCALE: 1-1/2" = 1'-0"



STAND. MOUNT. REQUIREMENTS  
Scale: NOT TO SCALE

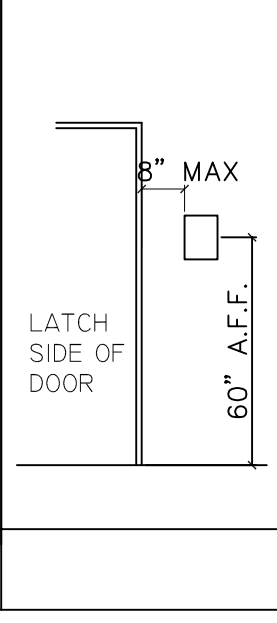
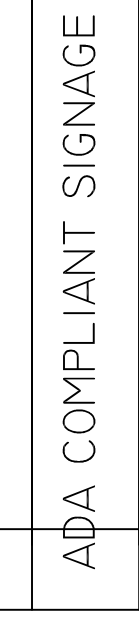
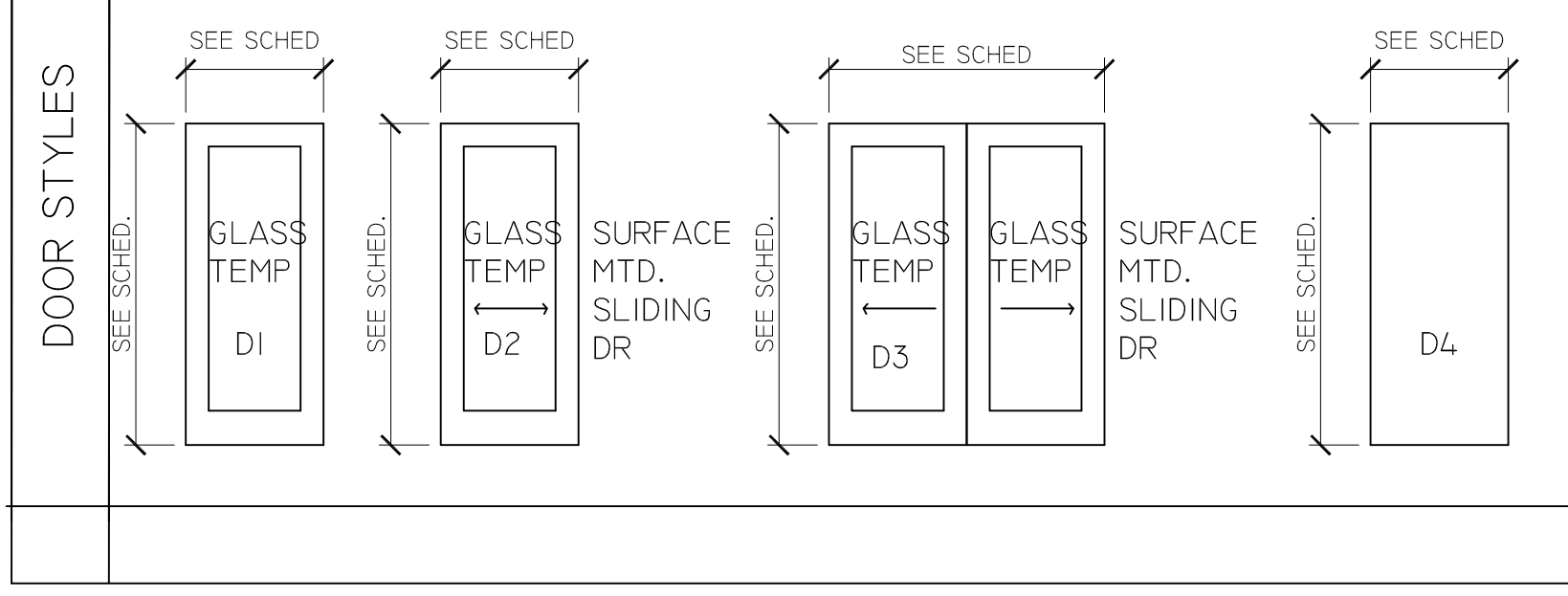


ADA COMPLIANT SIGNAGE (TYP)

DOOR SCHEDULE: VIF W/OWNER & CONTRACTOR

ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT (IBC 1008.18).

