
Lane & McNamara

Project No. 15104
Issued For Permit: 03.08.16

257 Turnpike Road, Suite 240
Southborough, MA 01772



Architect:
ahp Architects, Inc
20 Chelmsford Street
Chelmsford, MA 01824

Client:
Capital Group Properties
259 Turnpike Road
Southborough, MA 01772

BUILDING CODE SUMMARY (780 CMR 8TH EDITION, INTERNATIONAL BUILDING CODE 2009 & INTERNATIONAL EXISTING BUILDING CODE 2009)

INTERNATIONAL EXISTING BUILDING CODE 2009

EXISTING BUILDING CONSTRUCTION CLASSIFICATION: IIB

NUMBER OF FLOORS: 3

SPRINKLERS: YES

EXISTING USE GROUP: B

PROPOSED USE GROUP: B

REPAIRS (CHAPTER 9): N/A

ALTERATIONS - LEVEL ONE (CHAPTER 6): N/A

ALTERATIONS - LEVEL TWO (CHAPTER 7): COMPLIES

ALTERATIONS - LEVEL THREE (CHAPTER 8): N/A

CHANGE OF OCCUPANCY (CHAPTER 9)
CHANGE IN OCCUPANCY WITH NO CHANGE OF OCCUPANCY CLASSIFICATION (SECTION 901.2): N/A

REPAIR & ALTERATION WITH NO CHANGE OF OCCUPANCY CLASSIFICATION (SECTION 901.2.1): APPLIES

CHANGE IN OCCUPANCY CLASSIFICATION (SECTION 901.3): N/A

CHANGE OF OCCUPANCY CLASSIFICATION WITHOUT SEPARATION (SECTION 912.1.1.1): N/A

CHANGE OF OCCUPANCY CLASSIFICATION WITH SEPARATION (SECTION 912.1.1.2): N/A

MEANS OF EGRESS (SECTION 912.4): COMPLIES

HEIGHT AND AREAS (SECTION 912.5): N/A

EXTERIOR WALL FIRE-RESISTANCE RATINGS (SECTION 912.6): N/A

ENCLOSURE OF VERTICAL SHAFTS (SECTION 912.7): N/A

ADDITIONS (CHAPTER 10): N/A

(HISTORIC BUILDINGS (CHAPTER 11): N/A

RELOCATED OR MOVED BUILDINGS (CHAPTER 12): N/A

INTERNATIONAL BUILDING CODE 2009

CONSTRUCTION TYPE (TABLE 601): 2B FOR ANY NEW COMPONENT

FIRE RESISTANCE RATING FOR CONSTRUCTION TYPE "IIB" ONE STORY, SPRINKLED, CONSTRUCTION (TABLE 601):

EXTERIOR WALLS	0 HR
-LOADBEARING	0 HR
-NON-LOADBEARING	0 HR
FIRE WALLS AND PARTY WALLS	0 HR
FIRE SEPARATION ASSEMBLIES	N/A
-FIRE ENCLOSURE EXITS	N/A
-SHAFTS (N.I.C. STAIRS)	N/A
-MIXED USE/FIRE SEPARATION,	0 HR (NON-SEPARATED)
-OTHER FIRE SEP. ASSEMBLIES	0 HR
FIRE PARTITIONS	0 HR
-EXIT ACCESS CORRIDORS	0 HR
-TENANT SPACE SEPARATIONS	N/A
DWELLING UNIT SEPARATIONS	N/A
SMOKE BARRIERS	N/A
OTHER NON LOADBEARING PARTITIONS	0 HR
INT. LOAD BEARING WALLS/PART. (N.I.C. ROOF)	0 HR
-SUPPORTING MORE THAN ONE FLOOR	0 HR
-SUPPORTING ONE FLR. OR A ROOF ONLY	0 HR
STRUCTURAL MEMBERS SUPPORTING WALL	0 HR
FLOOR CONSTRUCTION (INCL. BEAMS)	0 HR
ROOF CONST. (INCL. BEAMS, TRUSSES, FRAMING)	0 HR
-15' OR LESS TO LOWEST MEMBER	0 HR
-BTWN. 15' AND 20' TO LOWEST MEMBER	0 HR
-20' OR GREATER TO LOWEST MEMBER	0 HR

EGRESS CAPACITY ANALYSIS (CHAPTER 10): COMPLIES

NOTE: THE OCCUPANCY LOAD FOR EACH SPACE WITHIN THE BUILDING ARE CALCULATED USING THE MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT IDENTIFIED IN TABLE 1004.1.1 THESE CALCULATED OCCUPANT LOADS ARE THEN USED TO DETERMINE THE MINIMUM REQUIRED SIZE OF THE BUILDING'S EGRESS ELEMENTS, USING THE EGRESS WIDTH PER OCCUPANT FACTORS IDENTIFIED IN SECTIONS 1005 AND 1008.

FLOOR (G.S.F)	AREA	USE GROUP	LOAD FACTOR - S.F./OCC (TABLE 1004.1.1)	OCCUPANTS	NO. OF EXITS (TABLE 1021.1)	MIN. WIDTH PER EXIT-INCHES (SECTIONS 1005.1 & 1008.1.1)
2	2,302	B	100 S.F. PER OCCUPANT	23	2	STAIR: 3", OTHER COMPONENTS: 2" (15" EXISTG ONLY)

EXIT AND EXIT ACCESS DOORWAYS (SECTION 1015): COMPLIES

EXIT ACCESS TRAVEL DISTANCE (SECTION 1016): COMPLIES

FLOOR	MAXIMUM TRAVEL DISTANCE (TABLE 1016.1)	ACTUAL TRAVEL DISTANCE
2	300'-0"	86'-0"

SHOP DRAWINGS

1. SHOP DRAWINGS ARE DRAWINGS, DIAGRAMS, SCHEDULES, MATERIALS LISTS, AND OTHER DATA SPECIALLY PREPARED FOR THE WORK BY THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR, MANUFACTURER, SUPPLIER OR DISTRIBUTOR TO ILLUSTRATE SOME PORTION OF THE WORK. CONTRACT DRAWINGS ARE NOT TO BE REPRODUCED FOR USE AS SHOP DRAWINGS.

2. SHOP DRAWINGS SHALL BE SUBMITTED AS A COMPLETE SET, NOT IN A PIECEMEAL MANNER. INCOMPLETE SHOP DRAWINGS SUBMITTALS WILL NOT BE REVIEWED AND WILL BE REJECTED.

3. NO PORTION OF THE WORK REQUIRING SUBMISSION OF A SHOP DRAWING SHALL BE STARTED UNTIL THE SUBMITTAL HAS BEEN SATISFACTORILY REVIEWED BY AHP ARCHITECTS AND AHP ARCHITECTS CONSULTANTS. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH FINAL REVIEW SUBMITTALS AND THE CONTRACT DOCUMENTS.

4. THE CONTRACTOR SHALL REVIEW, APPROVE AND SUBMIT ALL SHOP DRAWINGS REQUIRED BY THE CONTRACT DOCUMENTS IN AN ORDER THAT IS SEQUENTIAL WITH THE PROGRESS OF THE WORK AND CONSISTENT WITH THE LEAD TIMES RELATED TO THE PRODUCTS. THE SHOP DRAWINGS SUBMITTAL SCHEDULE SHALL INCLUDE ADEQUATE TIME FOR A COMPLETE AND PROFESSIONAL REVIEW BY ALL PARTIES INVOLVED. IT SHALL BE NOTED THAT REVIEW TIME WILL VARY DEPENDING ON THE SIZE AND CONTENT OF THE SUBMITTAL. BY APPROVING AND SUBMITTING SHOP DRAWINGS, THE CONTRACTOR REPRESENTS THAT HE HAS VERIFIED ALL MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA RELATED THERETO, OR WILL DO SO. IN ADDITION, HIS/HER SUBMISSION SHALL REPRESENT THAT HE/SHE HAS CHECKED AND COORDINATED THE INFORMATION CONTAINED WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND OF THE CONTRACT DOCUMENTS. AHP ARCHITECTS RESERVES THE RIGHT TO RETURN ANY SHOP DRAWINGS WHICH ARE JUDGED TO BE "RUBBER STAMP APPROVED" BY THE CONTRACTOR WITHOUT PROPER REVIEW AND EVALUATION.

5. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AS A RESULT OF AHP ARCHITECTS REVIEW OF THE SHOP DRAWINGS UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED AHP ARCHITECTS IN WRITING OF SUCH DEVIATION AT THE TIME OF SUBMISSION, AND AHP ARCHITECTS HAS GIVEN WRITTEN ACCEPTANCE TO THE SPECIFIC DEVIATION. THE CONTRACTOR SHALL NOT BE RELIEVED FROM THE RESPONSIBILITY FOR ERRORS OR OMISSIONS IN THE SHOP DRAWINGS BY AHP ARCHITECTS REVIEW THEREOF.

6. THE CONTRACTOR SHALL DRAW ATTENTION TO ALL DEVIATIONS FROM THE CONTRACT DRAWINGS AND INCLUDE REASONS FOR SUCH DEVIATIONS WITH THE SUBMITTED SHOP DRAWINGS. IN ADDITION, THE CONTRACTOR SHALL DIRECT SPECIFIC ATTENTION, IN WRITING OR ON RESUBMITTED SHOP DRAWINGS, TO REVISIONS OTHER THAN THOSE REQUESTED BY AHP ARCHITECTS ON PREVIOUS SUBMITTALS.

GENERAL NOTES

FINISHES

GENERAL FINISHES NOTES:

- THE CONTRACTOR AND SUBCONTRACTOR SHALL SUBMIT PRODUCTS AND FINISHES AS INDICATED IN THE DOCUMENTS. THE DECISION TO ACCEPT ANY SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE ARCHITECT.
- ALL FLOORING INSTALLATIONS REQUIRE LOW V.O.C. EMISSION ADHESIVE. CONSULT MANUFACTURERS FOR PRODUCT RECOMMENDATIONS.
- PROVIDE VINYL TRANSITION STRIPS AT ALL TRANSITIONS BETWEEN CARPET & VCT. REFER TO LEGEND FOR DETAILS.
- PROVIDE METAL ANGLE EDGE AT ALL CARPET & TILE TRANSITIONS. TO BE STAINLESS STEEL MANUFACTURED BY SCHLUTER OR EQUIVALENT. FOR STRIP HEIGHT CONFORM TO FIELD CONDITIONS.
- GO TO PURCHASE 5% (PERCENT) MINIMUM. ADDITIONAL FINISHES TO BE PROVIDED TO THE OWNER FOR FUTURE REPAIRS. CONFIRM AMOUNT WITH OWNER.

RESILIENT FLOORING AND BASE:

- VINYL WALL BASES TO BE STRAIGHT.
- VINYL BASE SHALL RUN CONTINUOUS AND FULLY SURROUND CABINET BASES ON ALL EXPOSED SIDES.
- PROVIDE VINYL EDGE STRIP AT ALL FLOOR TRANSITIONS BETWEEN DIFFERENT FLOORING MATERIALS PER LEGEND.
- ALL FLOORING FINISH TRANSITIONS TO BE MADE AT CENTERLINE OF DOORS AND CASED OPENING FRAMES, UNLESS OTHERWISE NOTED

CARPET:

- PRIOR TO INSTALLATION OF ANY CARPET MATERIAL, CONTRACTOR TO PROVIDE THE ARCHITECT, FOR APPROVAL, A SEAMING DIAGRAM ILLUSTRATING DIRECTION OF CARPET AND SEAM LOCATIONS.
- IN EACH CORRIDOR INSTALL CARPET IN THE SAME DIRECTION AS THE CORRIDOR LENGTH (NOT WIDTH), STARTING AT ONE END AND CONTINUING DOWN THE FULL LENGTH WITH ROLL GOODS.
- AT INTERSECTING CORRIDORS, INSTALL CARPET PERPENDICULAR (1/4 TURN) TO EACH OTHER
- AT ALL CARPET BORDER INTERSECTION, PROVIDE 45° SEAMS

TILE:

- PROVIDE STAINLESS STEEL SCHLUTER DILEX-KSBT AT ALL EXPANSION JOINTS- COORDINATE LOCATIONS WITH ARCHITECT
- PROVIDE STAINLESS STEEL SCHLUTER DILEX-EDP AT SURFACE JOINTS- JOINTS TO BE PLACED EVERY 20'. COORDINATE LOCATIONS WITH ARCHITECT
- PROVIDE STAINLESS STEEL SCHLUTER FINISH EDGES AT OUTSIDE CORNERS AND TOP ROWS OF TILED WALLS - JOLLY/SCHIENE/ROUNDEC - STYLE TBD BY ARCHITECT
- PROVIDE STAINLESS STEEL SCHLUTER STRIP AT TILED STAIRS - EXACT PROFILE/GRIT COLOR TBD BY ARCHITECT
- PROVIDE SCHLUTER KERDI SYSTEMS AT LOCATIONS REQUIRING WATERPROOFING (SHOWERS, STEAM ROOMS, ETC.), COORDINATE WITH ARCHITECT
- PROVIDE SCHLUTER DITRA SYSTEM UNDER TILE - COORDINATE WITH ARCHITECT
- MINIMUM 3'X3' FULL SIZE MOCK-UPS WITH GROUT MUST BE MADE FOR ALL TILE (WALL AND FLOOR) FOR ARCHITECTS' APPROVAL PRIOR TO FINAL RELEASE OF ALL TILE PRODUCTS BEING ORDERED
- GROUT WIDTH TO BE MINIMUM SIZE RECOMMENDATION BY TILE MANUFACTURER UNO. CONFIRM WITH ARCHITECT PRIOR TO INSTALLATION.
- GROUT TO BE LATICRETE, SPECTRALOCK PRO UNO
- THINSET MORTAR TO BE LATICRETE, 254 PLATINUM UNO

PAINT:

- ALL PAINTED DOORS AND DOOR FRAMES SHALL RECEIVE SEMI GLOSS FINISH. REFER TO MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.
- ALL WALLS PAINTED WITH A LATEX PAINT SHALL HAVE A EGG SHELL FINISH. REFER TO MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.
- THE PAINTING CONTRACTOR SHALL PROVIDE FIELD MOCK-UP PAINTED WALL(S) OF THE PRIMARY AND ADJACENT PAINT COLORS FOR REVIEW AND APPROVAL OF THE OWNER AND ARCHITECT.
- THE PAINTING CONTRACTOR SHALL ENSURE THAT ALL PAINTS COMPLY WITH THE CURRENT STANDARDS FOR V.O.C. EMISSIONS.
- ALL PAINTED HOLLOW METAL DOOR & WINDOW FRAMES ARE TO RECEIVE SRAVY APPLICATION, NOT BRUSHED.
- ALL VERTICAL AND HORIZONTAL DUCTS, PIPES, CONDUIT, ETC. (WHETHER SHOWN OR NOT) IN FINISHED ROOMS SHALL BE FURRED IN AND FINISHED TO MATCH ADJACENT FINISHED SURFACES AND ANY REQUIRED WALL OR CEILING FIRE RATING.
- ALL ELECTRICAL PANELS IN THE CORRIDOR SHALL BE PAINTED TO MATCH THE ADJACENT WALL FINISH AND SHALL BE INSTALLED FLUSH WITH ADJACENT WALL SURFACES.
- WALL FINISHES NOT DESIGNATED WITH A SPECIFIC COLOR ON PLANS ARE TO BE "P1"
- DOOR FRAMES ARE TO BE PAINT "P2" UNLESS OTHERWISE NOTED ON FINISH PLANS.
- SOFFIT FACES NOT DESIGNATED WITH A SPECIFIC COLOR ON PLANS ARE TO BE PAINTED THE SAME COLOR AS THE WALL UNLESS NOTED OTHERWISE.
- UNDERSIDE OF ALL CEILING SOFFITS ARE TO BE PAINTED "CEILING WHITE", UNLESS NOTED OTHERWISE

MILLWORK & CASEWORK

- SPECIES OF WOOD, WOOD VENEERS AND MILLWORK ARE TO MATCH EXISTING.
- ALL MILLWORK TO HAVE TWO COATS OF SANDING SEALER AND 2 COATS OF FINISH (MINIMUM).
- ALL WOOD DOORS (INTERIOR) TO BE 1-3/4" SOLID CORE DOORS. FIELD SCRIBE ALL MILLWORK AND SHIM TOE KICKS TO LEVEL ALL CABINETS.
- ANY BLOCKING REQUIRED FOR MILLWORK TO BE FIRE RETARDANT.
- ALL BACKSPASHES SHOULD BE SET IN CAULKING AT ALL WET COUNTER LOCATIONS. PLYWOOD SUBSTRATE SHOULD BE USED AT ALL WET COUNTER LOCATIONS (PARTICLE BOARD IS NOT ACCEPTABLE AT SINK LOCATIONS).
- ALL COUNTERS TO HAVE A BACKER SHEET.
- AT ALL APPLIED TRIM FILL NAIL HOLES & REMOVE BLEMISHES FROM INSTALLATION. ALL CUT INS FOR SINK ARE TO BE APPLIED IN THE FIELD WITH PROPER TEMPLATES PROVIDED BY GENERAL CONTRACTOR.
- ALL ROOMS DESIGNATED AS COATS, MEMBERS COATS, AND STAFF COATS SHALL HAVE A CLOSET POLE AND SHELF. SEE INTERIOR DETAILS.
- ALL ROOMS DESIGNATED AS STORAGE SHALL HAVE ADJUSTABLE SHELVING. SEE INTERIOR DETAILS.
- ALL WOOD BLOCKING SOLID LUMBER AND PLYWOOD SHALL BE FIRE RETARDANT TREATED.
- GROMMETS TO BE BRUSHED STAINLESS STEEL BY DOUG MCKEETT OR APPROVED EQUAL. CONFIRM EXACT LOCATIONS WITH ARCHITECT.

GENERAL NOTES

GENERAL

GENERAL PROJECT NOTES:

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE SUBCONTRACTOR TO REVIEW ALL DRAWINGS, PROJECT MANUALS, AND ADDENDA IN ORDER TO ASSURE THE COORDINATION OF ALL WORK AFFECTING EACH TRADE. FAILURE TO REVIEW AND COORDINATE ALL CONTRACT DOCUMENTS BY THE GENERAL CONTRACTOR WITH ALL SUBCONTRACTORS FOR APPLICABLE ITEMS OF WORK SHALL NOT RELIEVE THE RESPONSIBLE PARTY FROM PERFORMING ALL WORK SO REQUIRED AS PART OF THE CONTRACT.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS, FOLLOWING THE REVIEW OF ALL THE DRAWINGS, PROJECT MANUALS, ADDENDA, ETC. TO INFORM THE ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS AND TO OBTAIN CLARIFICATIONS OF ALL ITEMS AFFECTING CONSTRUCTION COST PRIOR TO THE SUBMISSION OF THE BID.
- THE DRAWINGS ARE NOT TO BE SCALED. THE GENERAL CONTRACTOR IS TO REFER TO THE DIMENSIONS INDICATED OR THE ACTUAL SIZES OF CONSTRUCTION ITEMS. WHERE NO DIMENSION OR METHOD OF DETERMINING A LOCATION IS GIVEN VERIFY CORRECT LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION.
- THE DRAWINGS AND REFERENCED DETAILS HAVE BEEN DIMENSIONED IN ORDER TO ESTABLISH THE CONTROL AND GUIDELINES FOR FIELD LAYOUT. WHERE A DISCREPANCY EXISTS BETWEEN THE DRAWING AND THE DETAIL, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION.
- INTERIOR DETAILS ARE KEYED TO THE PLANS AT TYPICAL LOCATIONS. THE DETAILS APPLY TO ALL LOCATIONS WHICH ARE NOT KEYED IN AND ARE OF THE SAME CONSTRUCTION AND SCOPE OF WORK. THE CONTRACTOR AND SUBCONTRACTOR ARE RESPONSIBLE TO COORDINATE THE LOCATION OF ALL TYPICAL DETAILS AND INSTALL THE WORK INDICATED. IF DISCREPANCIES EXIST OR CLARIFICATION IS REQUIRED THE CONTRACTOR IS TO NOTIFY THE ARCHITECT TO OBTAIN CLARIFICATION.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY VARIATION IN FIELD LAYOUT WHICH WILL NOT ACCOMMODATE THESE REGULATIONS PRIOR TO ANY FIELD INSTALLATION.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MEET ALL LOCAL CODES.

GENERAL CONDITIONS

- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS/HER BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER HIS/HER CONTROL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTS AND OMISSIONS OF ALL HIS/HER EMPLOYEES AND ALL SUBCONTRACTORS, THEIR AGENTS AND EMPLOYEES, AND ALL OTHER PERSONS PERFORMING ANY OF THE WORK UNDER HIS/HER CONTRACT.
- THE CONTRACTOR SHALL AT ALL TIMES ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG HIS/HER EMPLOYEES AND SHALL NOT EMPLOY ON THE WORK ANY UNFIT PERSON OR ANYONE NOT SKILLED IN THE TASK ASSIGNED TO HIM/HER.
- THE CONTRACTOR SHALL SECURE ALL PERMITS, FEES AND LICENSES NECESSARY FOR THE EXECUTION OF THE WORK.

SITE REVIEW

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE BEFORE SUBMITTING A BID. NO EXTRA COMPENSATION WILL BE RECOGNIZED FOR DIFFICULTIES IN THE EXECUTION OF HIS/HER CONTRACT.

COORDINATION

- ALL PHASES OF HIS/HER CONTRACT SHALL BE SCHEDULED AND COORDINATED WITH THE OWNER WHO SHALL AT ALL TIMES HAVE ACCESS TO THE WORK WHEREVER IT IS IN PREPARATION AND PROGRESS. PRIOR NOTICE SHALL NOT BE REQUIRED FOR ANY VISIT.
- NO EQUIPMENT OR SYSTEMS SHALL BE SHUT DOWN WITHOUT THE ADEQUATE NOTICE TO THE OWNER, OR HIS/HER AUTHORIZED REPRESENTATIVE. FINAL DECISION ON SHUTDOWN MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES SHALL REST WITH THE OWNER OR HIS/HER AUTHORIZED REPRESENTATIVE. OFF HOUR SHUTDOWNS SHALL BE NEGOTIATED.

DIMENSIONING

- THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS ARE ASSUMED BY THE ARCHITECT BASED ON AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DEVIATION FROM THESE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE A COMPLETE LAYOUT ON THE JOB SITE. THE CONTRACTOR IS TO NOTIFY THE ARCHITECT ON ALL LAYOUT CONFLICTS PRIOR TO INSTALLATION OF PARTITIONS OR EQUIP.
- WHERE NO DIMENSION OR METHOD OF DETERMINING A LOCATIONS IS GIVEN, VERIFY THE CORRECT LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION.

GENERAL NOTES

ARCH. ABBREVIATIONS

∠	Angle	GA	Gauge
@	At	GALV	Galvanized
⊕	Centerline	GC	General Contractor
∅	Diameter	GYP	Gypsum
±	Tolerance	HB	Hose Bib
AFF	Above Finished Floor	HM	Hollow Metal
ADA	The American with Disabilities Act	HMD	Hollow Metal Door
		HORZ	Horizontal
BLDG	Building	ID	Inside Diameter
BOT	Bottom	IN	Inch or Inches
BOB	Bottom of Brick/Block		
BOC	Bottom of Concrete		
BOF	Bottom of Finish	MIN	Minimum
BOM	Bottom of Masonry	MISC	Miscellaneous
BOS	Bottom of Steel	MO	Masonry Opening
CG	Corner Guard	OD	Outside Diameter
CJ	Construction Joint		
CLG	Ceiling	NIC	Not In Contract
CLJ	Control Joint	NTS	Not To Scale
CLR	Clear		
CL	Clear	PL	Plate
COL	Column	PT	Pressure Treated
CONC	Concrete		
		RD	Roof Drain
DET	Detail	REINF	Reinforced or Reinforcing
DIA	Diameter		
DM	Dimension	SECT	Section
DN	Down	SIM	Similar
DS	Downspout	SP	Spandrel
DWG	Drawing	STC	Sound Transmission Class
		STL	Steel
EIFS	Exterior Insulation Finish System		
EL	Elevation	TYP	Typical
ELEV	Elevator		
EQ	Equal	UNO	Unless Noted Otherwise
EXG/EXST	Existing	UON	Unless Otherwise Noted
F/F	Face to Face	VCT	Vinyl Composite Tile
FD	Floor Drain	VERT	Vertical
FIN	Finish	VIF	Verify In Field
FLR	Floor		
FT	Fire Treated	WD	Wood
FOC	Face of Concrete		
FOF	Face of Finish		
FOM	Face of Masonry		
FOS	Face of Stud		

GENERAL NOTES

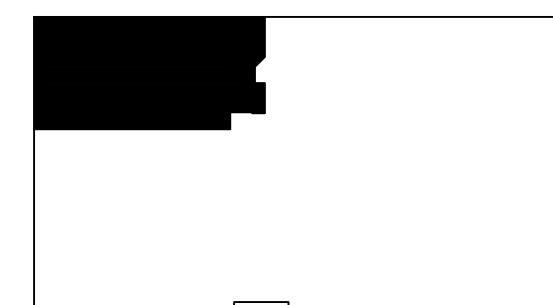
LIST OF ARCHITECTURAL DRAWINGS (5 SHEETS)

