

KEYNOTE LEGEND

- DOUBLE SINK W/ GARBAGE DISPOSAL
- BUILT-IN DISHWASHER
- 30" ELEC. RANGE/OVEN W/ MICROWAVE, EXHAUST FAN & LIGHT ABOVE
- REFRIGERATOR, VERIFY WIDTH AND DEPTH W/ MANUFACTURER
- BUILT-IN PANTRY
- ELEC. WATER HEATER ON 18" HIGH PLATFORM, REFER TO PLUMB. DWGS. ALSO SEE DETAIL 19/D2
- 32"x60" TUB/SHOWER
- SHOWER W/ 6'-0" SHATTERPROOF ENCLOSURE, SEE PLAN FOR SIZE
- RECESSED WATER BOX
- SMITTY PAN & DRAIN AT WASHER
- LOW WALL UNDER COUNTER
- 42" HIGH OPEN GUARD RAIL
- 36" HIGH CONTINUOUS HANDRAIL
- SOFFIT ABOVE, SEE PLAN LEGEND FOR HEIGHT, REFER TO MECH. DWGS.
- 42" LOW WALL
- 36" HIGH OPEN RAIL
- LINE OF FLOOR ABOVE
- LINE OF FLOOR BELOW
- 24" ROUND RAIN BARREL WITH DOWNSPOUT
- WATER HEATER 18" RELIEF VALVE, DRAIN TO OUTSIDE
- DRYER VENT, SEE MECHANICAL DWGS. FOR DETAILS
- 2x6 PLUMBING WALL
- TIGHT-FITTING, 1-3/8" SOLID-WOOD DOOR, TO BE SELF-CLOSING AND SELF-LATCHING, C.R.C. SECTION R302.5.1
- STUCCO SOFFIT, SEE EXTERIOR ELEVATIONS
- REINFORCEMENT FOR GRAB BARS @ ACCESSIBLE UNIT, WHERE OCCURS, ALSO SEE GN-4 AND INTERIOR ELEVATIONS
- 2x STONE VENEER, SEE EXT. ELEVATIONS WHERE OCCURS
- MEDICINE CABINET
- F.A.U. IN ATTIC, REFER TO MECHANICAL DWGS.
- NOT USED
- LINE OF OCCUPANCY SEPARATION, SEE PLAN NOTE # 4
- FLAT STUDS
- 30"x30" ATTIC ACCESS
- SEE PLAN NOTE #5