NUMBER	DOOR			FRAME			HARDWARE													LOCATION					
	SIZE	MATERIAL	TYPE	FINISH	TYPE	MATERIAL	FINISH	1	2	3	4	5	6	7	8	9	10	11	12		13				
101	3'-0" x 7'-0" x 1-3/4"	S.C. VENEER WD W/GLASS	D1	PAINTED	WF1	WOOD	PAINTED																	MCA OFFICE	
102	3'-0" x 7'-0" x 1-3/4"	S.C. VENEER WD W/GLASS	D2	PAINTED	WF1	WOOD	PAINTED																		CLIENT PRESS ROOM
103	3'-0" x 7'-0" x 1-3/4"	S.C. VENEER WD W/GLASS	D2	PAINTED	WF1	WOOD	PAINTED																		CLIENT PRESS ROOM
104	3'-0" x 7'-0" x 1-3/4"	S.C. VENEER WD W/GLASS	D1	PAINTED	WF1	WOOD	PAINTED																		BROKER OFFICE
105	3'-0" x 7'-0" x 1-3/4"	S.C. VENEER WD W/GLASS	D1	PAINTED	WF1	WOOD	PAINTED																		T.L. OFFICE
106	6'-0" x 7'-0" x 1-3/4"	S.C. VENEER WD W/GLASS	D3	PAINTED	WF1	WOOD	PAINTED																		TRAINING ROOM
107	3'-0" x 7'-0" x 1-3/4"	S.C. VENEER WD W/GLASS	D2	PAINTED	WF1	WOOD	PAINTED																		TRAINING ROOM
108	2'-4" x 7'-0" x 1-3/4"	S.C. VENEER WD	D4	PAINTED	WF1	WOOD	PAINTED																		STORAGE
109	3'-0" x 7'-0" x 1-3/4"	S.C. VENEER WD	D4	PAINTED	WF1	WOOD	PAINTED																		RESTROOM
110	3'-0" x 7'-0" x 1-3/4"	S.C. VENEER WD	D4	PAINTED	WF1	WOOD	PAINTED																		JANITOR
111	3'-0" x 7'-0" x 1-3/4"	S.C. VENEER WD W/GLASS	D2	PAINTED	WF1	WOOD	PAINTED																		OFFICE
112	3'-0" x 7'-0" x 1-3/4"	S.C. VENEER WD W/GLASS	D2	PAINTED	WF1	WOOD	PAINTED																		OFFICE
113	3'-0" x 7'-0" x 1-3/4"	S.C. VENEER WD W/GLASS	D2	PAINTED	WF1	WOOD	PAINTED																		OFFICE
114	3'-0" x 7'-0" x 1-3/4"	S.C. VENEER WD	D4	PAINTED	WF1	WOOD	PAINTED																		STORAGE