GENERAL	
A.000	COVER SHEET
A.001	GENERAL NOTES, SYMBOLS, AND DRAWING LIST
AEX.102	SECOND FLOOR EXISTING CONDITIONS & SELECTIVE REMOVAL PLANS
A.102	SECOND FLOOR PLANS
A.621	INTERIOR DETAILS

Notes:



Key Plan:



Architect's Stamp:

Project:

Lane & McNamara

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Client:

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Project #: 15104

Scale: As Noted

Issue: Permit

Date: 03.08.16

Revisions:

Date:

Drawing Title:

General Notes, Symbols & Architectural Drawing List

Sheet Number:

A.001

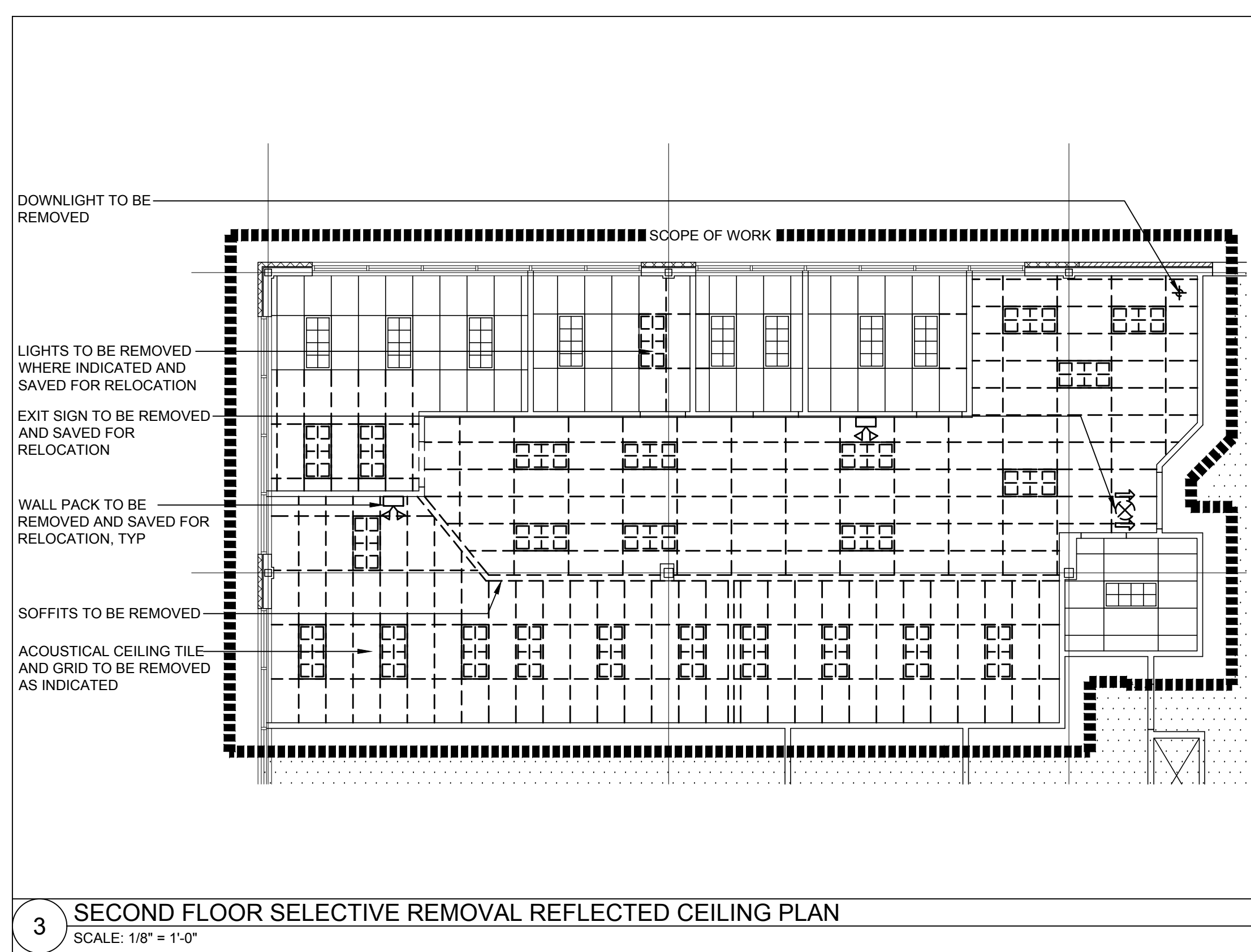


20 Chelmsford Street, Chelmsford, Ma. 01824

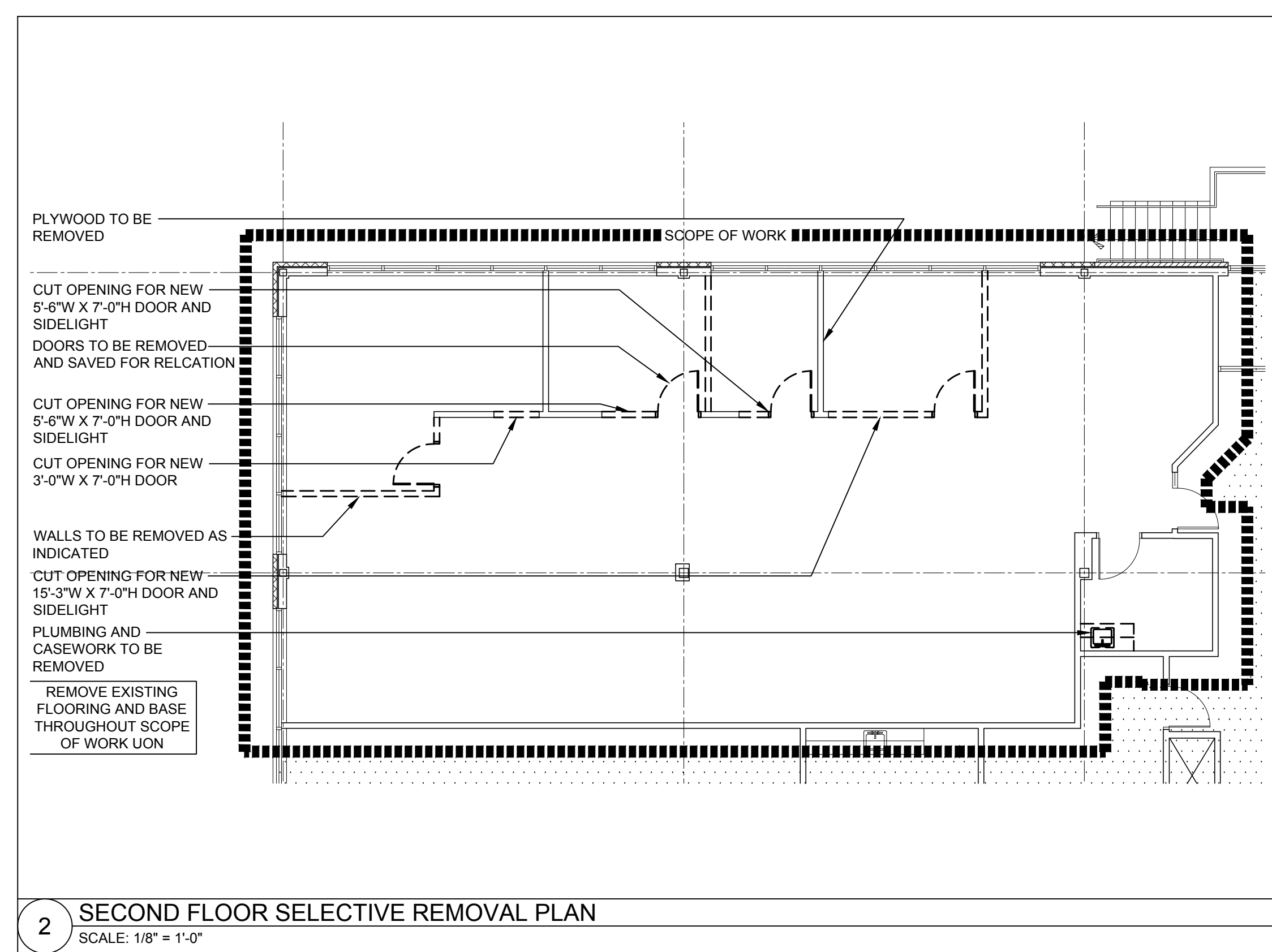
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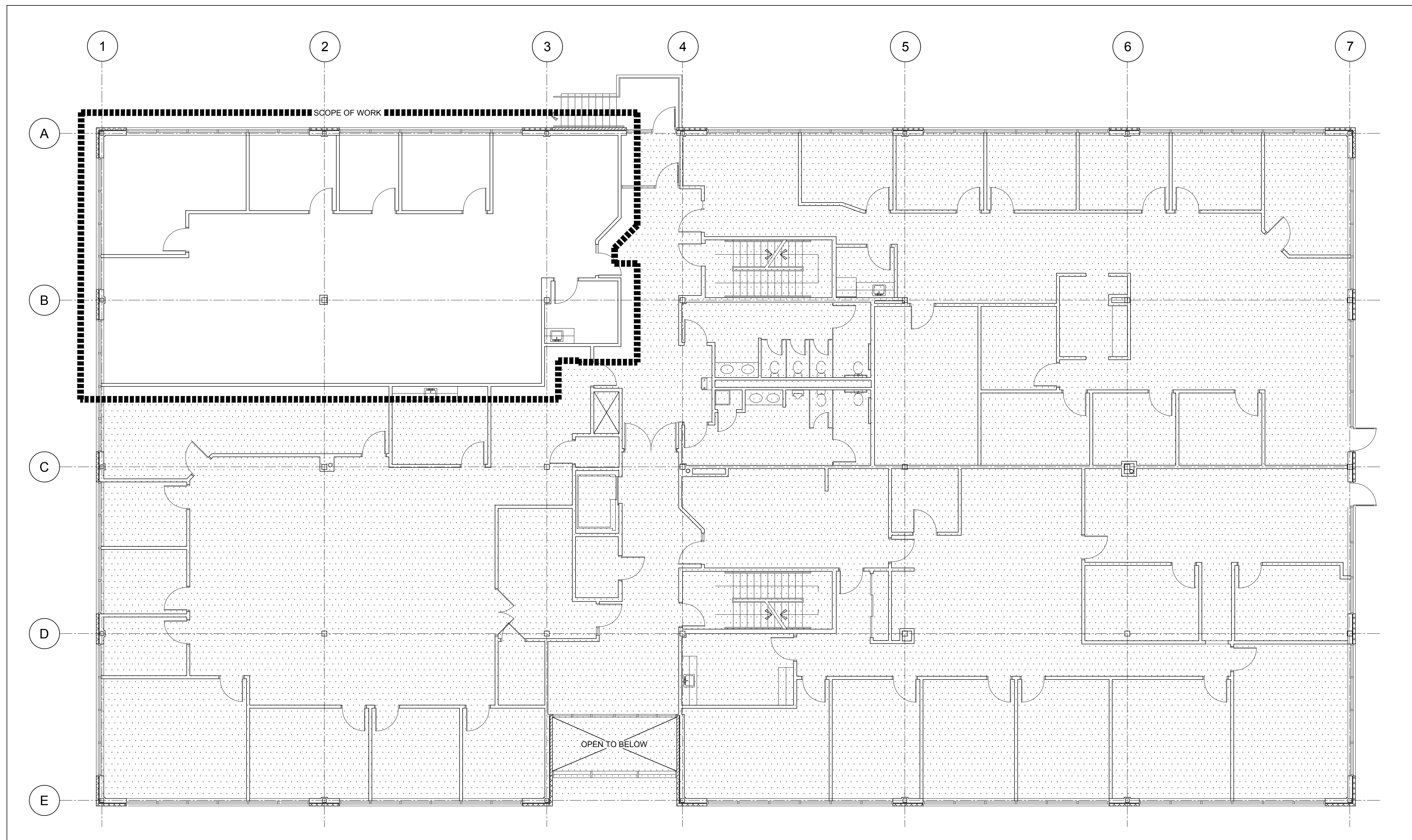
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3 SECOND FLOOR SELECTIVE REMOVAL REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



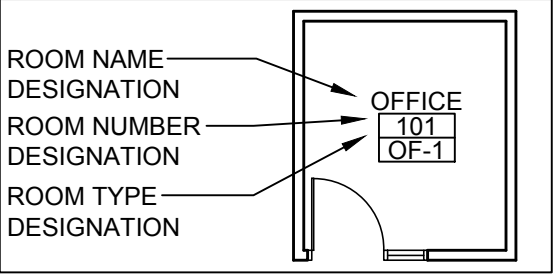
2 SECOND FLOOR SELECTIVE REMOVAL PLAN
SCALE: 1/8" = 1'-0"



1 EXISTING CONDITIONS SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

Notes:

ARCHITECTURAL FLOOR PLAN REFERENCE SYS.