PLAN NOTES

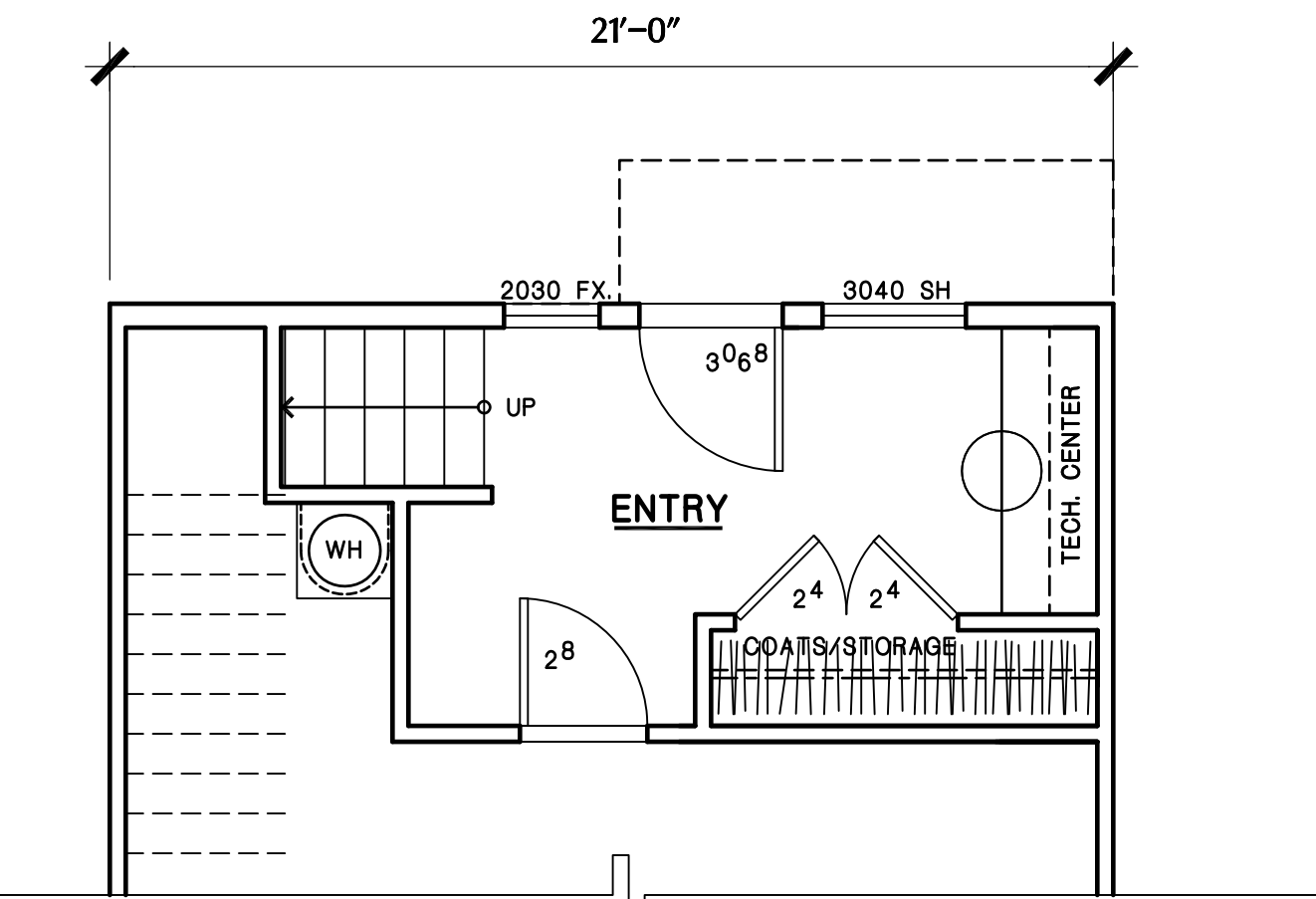
- ALL GLAZING SHALL COMPLY WITH THE CALIFORNIA RESIDENTIAL CODE AND LOCAL ORDINANCES, REFER TO THE TITLE-24 CALCULATIONS SHEETS EN-0 - EM-4 FOR THE REQUIRED U-VALUE OF ALL GLAZING.
- REFER TO THE TITLE-24 CALCULATIONS SHEETS EN-0 - EM-4 FOR EQUIPMENT SPECIFICATIONS AND REQUIREMENTS.
- REFER TO SHEETS GN-1, GN-4 FOR THE GENERAL CONSTRUCTION METHODS AND CONDITIONS.
- OCCUPANCY SEPARATION: THE PRIVATE GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF A MIN. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE (1) LAYER OF 5/8" TYPE 'X' GYPSUM BOARD IS PREFERRED. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN A 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. (2019 C.R.C. SEC. R302.6) - SEE DETAIL 5/D1
- INSTALL MIN. (1) LAYER OF 1/2" GYPSUM BOARD AT USABLE SPACE BELOW THE STAIRS, C.R.C. SEC. R302.7
(1) LAYER OF 5/8" TYPE 'X' GYPSUM BOARD IS PREFERRED.
- ALL EXTERIOR DOORS OF CONDITIONED SPACE SHALL BE FULLY WEATHER STRIPPED.
- ALL HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE FLIGHT. HANDRAILS WITH A CIRCULAR CROSS-SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1.25" AND NOT GREATER THAN 2" OR SHALL PROVIDE EQUIVALENT GRASPABILITY. IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6.25" WITH A MAXIMUM CROSS-SECTION DIMENSION OF 2.25". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH. (C.R.C. SEC. R311.7.8.4, R311.7.8.5)
- PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOM(S). NET CLEAR WINDOW OPENING AREA SHALL BE NOT LESS THAN 5.7 SQ. FT. (621 IN. MIN. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SQ. FT. (60 SQ. IN.) THE MINIMUM NET CLEAR OPENING FOR EMERGENCY HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20". THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR. (C.R.C. SEC. R310)
- FLOOR MATERIAL TRANSITIONS ARE SHOWN USING THE FOLLOWING SYMBOLS AND ABBREVIATIONS:
X-X VINYL/HARD SURFACE FLOORING TO CARPET
I-I CERAMIC TILE TO CARPET
- ALL DOORS TO BE 6'-8" HIGH AT 9'-0" CEILINGS.
- ALL DOORS TO BE 8'-0" HIGH AT 9'-6" AND 10'-0" CEILINGS.
- PROVIDE 100 SQ. IN. MAKEUP AIR PER 504.4.1 2019 CMG FOR LAUNDRY.
- THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.
- ATTACHED GARAGES SHALL BE PROTECTED BY A RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH 2019 C.R.C. SEC. R309.6.
- AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN DWELLINGS PER 2019 C.R.C. SEC. R313.
- ENTRY DOORS:
- FRONT ENTRY DOORS TO BE SELECTED BY THE OWNER AND BE SOLID-CORE NOT LESS THAN 1-3/8" INCHES THICK.
- PROVIDE ENTRY LOOKS AND DEAD LOCKS.
- ALL EXTERIOR DOORS TO HAVE APPROVED WEATHER SEALS TO COMPLY WITH TITLE 24.
- ALL EXTERIOR HARDWARE TO COMPLY WITH APPLICABLE SECURITY CODE.
- REFER TO GREEN BUILDING STANDARDS CODE SECTIONS ON SHEETS GN-3 AND GN-3a FOR RESIDENTIAL MANDATORY MEASURES REGARDING WATER EFFICIENCY AND CONSERVATION, MATERIAL CONSERVATION AND RESOURCE EFFICIENCY, AND ENVIRONMENTAL QUALITY. THESE INCLUDE REDUCTION OF OVERALL USE OF POTABLE WATER AND HVAC DUCT PROTECTION/SEALING DURING CONSTRUCTION.
- HANDRAILS SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE OF THE STAIRWAY AND SHALL HAVE NOT LESS THAN 15" OF CLEAR SPACE TO A WALL. THE CLEAR STAIRWAY WIDTH AT AND BELOW THE HANDRAIL SHALL BE 31.5" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27" WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES. (PER C.R.C. SEC. R311.7.1, R311.7.8.2, R311.7.8.3)
- MINIMUM CLEAR HEADROOM ABOVE NOSE OF STAIR TREADS SHALL BE 6'-8". (PER C.R.C. SEC. R311.7.2)
- BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWERS AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF 6' ABOVE THE FLOOR (PER C.R.C. R307.2)
- PROVIDE WINDOW OPENING CONTROL DEVICES FOR ALL OPERABLE WINDOWS WHERE THE SILL IS MORE THAN 72" ABOVE FINISHED GRADE OR SURFACE BELOW AND THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS BELOW 24" ABOVE FINISHED FLOOR SURFACE OF THE ROOM IN WHICH THE WINDOW IS LOCATED. CONTROL DEVICES SHALL COMPLY WITH ASTM 2090 AND SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW FOR EGRESS. (PER 2019 C.R.C. R312.2)
- CONSTRUCTION TYPE VB
REFER TO BUILDING PLANS FOR 1-HR RATED WALLS.
- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL INFORMATION. ANY INFORMATION SHOWN ON ARCHITECTURAL PLANS ARE FOR REFERENCE ONLY.
- REFER TO MECHANICAL DRAWINGS FOR MECHANICAL INFORMATION. ANY INFORMATION SHOWN ON ARCHITECTURAL PLANS ARE FOR REFERENCE ONLY.
- REFER TO PLUMBING DRAWINGS FOR PLUMBING INFORMATION. ANY INFORMATION SHOWN ON ARCHITECTURAL PLANS ARE FOR REFERENCE ONLY.
- REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL INFORMATION. ANY INFORMATION SHOWN ON ARCHITECTURAL PLANS ARE FOR REFERENCE ONLY.
- REFER TO FIRE SPRINKLER DRAWINGS FOR INFORMATION ON FIRE SPRINKLER SYSTEM REQUIREMENTS.
- REFER TO SHEET GN-4 FOR INFORMATION ON ACCESSIBILITY AND RELATED DETAILS.