**GENERAL NOTES**

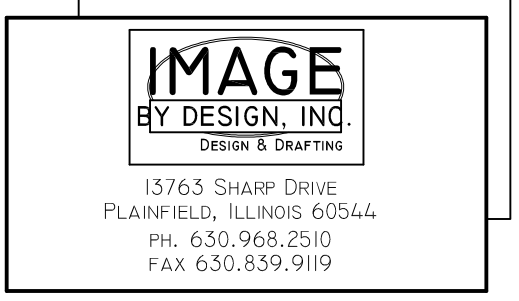
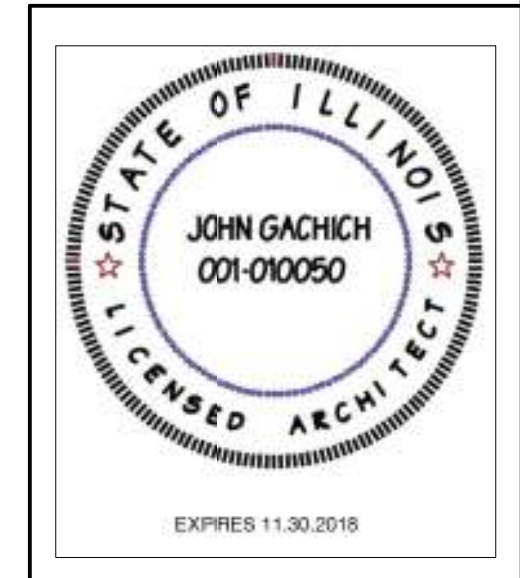
- IT IS THE RESPONSIBILITY OF THE DOOR HARDWARE CONTRACTOR TO ENSURE THAT ALL DOORS & DOOR HARDWARE CONFORM WITH CURRENT ILLINOIS ACCESSIBILITY CODES & FEDERAL ADA REGULATIONS.
- NO KEYS OR LOCKSETS ALLOWED ON THE MEANS OF EGRESS SIDES OF EXIT DOORS.
- PROVIDE LEVER HANDLES ON ALL DOORS.
- PROVIDE DETECTABLE WARNINGS (KNURLED HARDWARE) AT ALL DOORS TO HAZARDOUS AREAS INCLUDING BUT NOT LIMITED TO MECH. AND ELEC. ROOMS, IN ACCORDANCE WITH ANSII A273.
- ALL WOOD DOORS ARE SOLID CORE.
- VERIFY ALL DOOR HARDWARE AND FINISHES W/ BUILDER PRIOR TO CONSTRUCTION.
- ALL LOCKS ON EGRESS DOORS TO BE OPENABLE WITHOUT THE USE OF:
  - KEY OR ANY SPECIAL KNOWLEDGE.
  - THUMB TURNS NOT ALLOWED.
  - LOCKS MUST BE OPERATIONAL WITHOUT TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST.

**GLAZING SCHEDULE**

GL-1: 1/4" FULLY TEMPERED CLR GLASS

ROOM FINISH SCHEDULE: VIF W/OWNER & CONTRACTOR

RM. NO.	ROOM NAME	FLOOR				BASE	WALLS	CLG.
		1	2	3	4			
		ALL FLR. FINISHES SHALL BE CLASS C					WALL/CLG FINISHES SHALL BE CLASS C	
		LAMINATE (EXISTING-NEW TO MATCH)	VINYL/C.T.	EPOXY	NONE	4" VINYL SANITARY COVE BASE	PAINTED WOOD (EXISTING-NEW TO MATCH)	5/8" GYP BOARD W/FRP 48" A.F.F. - PAINTED ABOVE
								5/8" GYP BOARD PAINTED (SEMI-GLOSS LATEX) EXPOSED CEILING (EXISTING) PAINTED
								DRGP CEILING VINYL COATED GYPSUM BOARD CEILING TILES OR 2x4 FIBERGLASS REINFORCE PANELS
101	ASSIGNED WKST							
102	COMPUTER WKST							
103	MCA OFFICE							
104	CLIENT PRESS ROOM							
105	CLIENT PRESS ROOM							
106	BROKER OFFICE							
107	T.L. OFFICE							
108	ASSIGNED WKST							
109	COPY AREA							
110	KELLAR CAFE							
111	MAIL FILES/COMPUTER							
112	TRAINING ROOM							
113	COFFEE BAR							
114	STORAGE							
115	RESTROOM					EXISTING		
116	RESTROOM					EXISTING		
117	JANITOR							
118	RECEPTION/WAITING							
119	OFFICE							
120	OFFICE							
121	OFFICE							
122	STORAGE							



**BUILDER**  
CENTENNIAL BUILDERS  
849 AVERS  
NAPERVILLE, ILLINOIS  
PH. 630.514-4437

**PROJECT**  
KELLER WILLIAMS REALTY  
BUILDDOT  
SUITE 114  
407 SOUTH 3RD STREET  
GENEVA, ILLINOIS

REV	DATE	ISSUES AND REVISIONS	BY
0			

TOTAL SQUARE FOOTAGE: 3443  
SCALE: 1/4" = 1'-0" (UNLESS NOTED)  
JOB NO. 00-709  
SHEET NO.