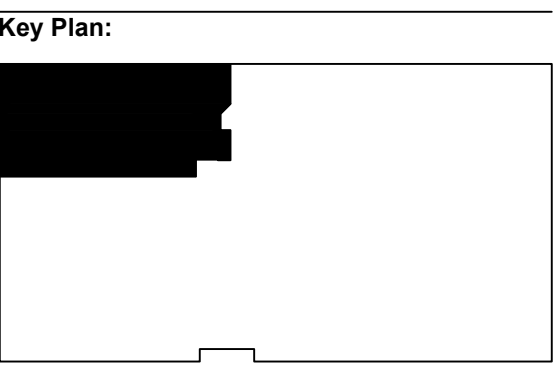
DEMOLITION LEGEND

(Solid line)	EXISTING TO REMAIN, VERIFY CONSTRUCTION IN FIELD
(Dashed line)	EXISTING TO BE REMOVED

EXISTING CONDITIONS GENERAL NOTES

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE SUBCONTRACTOR TO REVIEW EXISTING CONDITIONS OF THE BUILDING AND TO INFORM THE ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS.

- SELECTIVE REMOVAL - GENERAL**
1. REMOVE ALL WALLS, DOORS, DOOR FRAMES, MASONRY, CEILINGS, LIGHTS, ETC. AS SHOWN ON THE PLANS & ELEVATIONS. SEE PROPOSED PLANS FOR ALL LOCATIONS.
 2. REMOVE ALL FINISH FLOORING DOWN TO CONCRETE SLAB WHERE INDICATED. PATCH AND REPAIR SLAB AS REQUIRED.
 3. REMOVE ALL OBSOLETE WIRING, DUCTS, PIPES, ETC.
 4. TEST ALL SUSPECTED HAZARDOUS MATERIALS PRIOR TO REMOVAL.
 5. REMOVE & DISPOSE OF ALL CONFIRMED HAZARDOUS MATERIALS PER APPLICABLE EPA, STATE, AND FEDERAL REGULATIONS. PROVIDE OWNER WITH CERTIFICATION OF PROPER REMOVAL AND DISPOSAL.



Architect's Stamp:

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Project #: 15104
Scale: As Noted

Issue: Permit
Date: 03.08.16

Revisions:

Revisions:	Date:

Drawing Title:
Second Floor Existing Conditions Plan and Selective Removal Plans

Sheet Number:
AEX.102

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ELECTRICAL NOTES

1. DATA WIRING BY TENANT
2. ARCHITECTURAL PLANS DEPICT SWITCHES & ELECTRICAL OUTLET TYPES AND LOCATIONS ARE FOR COORDINATION PURPOSES ONLY. FINAL OUTLET TYPES AND LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR.
3. ELECTRICAL OUTLETS AND COVER PLATES TO BE STAINLESS STEEL
4. PROVIDE INDIVIDUAL SWITCHES FOR EACH OFFICE

ELECTRICAL LEGEND

⊕	DUPLEX OUTLET - CENTER OF OUTLET AT 18" AFF
⊕	DUPLEX OUTLET - CENTER OF OUTLET AT 4" ABOVE BACKSPASH OR AT 48" AFF
⊕	DEDICATED OUTLET - CENTER OF OUTLET AT 18" AFF
⊕	COMBINATION TELEPHONE / DATA JACK - CENTER OF OUTLET AT 18" AFF
⊕	SWITCH - CENTER AT 48" AFF

FINISH PLAN NOTES

REFER TO SHEET A.001 FOR FINISH PLAN NOTES

FLOORING LEGEND

CPT1	PRIMARY CARPET - PATOCRAFT, STYLE: APPROACH 10246, COLOR: NOVEL 46209
VCT1	12x12 VINYL COMPOSITION TILE - MANUFACTURER & COLOR TBD

WALL BASE LEGEND

VB1	4" STRAIGHT VINYL BASE - JOHNSONITE TBD
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WALL FINISH LEGEND

P1	PRIMARY PAINT - BENJAMIN MOORE, CAMEO WHITE PM-25 (BLANCO CAMAFEO)
P2	DOOR FRAME PAINT - BENJAMIN MOORE, CAMEO WHITE PM-25 (BLANCO CAMAFEO), SEMI-GLOSS FINISH

TRANSITION STRIP LEGEND

TS1	CARPET TO VCT - JOHNSONITE, CTA-XX-A, COLOR: MATCH VB1
-----	--

CEILING NOTES

1. NOTES ON SHEET A.621 ALSO APPLY TO FRAMING OF CEILING STRUCTURES, TYPICAL.
2. ALL CEILING GRIDS ARE TO BE CENTERED IN ROOMS AND/OR SPACES UNLESS NOTED OTHERWISE
3. ALL EXIT SIGNS, LIGHTS WITH EMERGENCY BACKUP, AND RELATED LIFE SAFETY EQUIPMENT ARE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR

CEILING TYPES

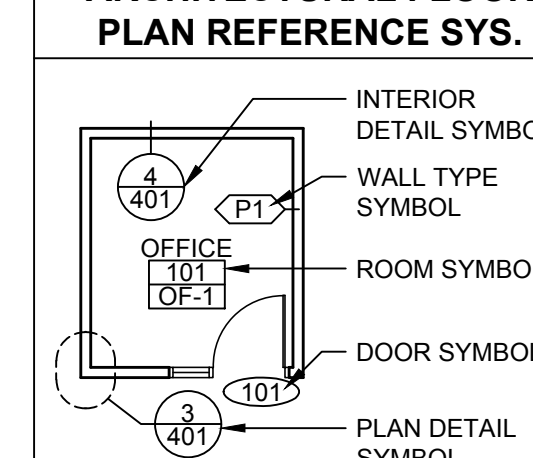
ACT1	2X4 SECOND LOOK ACOUSTICAL CEILING TILE AND GRID TO MATCH EXISTING
------	--

RCP LEGEND

101	RELOCATED EMERGENCY EXIT SIGN TO MATCH EXISTING
102	RELOCATED EMERGENCY LIGHT TO MATCH EXISTING
EXG	EXISTING 2X4 LIGHT
103	RELOCATED 2X4 LIGHT TO MATCH EXISTING

Notes:

ARCHITECTURAL FLOOR PLAN REFERENCE SYS.



PARTITION LEGEND

---	EXISTING WALL, VERIFY CONSTRUCTION IN FIELD
---	NEW INTERIOR PARTITION

PARTITION NOTES

1. ALL WALLS NOT KEYED IN BY WALL TYPE DESIGNATION TO BE PARTITION "P2B", TYP

DIMENSIONING NOTES

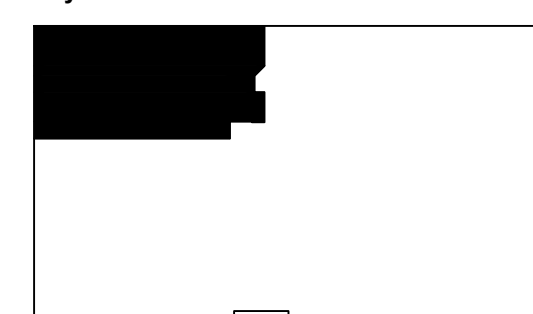
1. INTERIOR PARTITIONS ARE DIMENSIONED TO THE CENTERLINE, UNLESS NOTED OTHERWISE
2. REPAIR EXISTING WALLS AS REQUIRED WHERE ADJACENT WALLS WERE REMOVED

FIRE EXTINGUISHER SCHEDULE

FE-X	EXISTING FIRE EXTINGUISHER, VIF
------	---------------------------------



Key Plan:



Architect's Stamp:

Project:

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257 Turnpike Road, Suite 240
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Client:
Capital Group Properties
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Project #: 15104

Scale: As Noted

Issue: Permit **Date:** 03.08.16

Revisions: **Date:**

Drawing Title:
Second Floor Plans

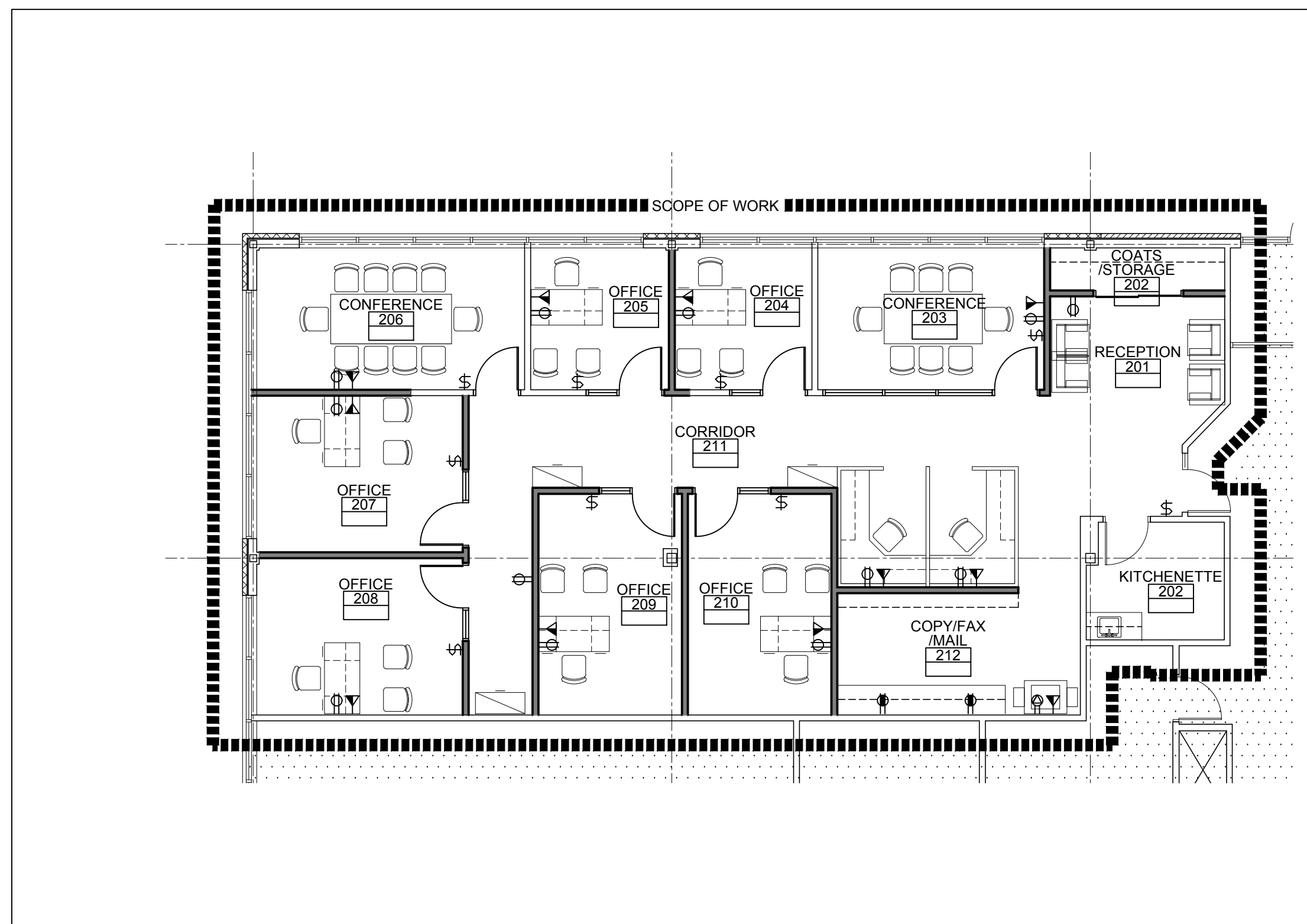
Sheet Number:

A.102

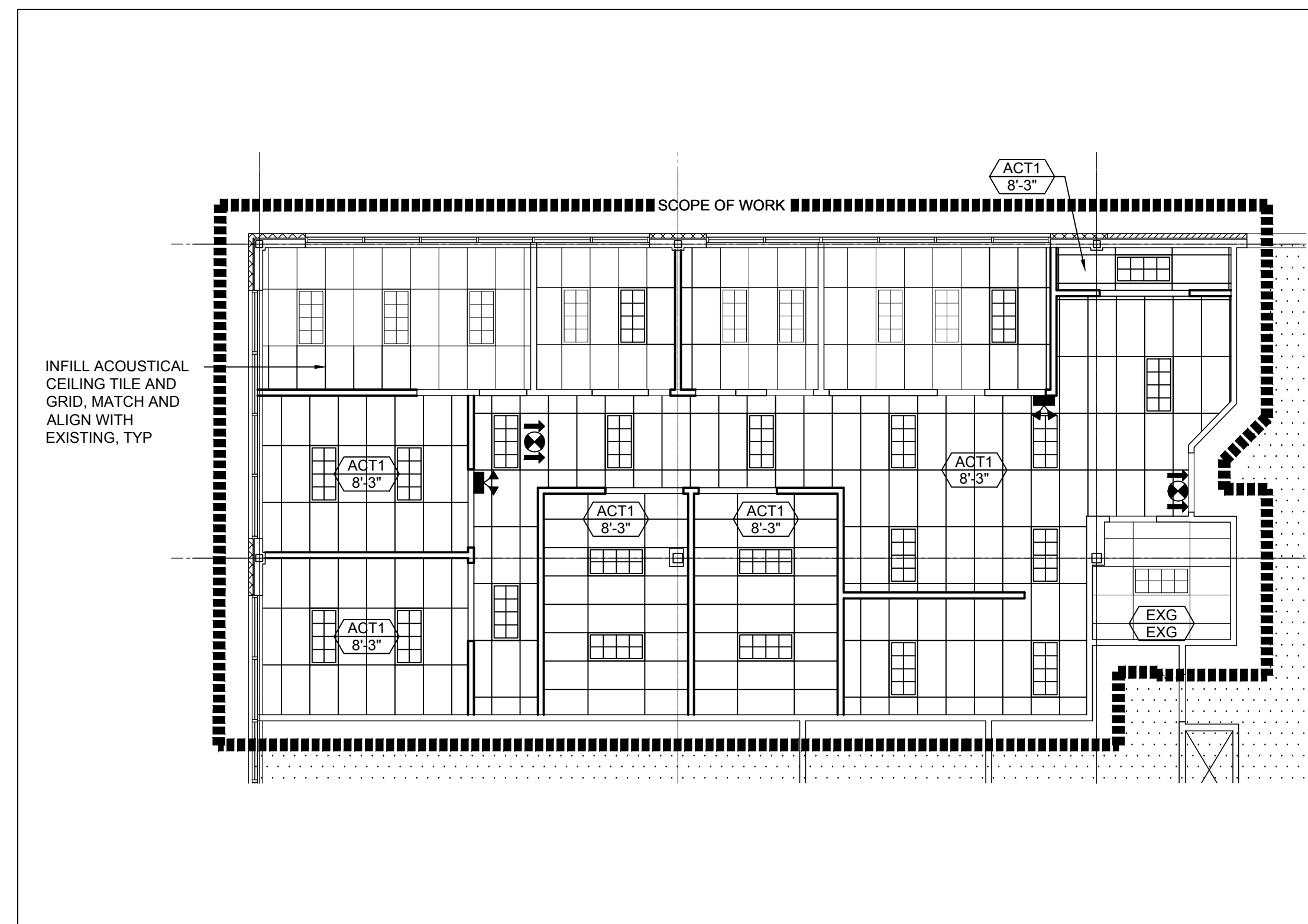


20 Chelmsford Street, Chelmsford, Ma. 01824
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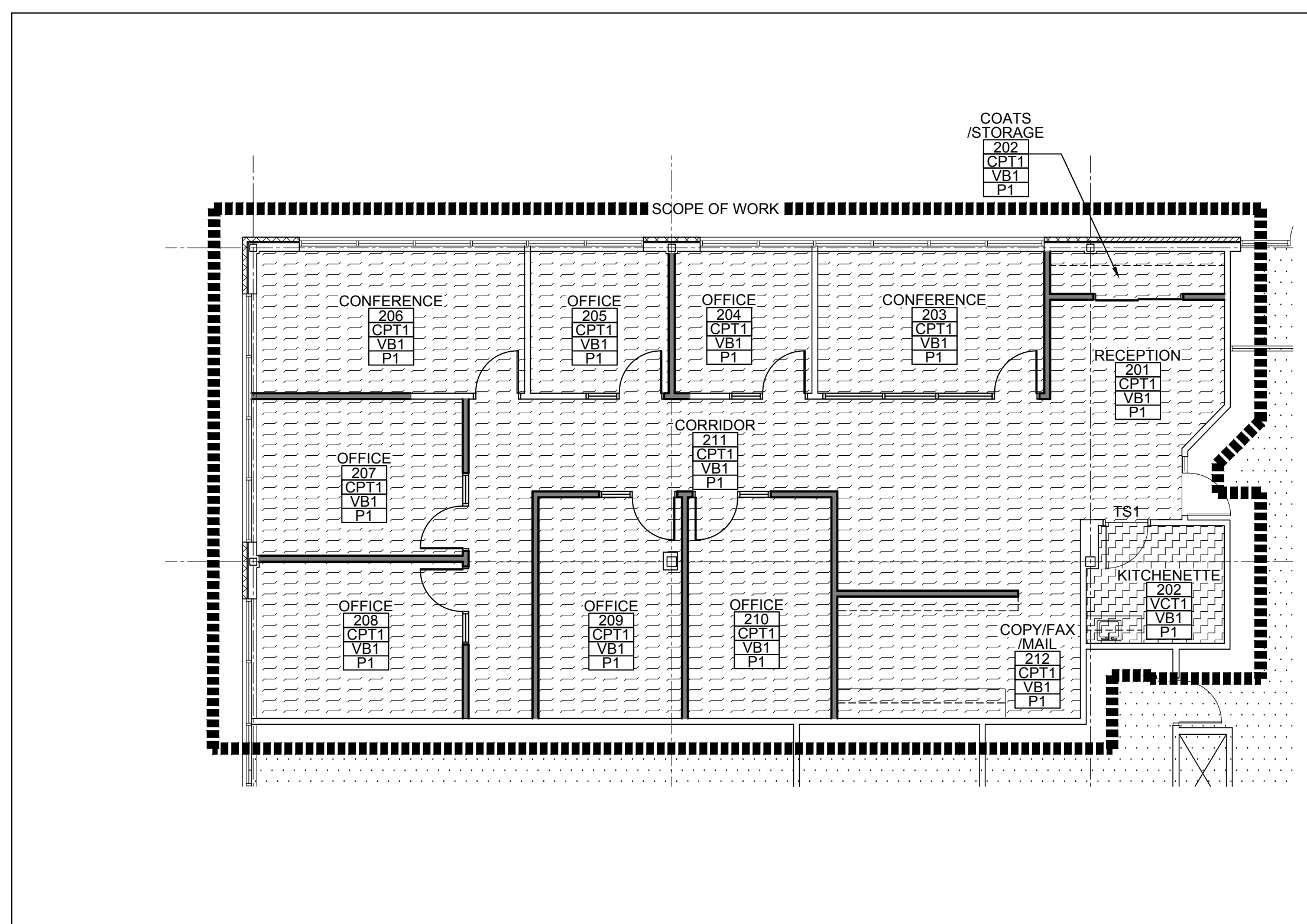
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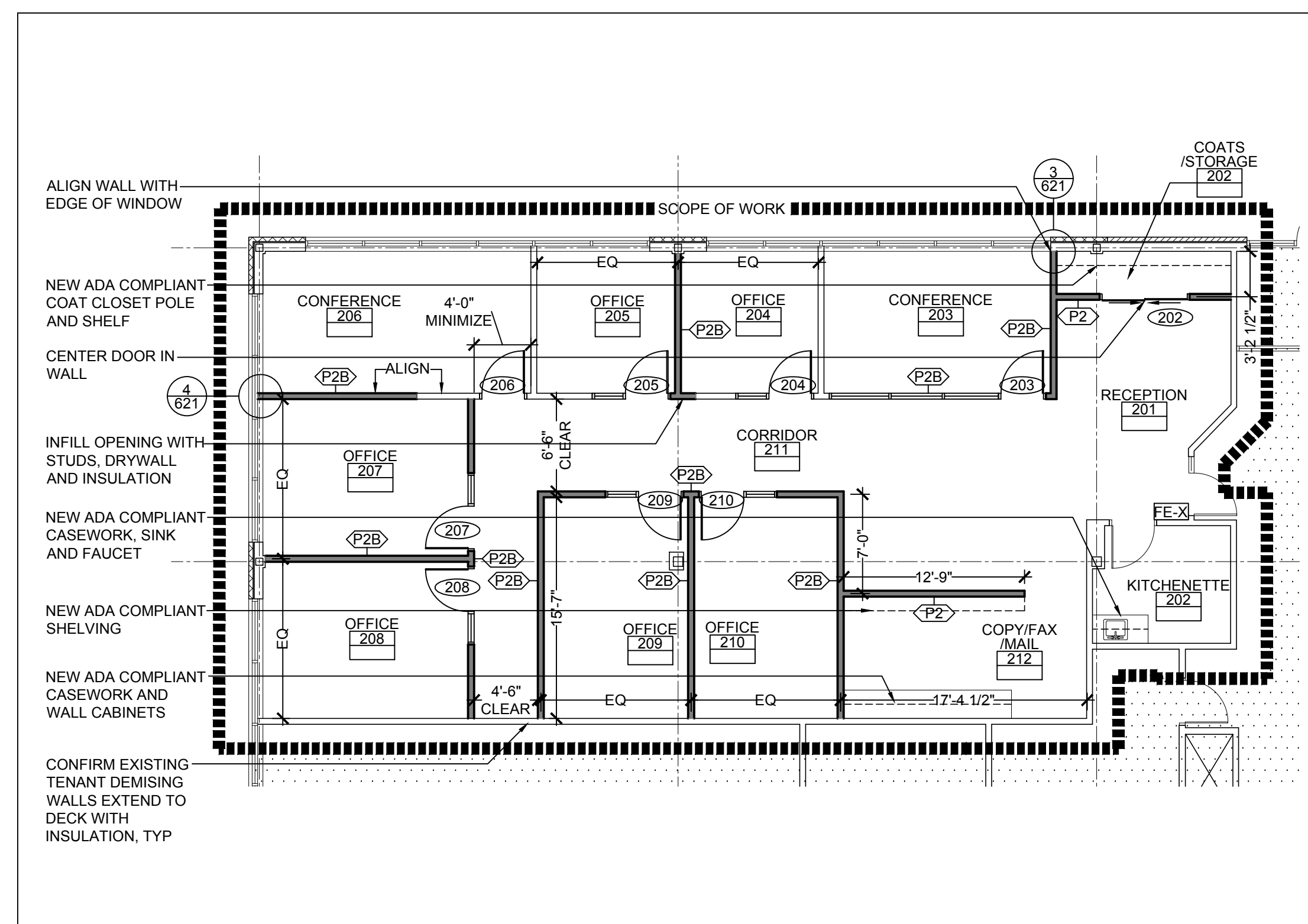
4 SECOND FLOOR COORDINATION PLAN
SCALE: 1/8" = 1'-0"



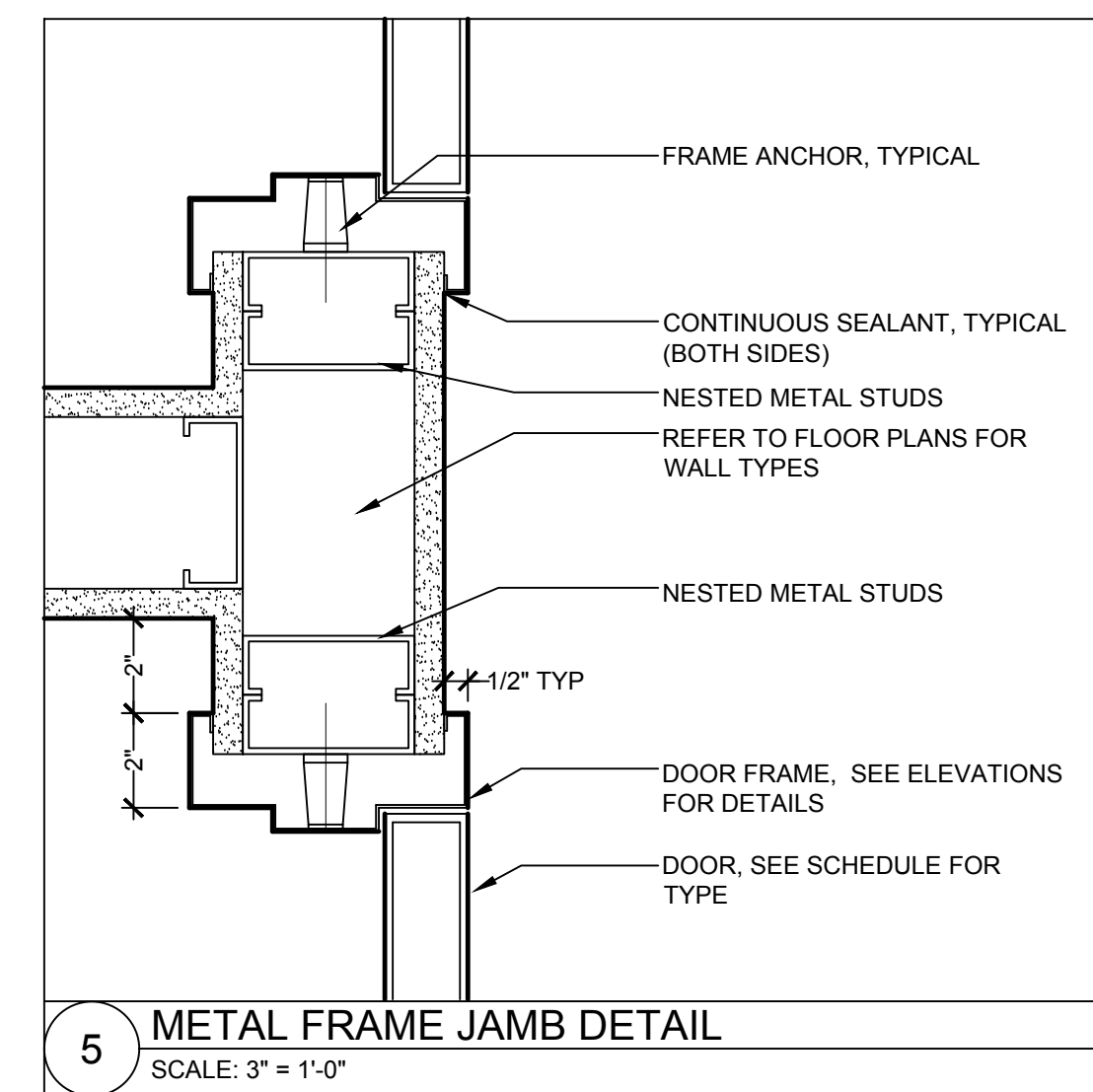
2 SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