PLAN AREA

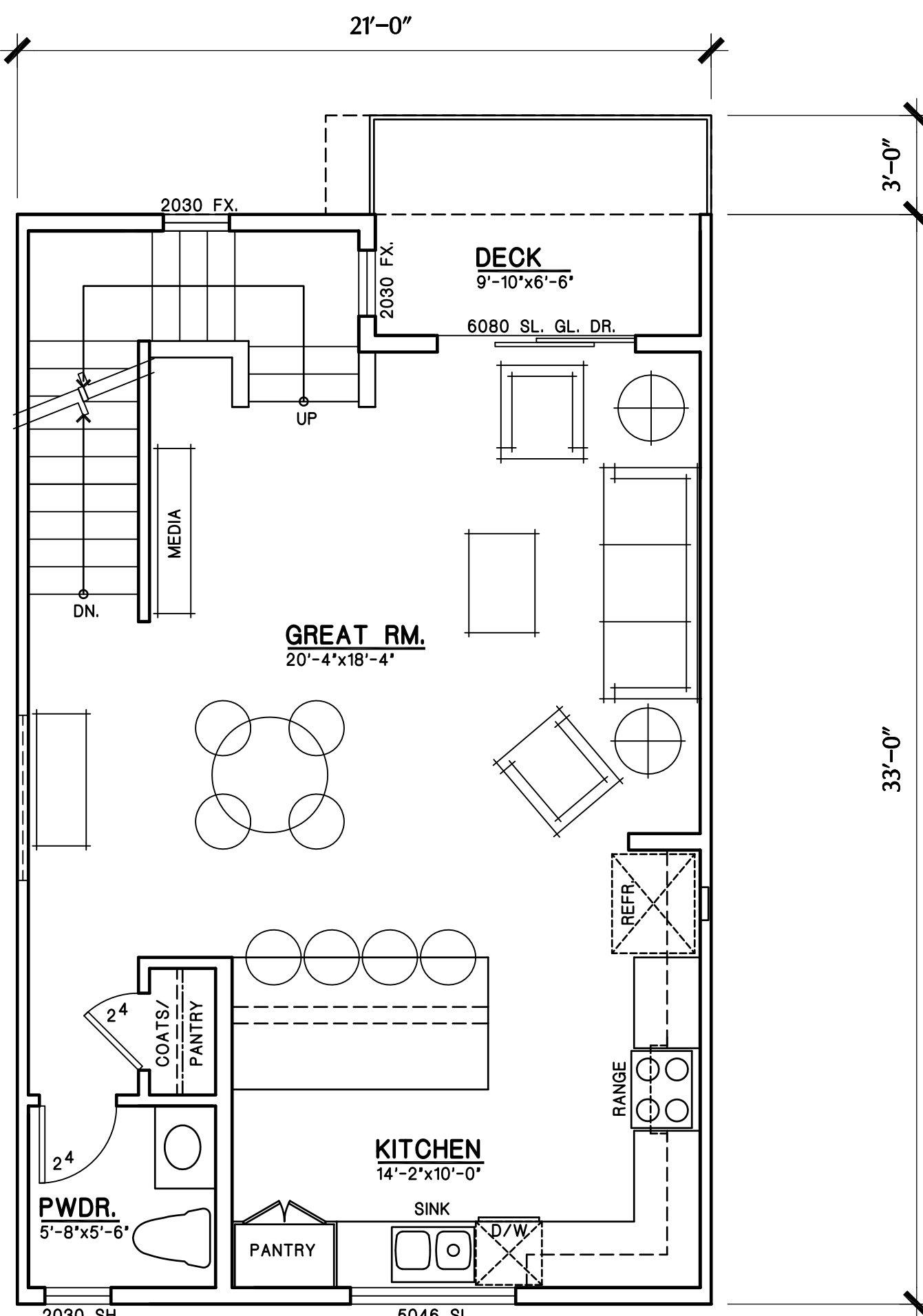
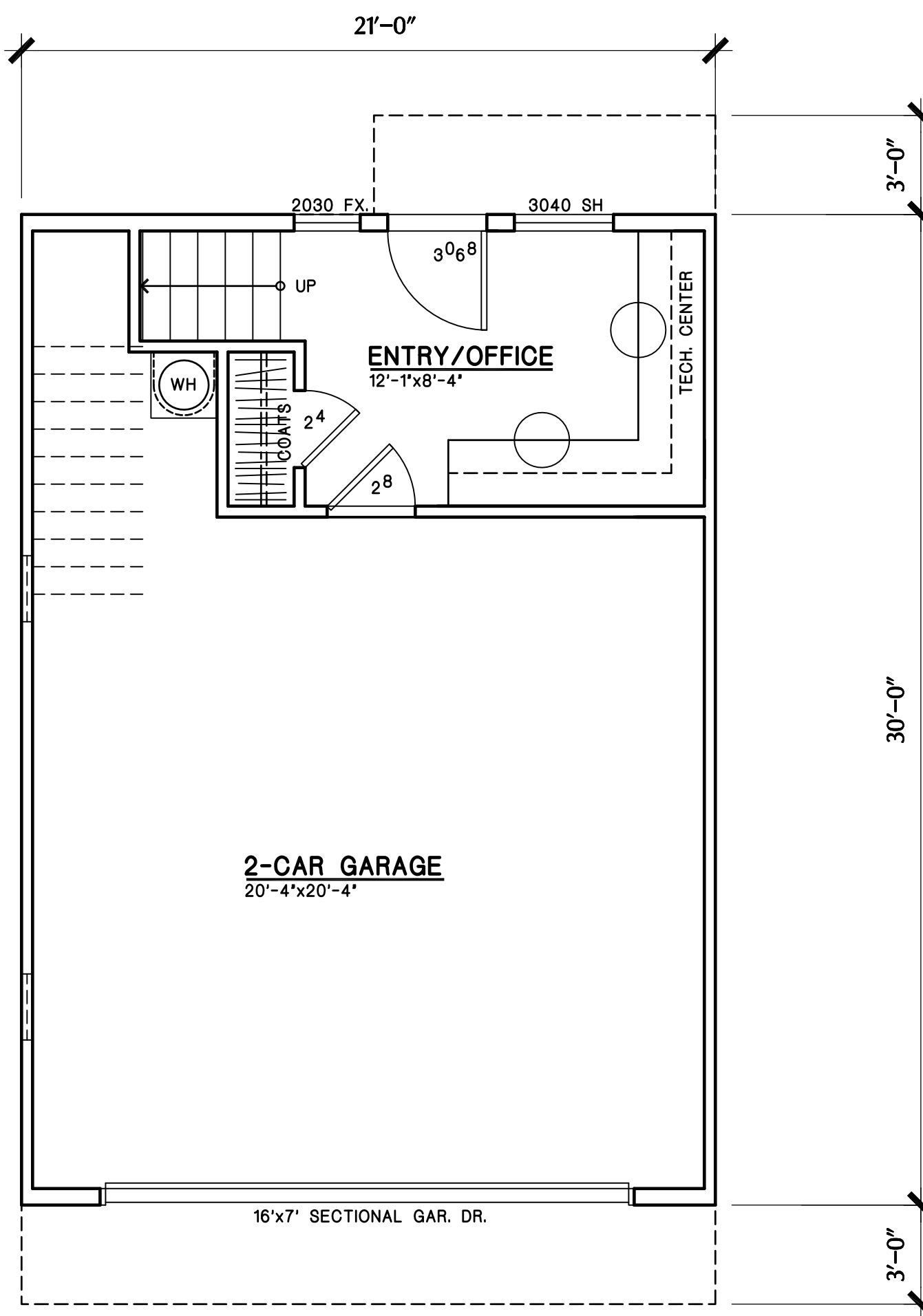
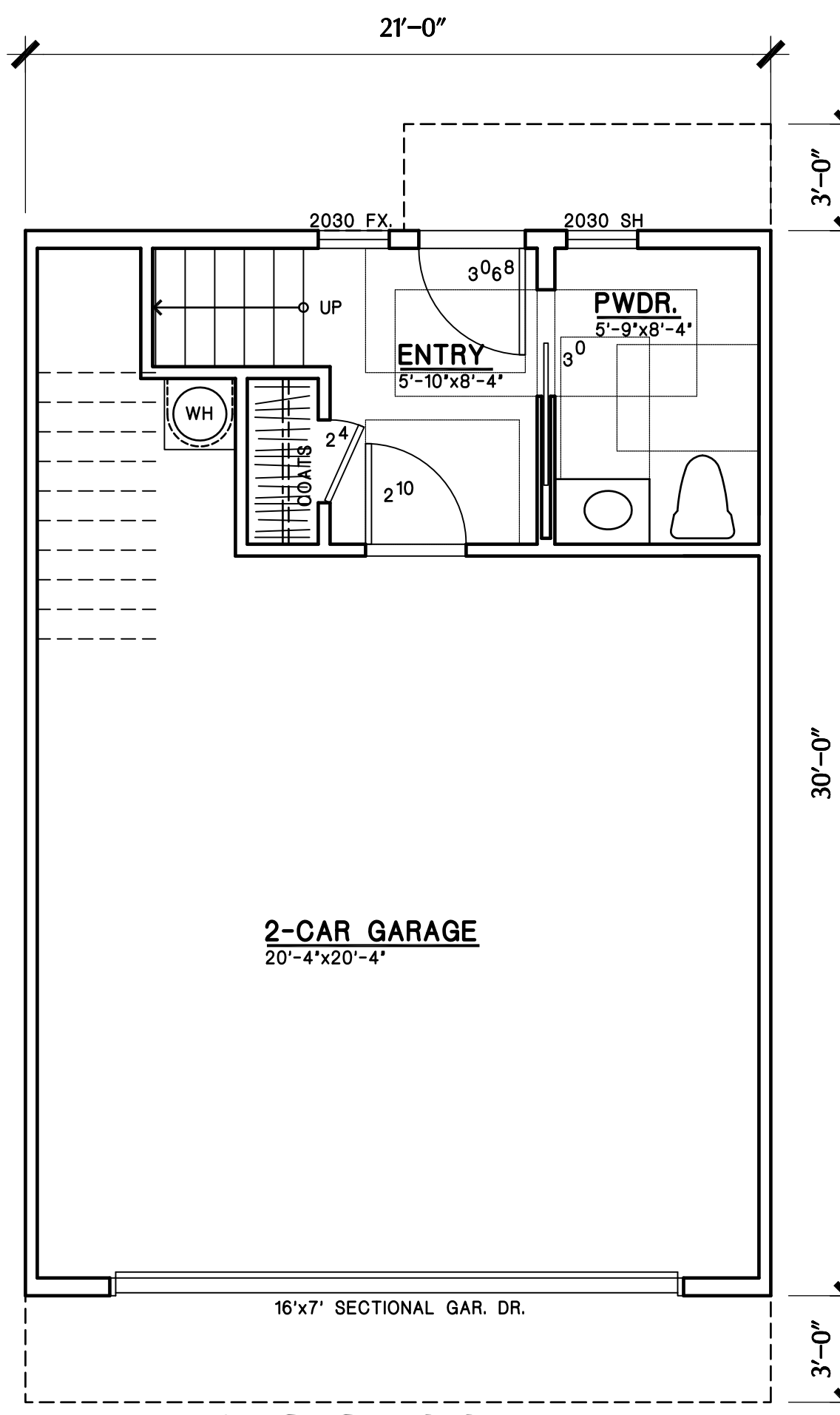
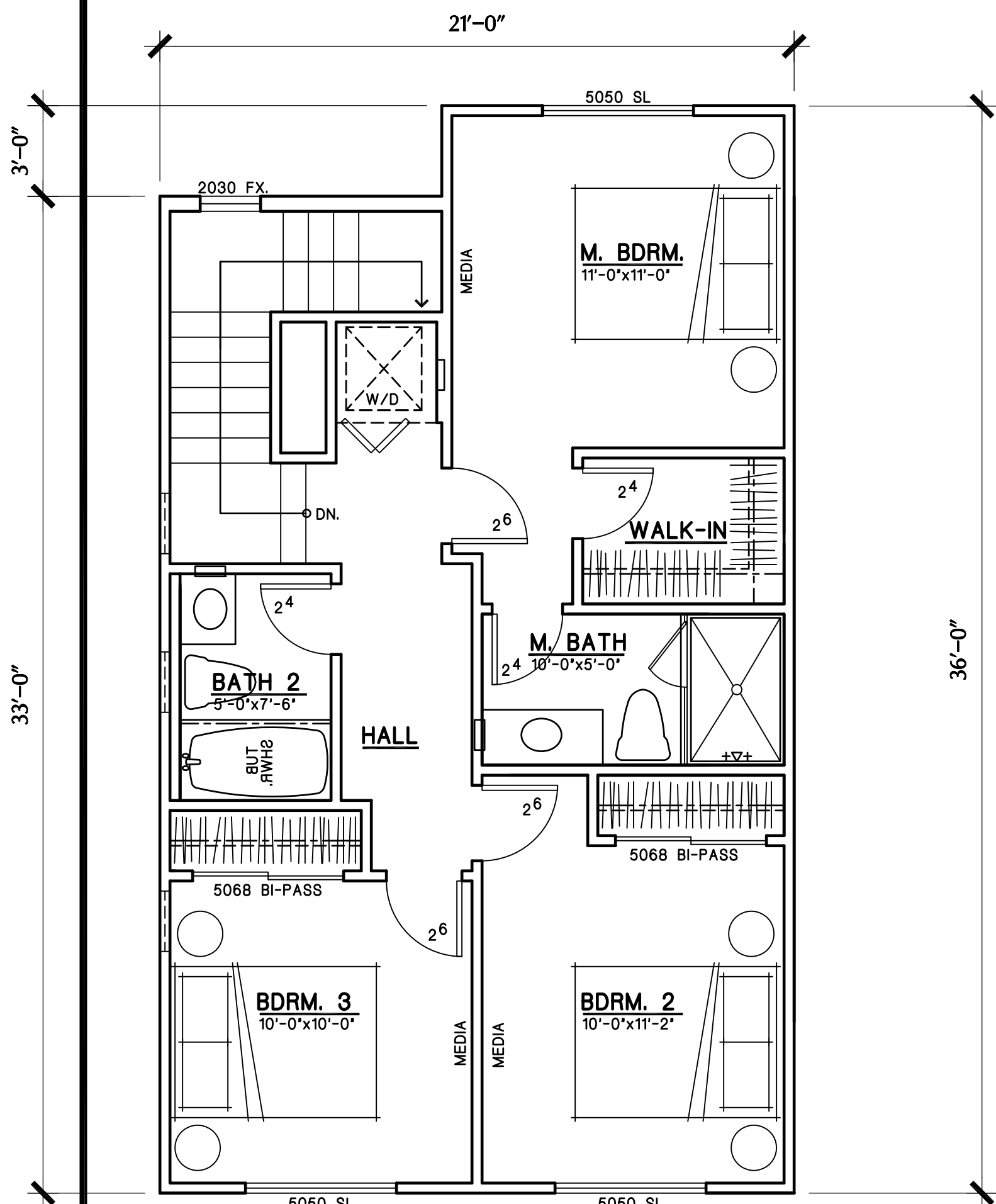
149 SF RESIDENCE (FIRST FLOOR)
656 SF RESIDENCE (FIRST FLOOR)
649 SF RESIDENCE (SECOND FLOOR)
1454 SF RESIDENCE (TOTAL)
68 SF DECK
430 SF GARAGE
PATIO SF PER LANDSCAPE PLAN