3 SECOND FLOOR FINISH PLAN
SCALE: 1/8" = 1'-0"



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



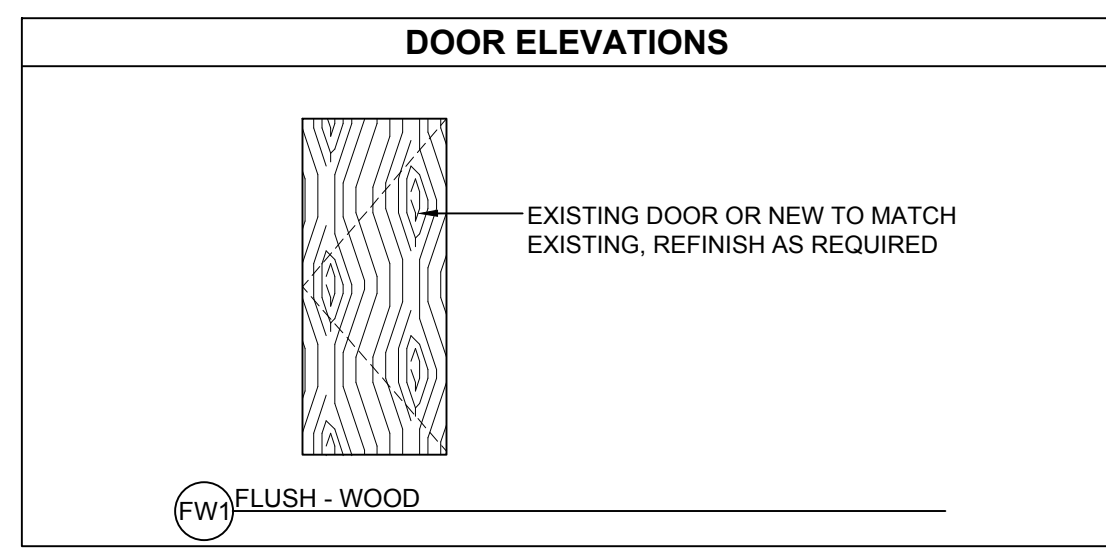
5 METAL FRAME JAMB DETAIL
SCALE: 3" = 1'-0"

HARDWARE NOTES
 DOOR HARDWARE: MANUFACTURER, STYLE AND FINISH TO MATCH BASE BUILDING STANDARD
 DOOR HINGES: MANUFACTURER: HAGER SERIES 8B1279 OR EQUIVALENT
 DOOR STOPS (FLOOR MOUNTED): MANUFACTURER: HAGER SERIES 241F OR EQUIVALENT
 DOOR SILENCER (METAL FRAMES): MANUFACTURER: HAGER SERIES 307D OR EQUIVALENT
 DOOR HOOKS: G.C. TO PROVIDE COAT HOOKS ON BACK OF DOOR OF ALL OFFICES, TYPICAL
 ALL HARDWARE FINISHES TO BE US 26D

DOOR / FRAME NOTES
 1. ALL METAL DOOR FRAMES TO BE WELDED HOLLOW METAL, 2" WIDTH UON.
 2. ALL DOORS 7'-0" HIGH, UON.
 3. INTERIOR WOOD DOORS TO BE 7-PLY PARTICLE CORE, UON.
 4. INTERIOR WOOD FIRE DOORS TO BE 7-PLY MINERAL CORE, UON.
 5. INTERIOR WOOD VISION DOORS TO BE 7-PLY STAVE CORE, UON.
 6. PROVIDE SAFETY GLASS IN ALL LOCATIONS WHERE THE MASSACHUSETTS STATE BUILDING CODE REQUIRES SAFETY GLAZING. CONFIRM WITH ARCHITECT WHERE CASES OF SAFETY AND WIRE GLASS CONFLICT.
 7. CONTINUOUS PERIMETER SEALANT AROUND FRAMES, TYP.
 8. 1" UNDERCUT APPLICABLE TO ALL WOOD DOORS THAT ARE NOT FIRE RATED, TYP.
 8. DOORS OPENING INTO HAZARDOUS AREAS SHALL HAVE DOOR OPENING HARDWARE WHICH IS KNURLED OR HAS A ROUGHENED SURFACE FOR TACTILE WARNING. AREAS SHALL INCLUDE, BUT NOT BE LIMITED TO LOADING PLATFORMS, BOILER, BIOHAZARD, ELECTRICAL ROOMS, ETC.
 10. ALL DETAILS TYPICAL FOR APPLICABLE DOOR / WALL LOCATIONS.

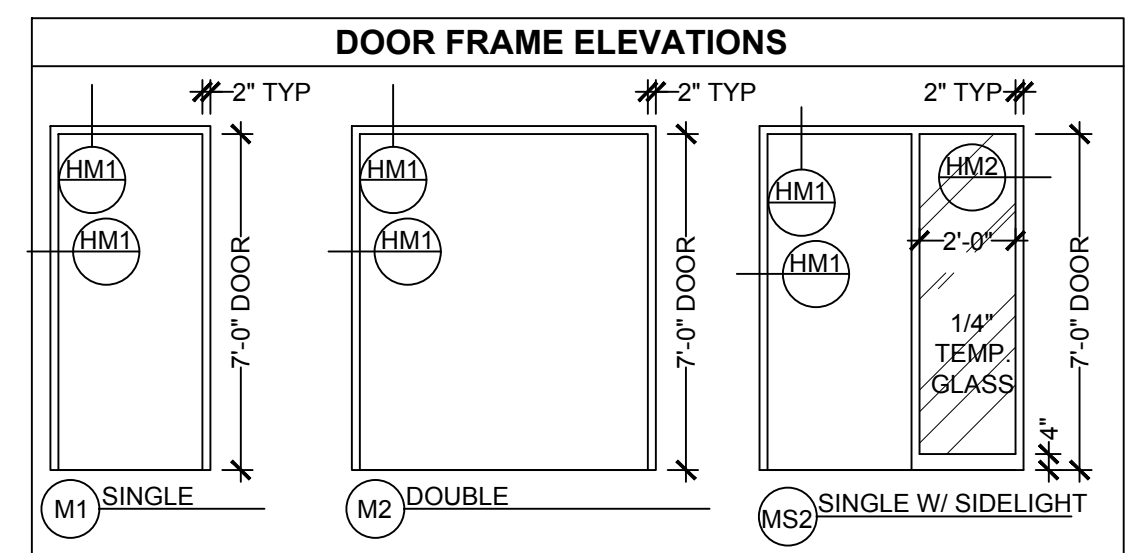
Notes:

WALL TYPE CONSTRUCTION SYSTEM
 METAL STUD AND DRYWALL CONSTRUCTION STANDARDS:
 ALL DRYWALL AND METAL STUD INSTALLATION TO BE IN ACCORDANCE WITH "USG" PRODUCT FOLDERS:
 UN - 30 STEEL FRAMING SYSTEMS
 SA - 921 HIGH SOUND ATTENUATION SYSTEMS
 SA - 923 DRYWALL / STEEL FRAMED SYSTEMS
 SA - 927 GYPSUM PANELS & ASSEMBLIES
 STUD GAUGE AND SPACING ARE MINIMUM ACCEPTABLE STANDARDS
 DRYWALL TO BE TYPE "X" ON ALL INTERIOR FIRE RATED WALLS, UNLESS NOTED OTHERWISE AS TYPE "C"
 FOLLOW STRICTER "USG" REQUIREMENTS FOR GAUGE AND SPACING WHERE REQUIRED BY PARTITION HEIGHT IN ORDER TO INSURE A MAXIMUM ALLOWABLE DEFLECTION OF 1/240
 APPLY GWB VERTICALLY ON BOTH SIDES AND SCREW ATTACH. STAGGER AND FINISH ALL JOINTS.
 APPLY CORNER BEADS AND J-BEAD AT ALL LOCATIONS WHERE APPLICABLE TO GWB CONSTRUCTION.
 ALL DUCTWORK PENETRATIONS THROUGH FIRE RATED PARTITIONS AND STC RATED PARTITIONS TO BE COMPLETELY SEALED TO SURROUNDING GWB.
 SOUND ATTENUATION INSULATION ALL SOUND ATTENUATION INSULATION TO BE SEMI-REFRACTORY MINERAL FIBER MANUFACTURED FROM SLAG (USG - THERMAFIBER)

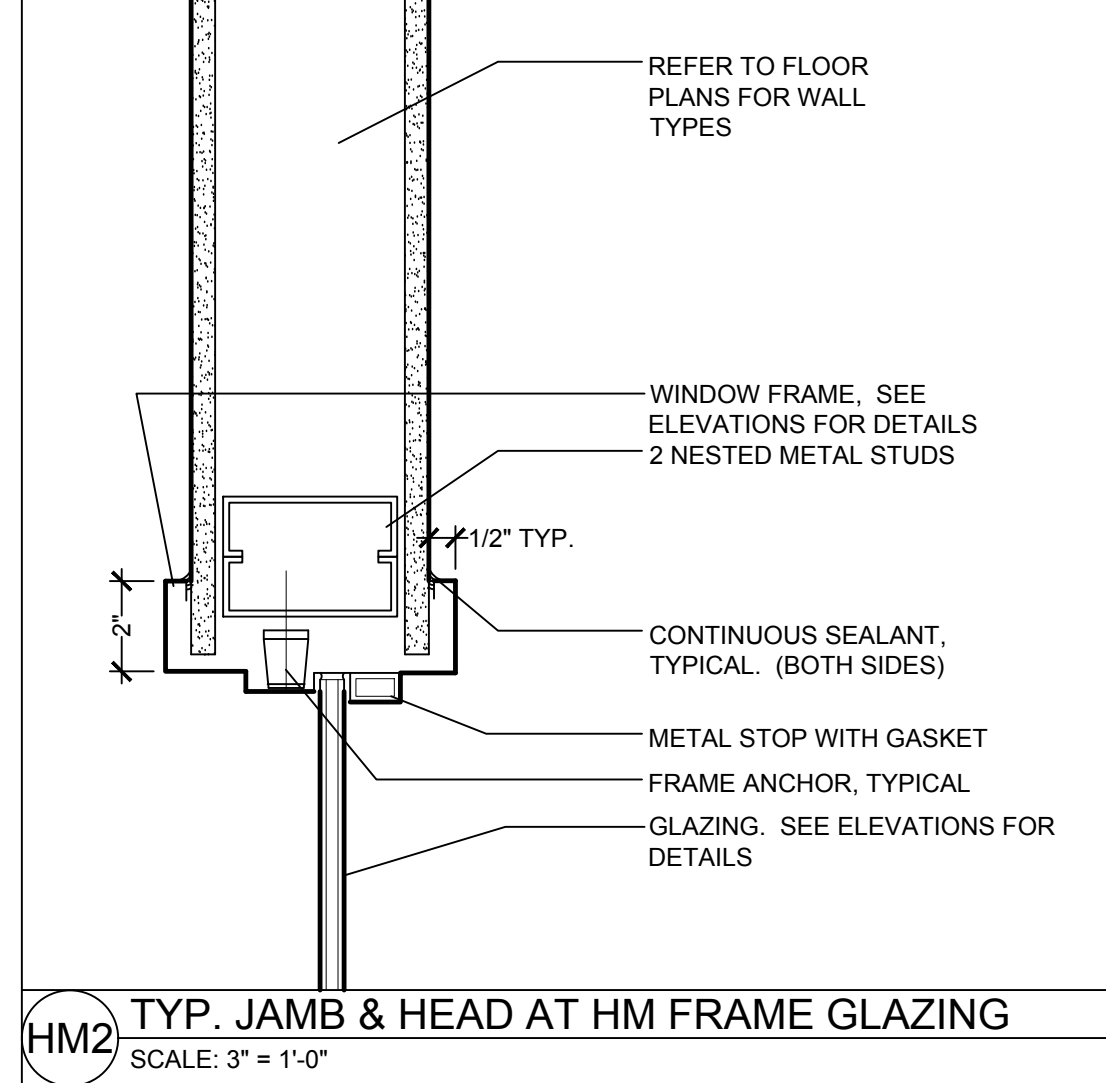
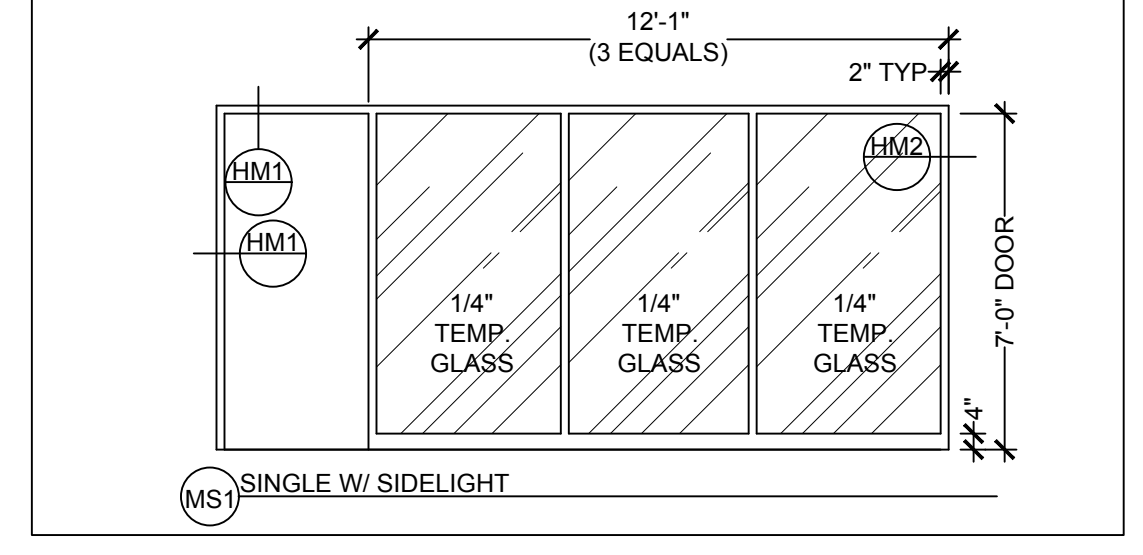