PLAN LEGEND

- LOW STUD WALL
2x4 STUD WALL, UNO.
2x6 STUD WALL, UNO.
8'-0" SOFFIT ABOVE @ 9'-0" CEILING, UNO.
8'-6" SOFFIT ABOVE @ 9'-6" CEILING, UNO.
9'-0" SOFFIT ABOVE @ 10'-0" CEILING, UNO.
6" STEP
ALL WOOD FRAMING AND SHEATHING THAT ARE LESS THAN 6" ABOVE GROUND OR LESS THAN 2" ABOVE PORCH/PATIO SLABS HAVE TO BE PRESERVATIVE-TREATED WOOD.
C.R.C. R317.1
SEE CIVIL DRAWINGS FOR ACTUAL GRADE HEIGHT DIFFERENCE AT EACH LOCATION.



FIRST FLOOR OPTION

SECOND FLOOR
656 SQ. FT.FIRST FLOOR
149 SQ. FT.ACCESSIBLE
FIRST FLOOR
149 SQ. FT.THIRD FLOOR
649 SQ. FT.

NOTE:
FIELD VERIFY ALL DOOR LOCATIONS IN ORDER TO MAINTAIN THE 18" STRIKE CLEARANCE AS SHOWN.

REFER TO SECTION 12 PRIVATE DOORS AND 13 BATHROOMS+KITCHENS ON SHEET GN-4 FOR ACCESSIBILITY NOTES AND DIMENSIONS

REFER TO STANDARD FIRST FLOOR PLAN FOR ANY MISSING NOTES AND DIMENSIONS

REFER TO SHEET GN-4 FOR ADDITIONAL ACCESSIBILITY NOTES AND DIMENSIONS

NOTE:
REFER TO GENERAL NOTES SHEET GN-2 FOR 2019 BUILDING ENERGY EFFICIENCY STANDARDS REQUIREMENTS FOR WATER HEATING, LIGHTING, HVAC, VENTILATION, AIR LEAKAGE AND HERB TESTING.

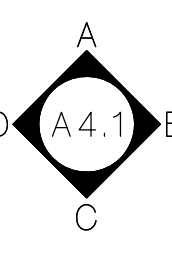
NOTE:
DOMESTIC CLOTHES DRYER VENTS SHALL BE A MIN. OF 4" DIAMETER AND MUST TERMINATE OUTSIDE THE BUILDING AND BE EQUIPPED WITH A BACKDRAFT DAMPER. DUCTS MUST BE OF METAL WITH SMOOTH INTERIOR SURFACES. SCREWS OR OTHER FASTENERS THAT WILL OBSTRUCT THE FLOW OF AIR ARE PROHIBITED. CMG SECTION 504.4.2

NOTE:
THE DISCHARGE POINT FOR EXHAUST AIR WILL BE AT LEAST 3 FEET FROM OPENINGS INTO THE BUILDING AND 3 FEET FROM THE PROPERTY LINE. CMG SECTION 502.2.1

NOTE: INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN NOMINAL 1" INSIDE DIAMETER. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE AND SHALL TERMINATE INTO A LISTED ENCLOSURE. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMP, MIN. DEDICATED BRANCH CIRCUIT AND SPACE RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE RESERVED SPACE IN THE PANEL AND THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE". (CGBSC 4.106.4.1)

REFER TO SHEETS A11, A12, A21, A22, A31, A32 FOR BUILDING PLANS

INTERIOR ELEVATION REFERENCES



U-1 - UNIT PLAN

SCALE 1/4"=1'-0"

SPRUCE ROAD TOWNHOMES

CHULA VISTA, CALIFORNIA

GEORGIA PROPERTIES, INC.