HARDWARE SETS

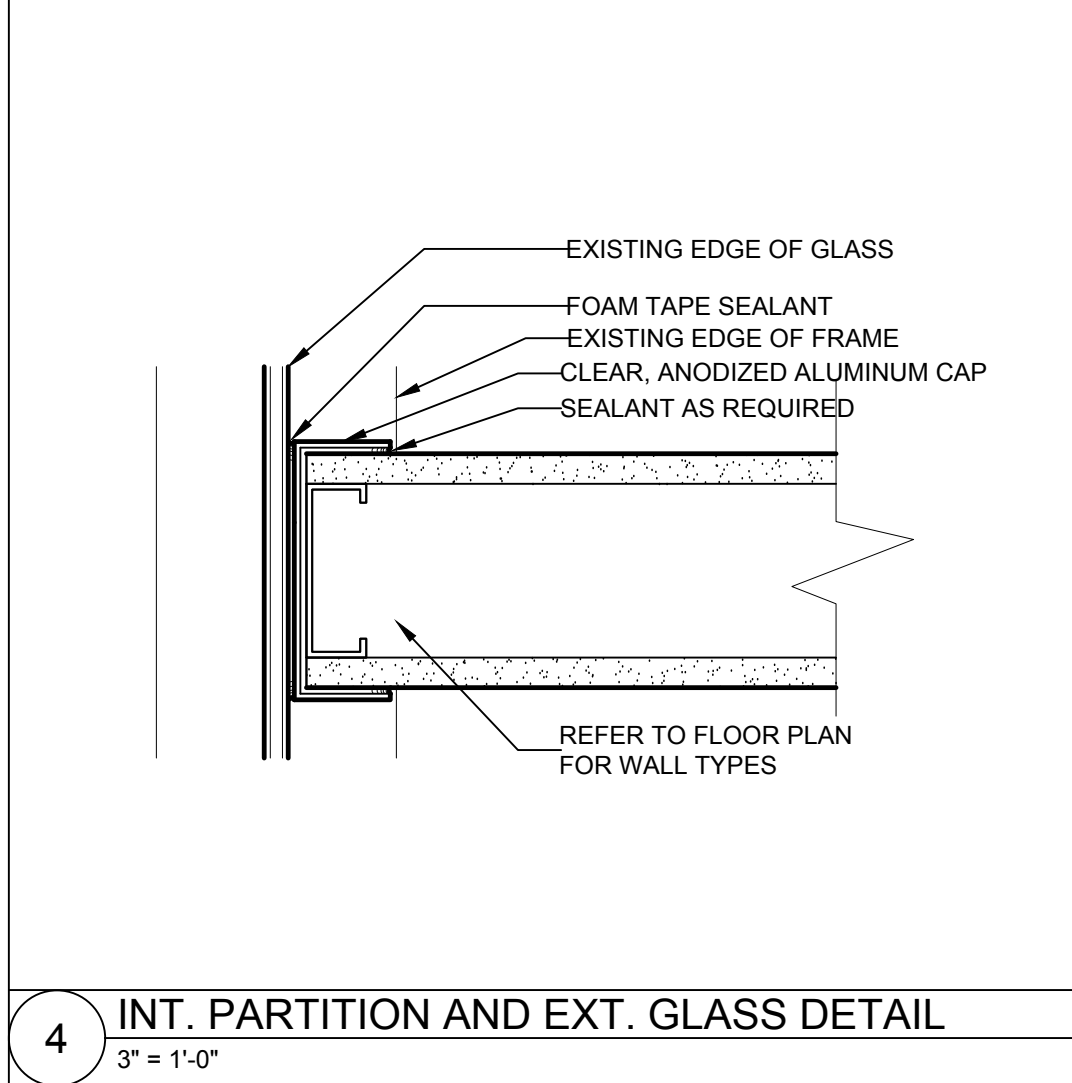
SET # 1	SET # 2
OFFICE SET: KEYED ON EXTERIOR AND PUSH BUTTON INTERIOR	PASSAGE SET: BOTH LEVERS OPERATES LATCH BOLT. NO LOCKING
HINGES: (3) 5B81 4.5x4.5 SILENCER: 3 COAK HOOK DOOR STOP: FLOOR	HINGES: (3) 5B81 4.5x4.5 SILENCER: 3 DOOR STOP: FLOOR
SET #3 BI-PASS SLIDERS: NO LOCKING MECHANISM	



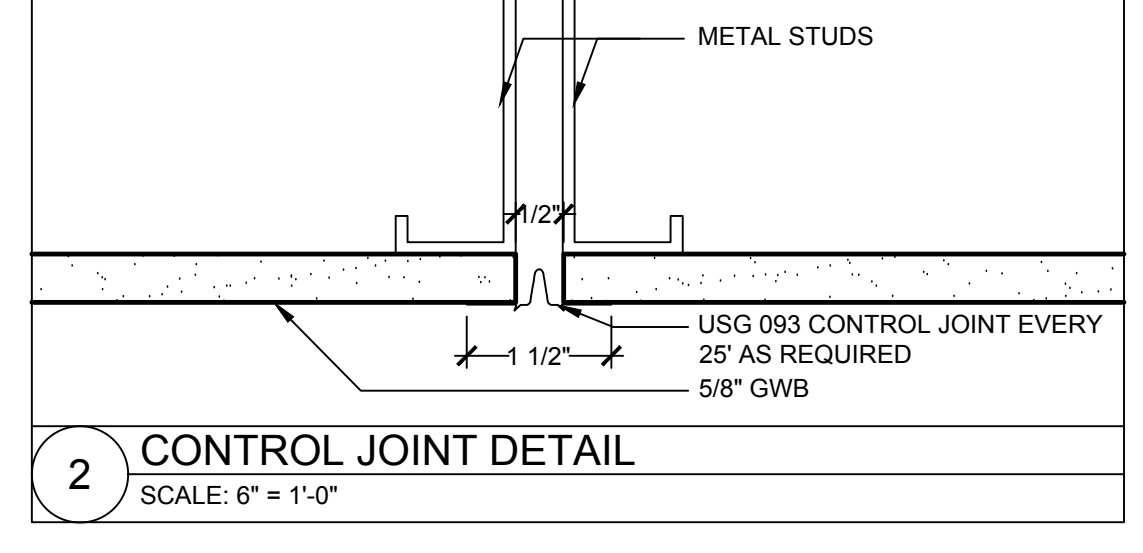
DOOR NUMBER	ROOM NAME	DOOR				FRAME				HARWARE SET	
		WIDTH	HEIGHT	MATL	TYPE	FINISH	MATL	TYPE	FINISH		FIRE RTNG
202	COATS/STORAGE	6'-0"	7'-0"	WOOD	FW1	STAIN	METAL	M2	PAINT		3
203	CONFERENCE	3'-0"	7'-0"	WOOD	FW1	STAIN	METAL	MS1	PAINT		2
204	OFFICE	3'-0"	7'-0"	WOOD	FW1	STAIN	METAL	MS2	PAINT		1
205	OFFICE	3'-0"	7'-0"	WOOD	FW1	STAIN	METAL	MS2	PAINT		1
206	CONFERENCE	3'-0"	7'-0"	WOOD	FW1	STAIN	METAL	M1	PAINT		2
207	OFFICE	3'-0"	7'-0"	WOOD	FW1	STAIN	METAL	MS2	PAINT		1
208	OFFICE	3'-0"	7'-0"	WOOD	FW1	STAIN	METAL	MS2	PAINT		1
209	OFFICE	3'-0"	7'-0"	WOOD	FW1	STAIN	METAL	MS2	PAINT		1
210	OFFICE	3'-0"	7'-0"	WOOD	FW1	STAIN	METAL	MS2	PAINT		1



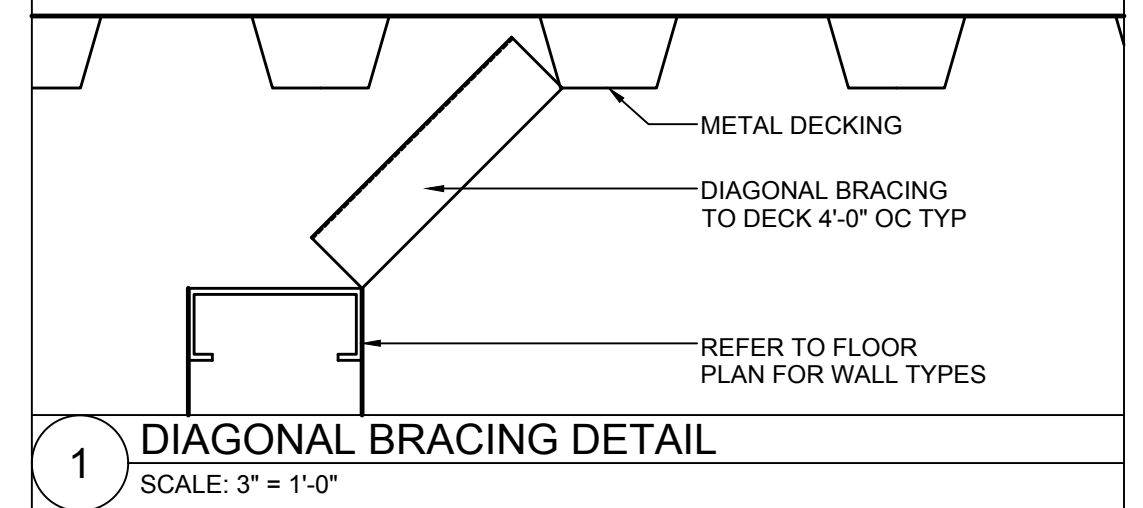
HM2 TYP. JAMB & HEAD AT HM FRAME GLAZING
SCALE: 3" = 1'-0"