1642 MYRA COURT

CHULA VISTA, CALIFORNIA 91911

JOB NO.
21013

PLOT DATE
01/24/24

UNIT PLAN
U-1

AU.1

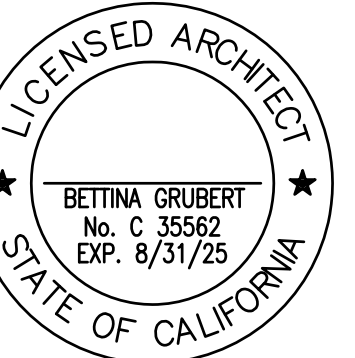


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SPRUCE ROAD TOWNHOMES
CHULA VISTA, CALIFORNIA

GEORGIA PROPERTIES, INC.
1642 MYRA COURT
CHULA VISTA, CALIFORNIA 91911

OB NO.
21013

PLOT DATE
01/24/24

BUILDING TYPE I
BLDG. PLANS

A1.1

 1 HOUR FIRE-RATED WALL CONSTRUCTION

● DOWNSPOUT
LOCATION

DOWNSPOT
LOCATION

OB NO.
21013

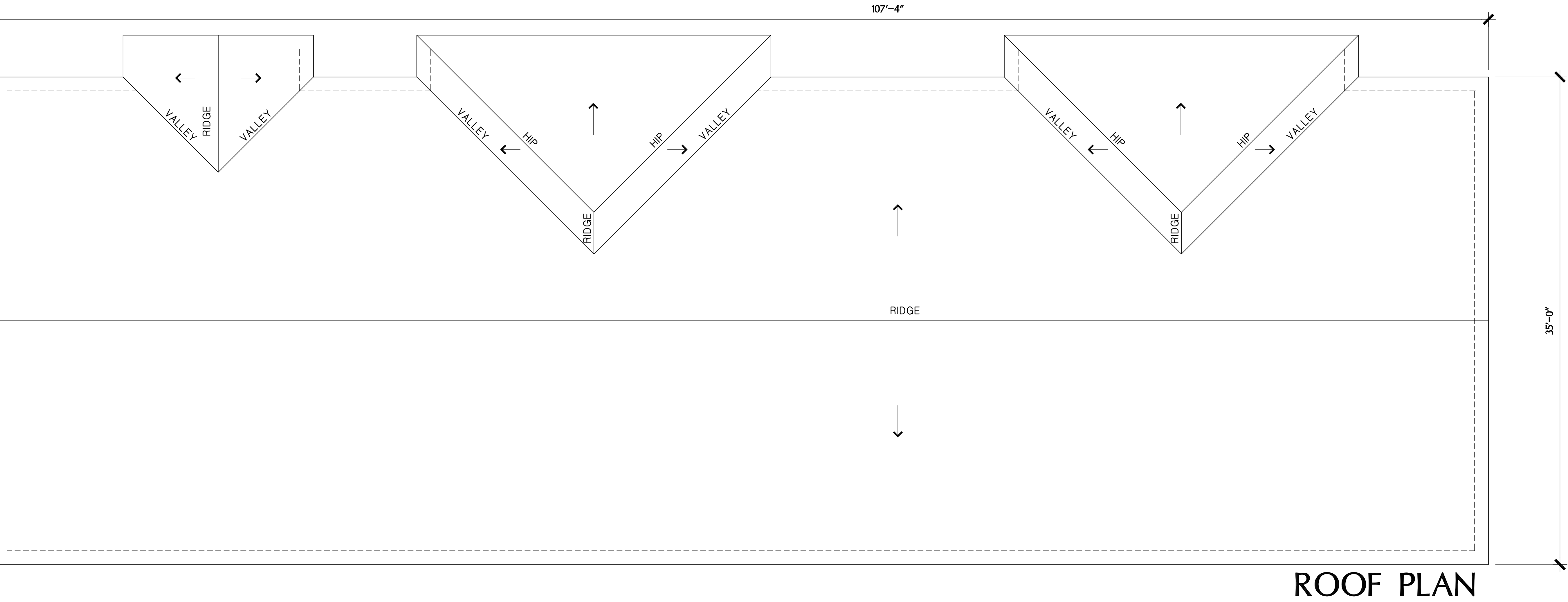
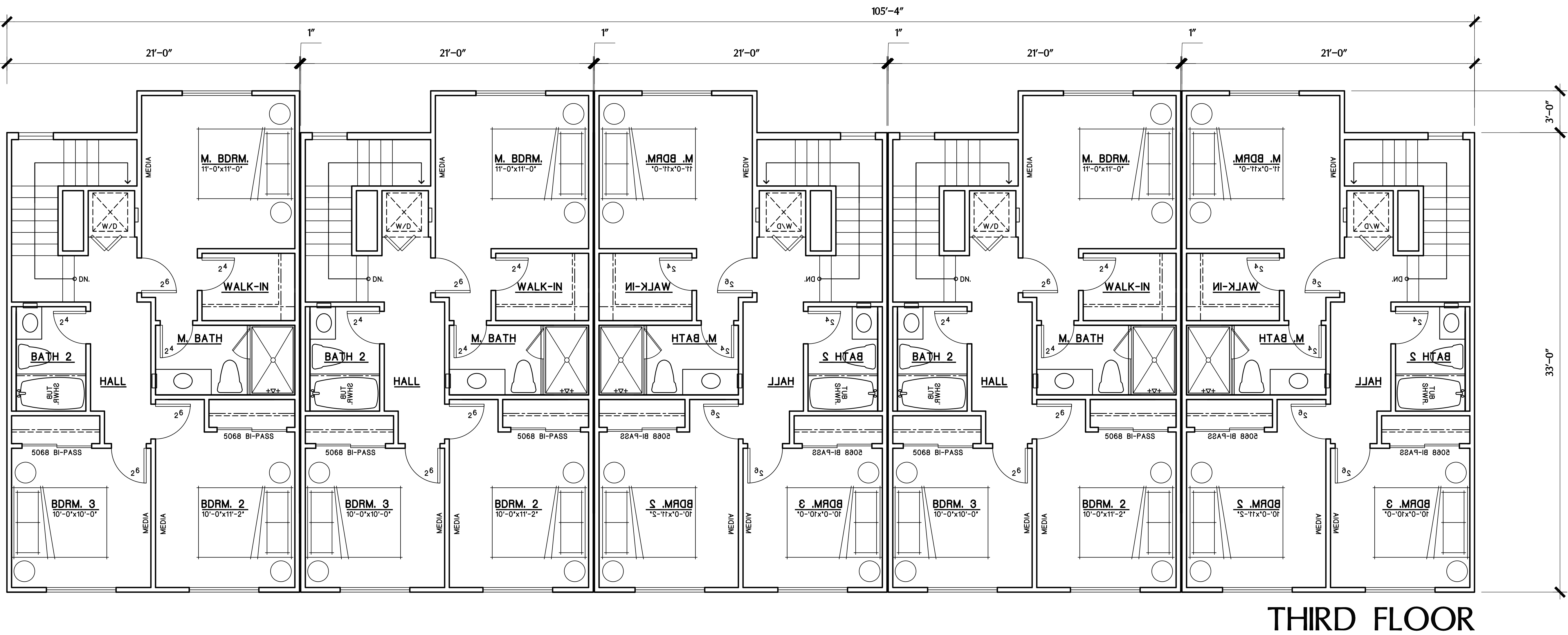
PLOT DATE
01/24/24

BUILDING TYPE I
BLDG. PLANS

BUILDING 1 - 5-PLEX

BUILDING TYPE I - BUILDING PLANS

SCALE 1/4"=1'-0"



ROOF PLAN NOTES

- SEE SHEET GN-1 FOR ROOF NOTES.
- ROOF SLOPE IS 4/12, UNO.
- OVERHANGS: 12" AT EAVE CONDITIONS. (UNLESS NOTED OTHERWISE) 24" AT RAKE CONDITIONS. (UNLESS NOTED OTHERWISE)
- CLASS A CONCRETE EAGLE ROOF TILE, ICC-ES ESR 1900, TYP. FLAT TILE FOR A-ELEVATIONS. LOW PROFILE FOR B- AND C-ELEVATIONS.
- PROVIDE ATTIC & SOFFIT VENTILATION AS PER C.R.C. SEC. R806.2
- REFER TO THE EAVE DETAILS ON SHEET D-2 FOR EAVE BLOCK VENTS. SEE DETAIL 15/D2
- PROVIDE O'HAGIN VENTS MODEL "FLAT" TILE FOR A-ELEVATIONS. MODEL "LOW PROFILE" TILE FOR B- AND C-ELEVATIONS. SEE DETAILS 13/D2 AND 14/D2.
- THE GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENT PRODUCT SELECTED AGAINST THOSE NOTED IN THE ATTIC VENTILATION CALCULATIONS. THE REQUIRED VENTILATION SHALL BE MAINTAINED.
- PROVIDE INSULATION STOPS SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED.
- GALVANIZED SHEET METAL DORMER VENTS SHALL BE LOW PROFILE AND PAINTED TO MATCH THE ROOF.
- LOUVERS, VENTILATORS, OR OPENINGS IN WALLS, ROOFS, ATTICS, AND UNDER FLOOR AREAS HAVING HEADROOM LESS THAN FOUR (4) FEET IN HEIGHT WHICH ARE NOT FITTED WITH SASH OR DOORS, SHALL BE COVERED WITH WIRE SCREEN. THE SCREEN COVERING SUCH OPENINGS SHALL BE GALVANIZED METAL OR COPPER AND SHALL HAVE A MAXIMUM MESH OF ONE-QUARTER INCH (1/4").
- PROVIDE A CLASS I OR II VAPOR RETARDER INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. (C.R.C. SEC. R806.2).