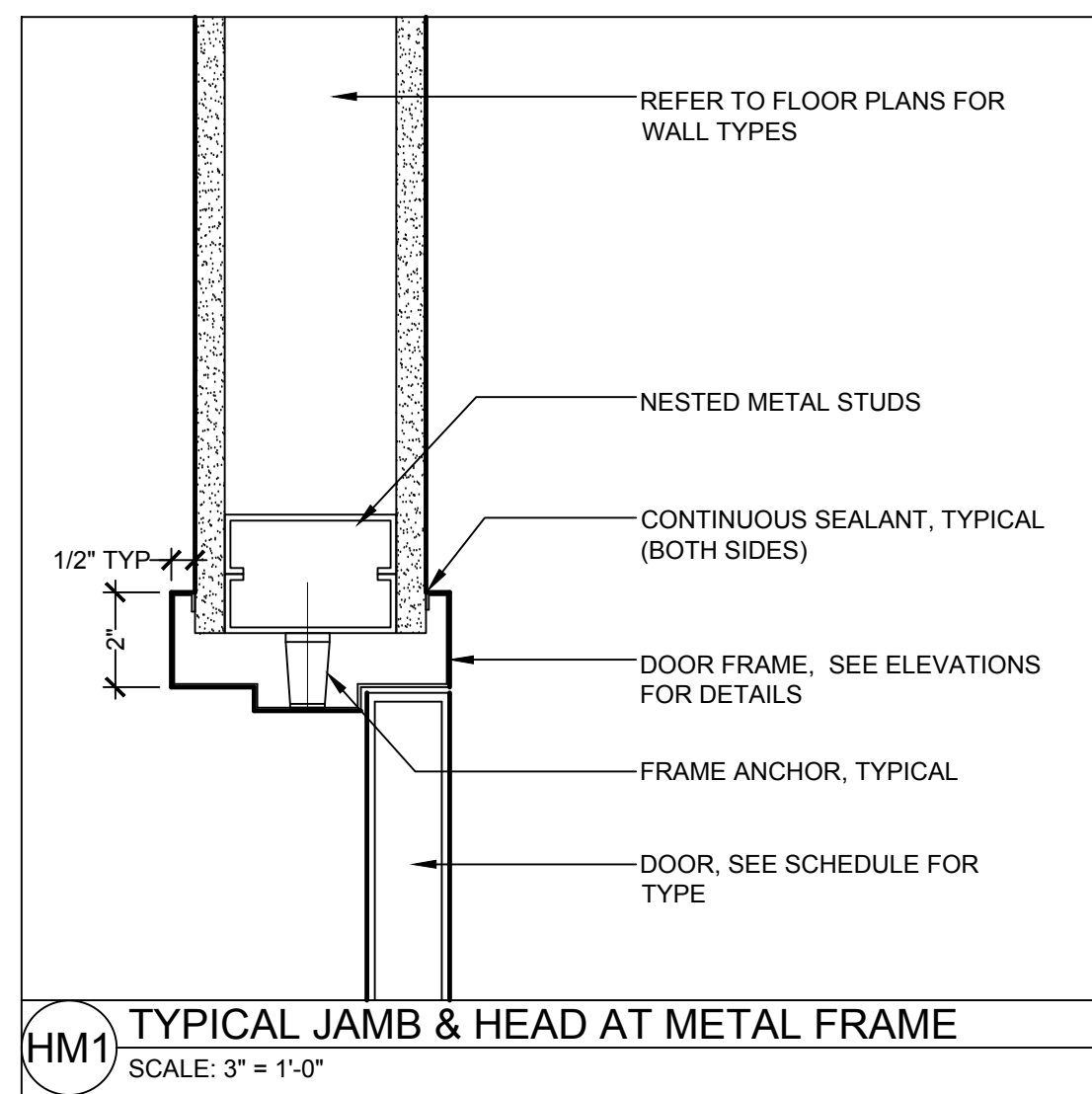
4 INT. PARTITION AND EXT. GLASS DETAIL
SCALE: 3" = 1'-0"



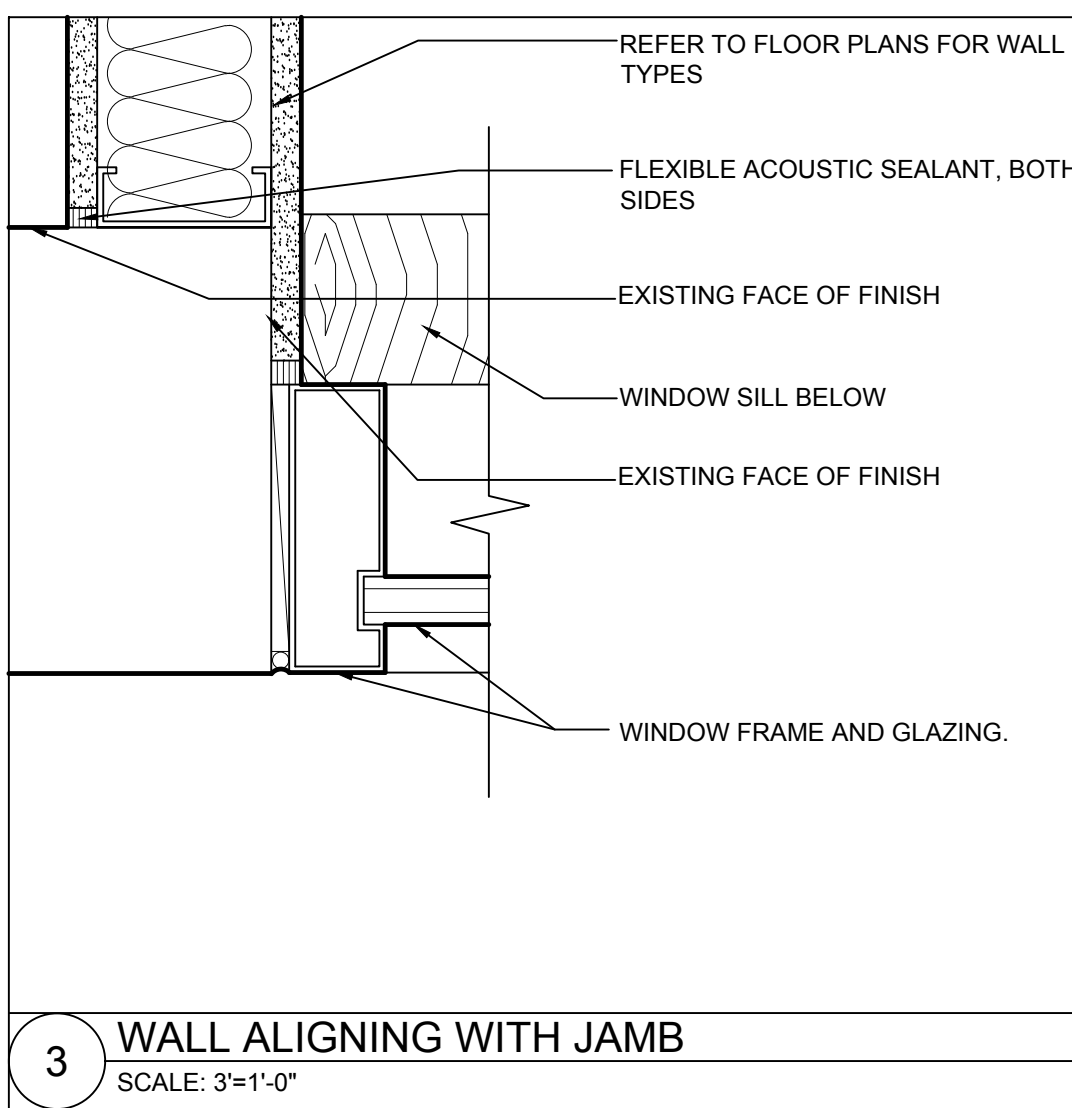
2 CONTROL JOINT DETAIL
SCALE: 6" = 1'-0"



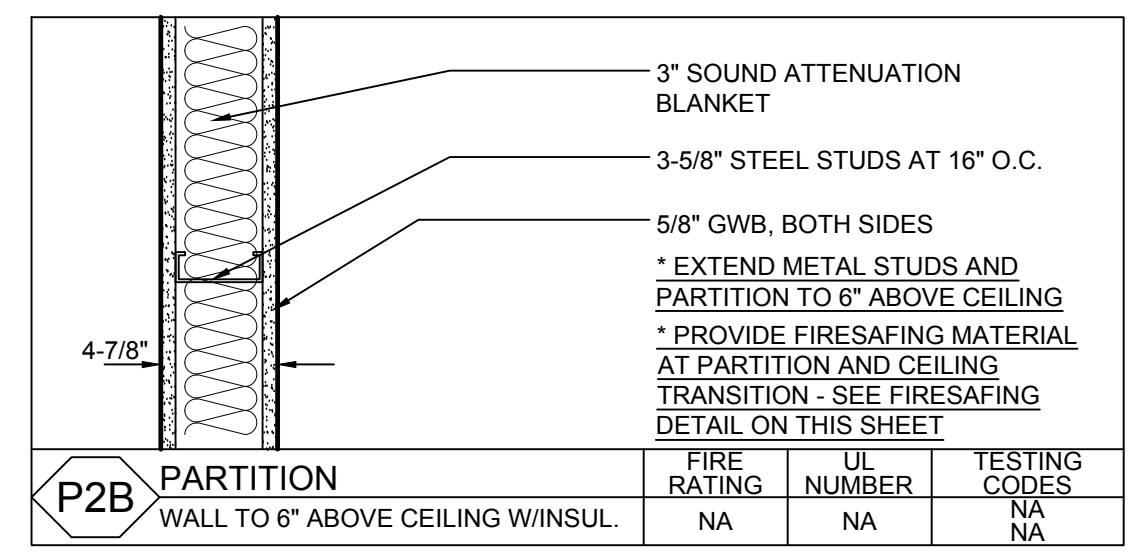
1 DIAGONAL BRACING DETAIL
SCALE: 3" = 1'-0"



HM1 TYPICAL JAMB & HEAD AT METAL FRAME
SCALE: 3" = 1'-0"

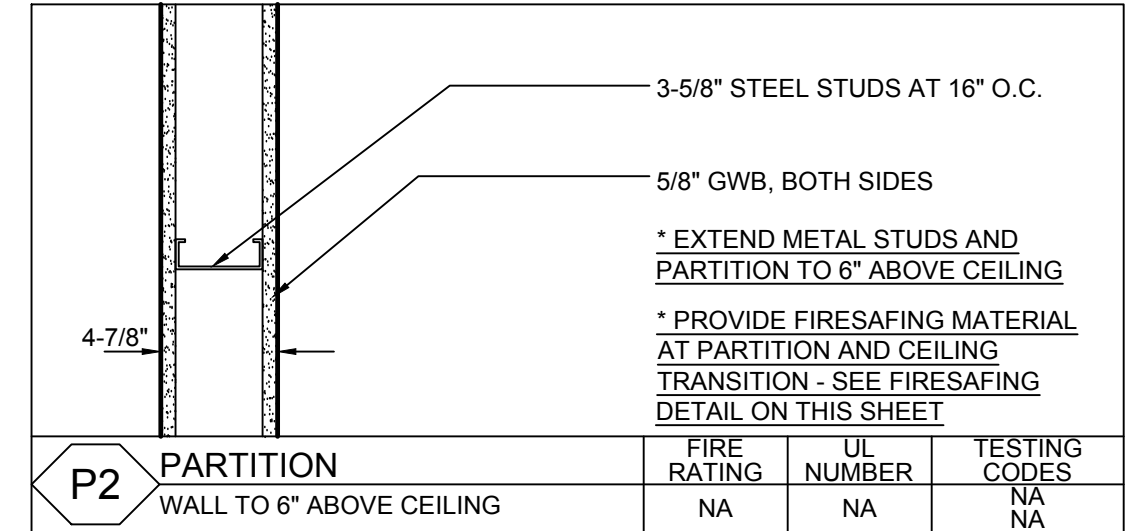


3 WALL ALIGNING WITH JAMB
SCALE: 3" = 1'-0"



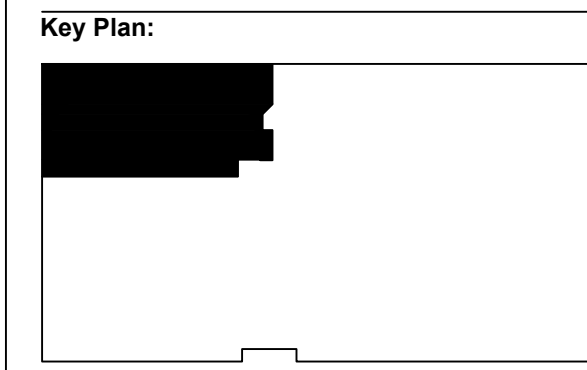
P2B PARTITION
WALL TO 6" ABOVE CEILING WINSUL.

FIRE RATING	UL NUMBER	TESTING CODES
NA	NA	NA NA



P2 PARTITION
WALL TO 6" ABOVE CEILING

FIRE RATING	UL NUMBER	TESTING CODES
NA	NA	NA NA



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Issue: 03.08.16
Date:

Revisions:	Date:

Drawing Title:
 Interior Details

Sheet Number:
A.621
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