ATTIC VENT CALCULATIONS PLAN 1

AREA 1:	1104 SQ. FT.
ATTIC AREA:	530 SQ. IN. @ 1/300
VENT AREA REQUIRED:	265 SQ. IN.
REQUIRED AT UPPER 1/3 OF ROOF:	292.5 SQ. IN.
(3) O'HAGIN VENTS MODEL "LOW PROFILE" TILE	
• 97.5 SQ. IN. EACH NET FREE	
OR MODEL "FLAT" TILE	
• 98.75 SQ. IN. EACH NET FREE	
AREA WITH INSECT SCREEN	
PROPOSED VENT AREA AT	292.5 SQ. IN.
UPPER 1/3 OF ROOF:	
REQUIRED AT LOWER 1/3 OF ROOF:	265 SQ. IN.
(5) EAVE BLOCK VENTS	305 SQ. IN.
• 61 SQ. IN. EACH NET FREE VENT AREA	
PROPOSED VENT AREA AT	305 SQ. IN.
LOWER 1/3 OF ROOF:	
TOTAL VENT AREA PROPOSED:	597.5 SQ. IN.

ATTIC VENT CALCULATIONS PLAN 2

AREA 2:	1336 SQ. FT.
ATTIC AREA:	641 SQ. IN. @ 1/300
VENT AREA REQUIRED:	321 SQ. IN.
REQUIRED AT UPPER 1/3 OF ROOF:	321 SQ. IN.
(2) 14"x30" GABLE END VENTS	328 SQ. IN.
• 164 SQ. IN. EACH NET FREE	
AREA WITH INSECT SCREEN	
PROPOSED VENT AREA AT	328 SQ. IN.
UPPER 1/3 OF ROOF:	
REQUIRED AT LOWER 1/3 OF ROOF:	321 SQ. IN.
(4) EAVE BLOCK VENTS	244 SQ. IN.
• 61 SQ. IN. EACH NET FREE VENT AREA	
(1) O'HAGIN VENTS MODEL "LOW PROFILE" TILE	97.5 SQ. IN.
• 97.5 SQ. IN. EACH NET FREE	
OR MODEL "FLAT" TILE	
• 98.75 SQ. IN. EACH NET FREE	
AREA WITH INSECT SCREEN	
PROPOSED VENT AREA AT	341.5 SQ. IN.
LOWER 1/3 OF ROOF:	
TOTAL VENT AREA PROPOSED:	669.5 SQ. IN.

ROOF PLAN SYMBOLS LEGEND

- INDICATES DIRECTION OF SLOPE TO DRAIN
- DOWNSPOUT LOCATION
- 1 HOUR FIRE-RATED WALL CONSTRUCTION

SPRUCE ROAD TOWNHOMES

CHULA VISTA, CALIFORNIA

GEORGIA PROPERTIES, INC.

1842 MYRA COURT

CHULA VISTA, CALIFORNIA 91911

JOB NO. 21013

PLOT DATE 01/24/24

BUILDING TYPE I BLDG. PLANS

A1.2

ALL WINDOWS AND DOORS ARE TO HAVE AN STC 30 MINIMUM RATING PER ACOUSTICAL REPORT. REFER TO COVER SHEET.

REFER TO OTHER ELEVATION SHEET FOR ANY MISSING KEYNOTE & DETAIL CALLOUTS.

SEE CIVIL DRAWINGS FOR INFORMATION ON GRADE CHANGES.

CONCRETE LOW PROFILE ROOF

STUCCO O/ FOAM TRIM

DECORATIVE CLAY PIPES

FOAM SHUTTERS

STUCCO FINISH

STUCCO FURRING



UNIT 5

UNIT 4

UNIT 3

UNIT 2

UNIT 1
ACCESSIBLE UNIT



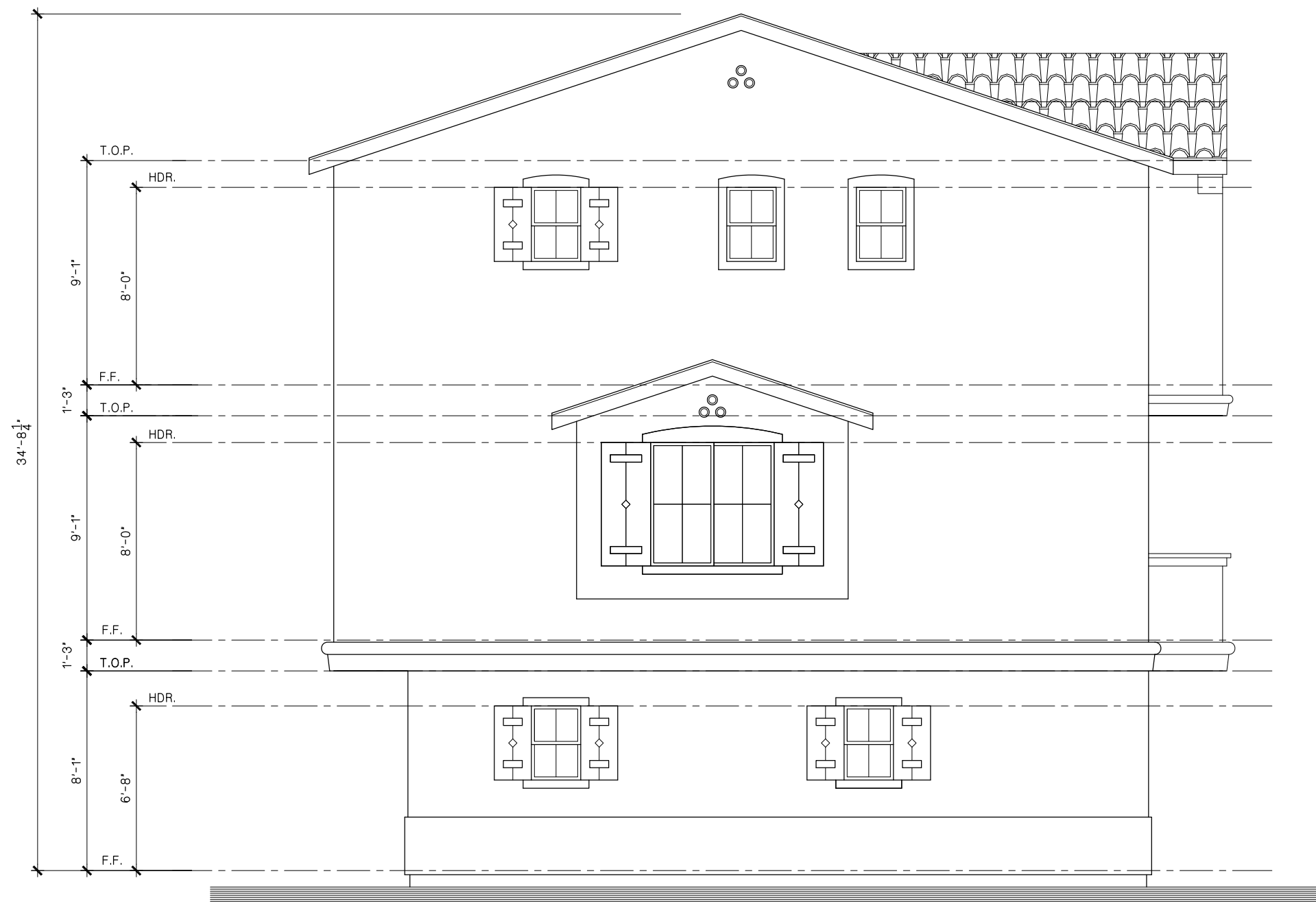
UNIT 1

UNIT 2

UNIT 3

UNIT 4

UNIT 5



UNIT 5



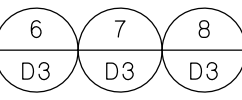
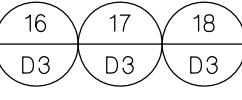
UNIT 1

BUILDING 1 - 5-PLEX

BUILDING TYPE I - BUILDING ELEVATIONS

ELEVATION NOTES

1. REFER TO OPENING FLASHING DETAIL 2/03 FOR MINIMUM FLASHING REQUIREMENTS FOR MANUFACTURED WINDOWS AND SLIDING GLASS DOORS. WOOD FRAMED DOORS (I.E. ENTRY DOORS, GARAGE MAN DOORS, AND FRENCH DOORS) SHALL BE INSTALLED IN SIMILAR CONFORMANCE.
2. FINISH GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.
3. TWO LAYERS OF GRADE D PAPER REQUIRED UNDER STUCCO APPLIED OVER WOOD SHEATHING (SHEAR WALLS). 2019 C.R.C. SEC. R703.7.3
4. ALL WINDOWS, SLIDING GLASS DOORS, OR GLASS INSERTS IN DOORS SHALL BE CONSTRUCTED OR APPROVED DUAL PANE GLASS.
5. PROVIDE WINDOW OPENING CONTROL DEVICES FOR ALL OPERABLE WINDOWS WHERE THE SILL IS MORE THAN 72" ABOVE FINISHED GRADE OR SURFACE BELOW AND THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS BELOW 24" ABOVE FINISHED FLOOR SURFACE OF THE ROOM IN WHICH THE WINDOW IS LOCATED. CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090 AND SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW FOR EGRESS. (PER 2019 C.R.C. R312.2)
6. APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE BUILDING. EACH CHARACTER SHALL BE A MINIMUM 4 INCHES HIGH AND A MINIMUM OF 0.5 INCH WIDE. THEY SHALL BE ON A CONTRASTING BACKGROUND. 2019 C.R.C. SEC. R319.1
7. ALL STUCCO TRIM TO BE STUCCO O/ 1" THICK FOAM TRIM. TYPICAL U.N.O. USE HIGH DENSITY FOAM AT DOORS AND GARAGE DOORS.
8. NOT USED
9. PENETRATIONS OF FIRE RESISTIVE WALLS SHALL BE PROTECTED PER 2019 C.R.C. CHAPTER 3.
10. REFER TO ELECTRICAL DRAWINGS, MECHANICAL DRAWINGS, PLUMBING DRAWINGS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION AT RATED WALLS.
11. REFER TO DETAILS THROUGHOUT BUILDING PLANS FOR ADDITIONAL SOUND/FIRE RATED ASSEMBLIES.
12. FIRE RESISTIVE RATINGS SHALL BE MAINTAINED FOR SUCH WALLS PASSING THROUGH ATTIC AREAS AND OTHER AREAS CONTAINING CONCEALED SPACES PER 2019 C.R.C. CHAPTER 3
13. GUTTERS AND DOWNSPOUTS ARE DESIGNED TO SHED WATER TO LANDSCAPE AREA, U.N.O.
14. ALL ELECTRICAL ROOMS/UTILITY CLOSETS SHALL BE IDENTIFIED.
15. ANY ROOF GUTTERS AND AREA DRAIN INLETS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.

- NOTE:
ALL STUCCO TRIMS TO BE STUCCO O/ 1" THICK FOAM TRIM. U.N.O. USE HIGH DENSITY FOAM AT MAN DOORS AND GARAGE DOORS.
1. WINDOW TRIMS AT STUCCO TO BE PER DETAILS, U.N.O.

 2. RECESSED WINDOWS TO BE PER DETAILS:

 3. TRIMS AT SIDING TO BE 2X PER DETAIL:

 4. ALL FOAM TRIM AT ENTRY DOOR, WINDOWS NEAR ENTRY DOOR AND GARAGE DOORS SHALL BE HIGH DENSITY.

ELEVATION LEGEND

INDICATES RECESSED AREA

T.G. TEMPERED GLASS

KEYNOTE LEGEND

1. CLASS 'A' CONCRETE 'FLAT' ROOF TILE BY EAGLE
2. CLASS 'A' CONCRETE 'LOW PROFILE' ROOF TILE BY EAGLE
3. 2x8 WOOD BARGE BOARD
4. STUCCO FINISH
5. HARDIE TRIM AND PANEL VERTICAL SIDING, SPACE 18" O.C.
6. WOOD OUTLOOKER
7. 2x4 HARDIE TRIM
8. STUCCO O/ 1x4 FOAM TRIM
9. STUCCO O/ 1x6 FOAM TRIM
10. STUCCO O/ 2x4 FOAM TRIM
11. 2" STONE VENER
12. RECESSED AREA, SEE PLAN
13. FOAM SHUTTERS, SEE ELEVATIONS FOR SIZE
14. CONDENSER UNIT LOCATION, REFER TO CONSULTANT'S DWGS
15. 4" ADDRESS SIGN, SEE ELEVATION NOTE #6, TYP.
16. GUTTERS AND DOWNSPOUT
17. COORDINATED PER EXTERIOR ELEVATION COLOR SCHEMES
18. SECTIONAL GARAGE DOOR
19. STUCCO O/ FLAT 2x3 O/ 1x6 FOAM TRIM
20. STUCCO O/ 1x6 O/ FLAT 2x3 FOAM TRIM
21. EXTERIOR LIGHT FIXTURE, TO BE SELECTED BY OWNER, SEE ELECTRICAL DRAWINGS
22. WALL TRIM, SEE DETAILS
23. GABLE END VENT, SEE ELEVATIONS FOR SIZE
24. 6' HIGH WOOD FENCES BTWN. UNITS, REFER TO LANDSCAPE DWGS.
25. FOAM OUTLOOKER
26. 6x6 ACCENT TILES
27. CONCRETE PRECAST STONE
28. STUCCO O/ 3x6 FOAM TRIM
29. 24" ROUND RAIN BARREL WITH DOWNSPOUT
30. STUCCO O/ 3x3 O/ 1x4 FOAM TRIM
31. STUCCO O/ 2x SHAPED FOAM TRIM, SEE ELEV. FOR SIZE
32. EXPOSED RAFTER TAILS, SEE DETAIL 3/02

SPRUCE ROAD TOWNHOMES

CHULA VISTA, CALIFORNIA

GEORGIA PROPERTIES, INC.

1642 MYRA COURT

CHULA VISTA, CALIFORNIA 91911

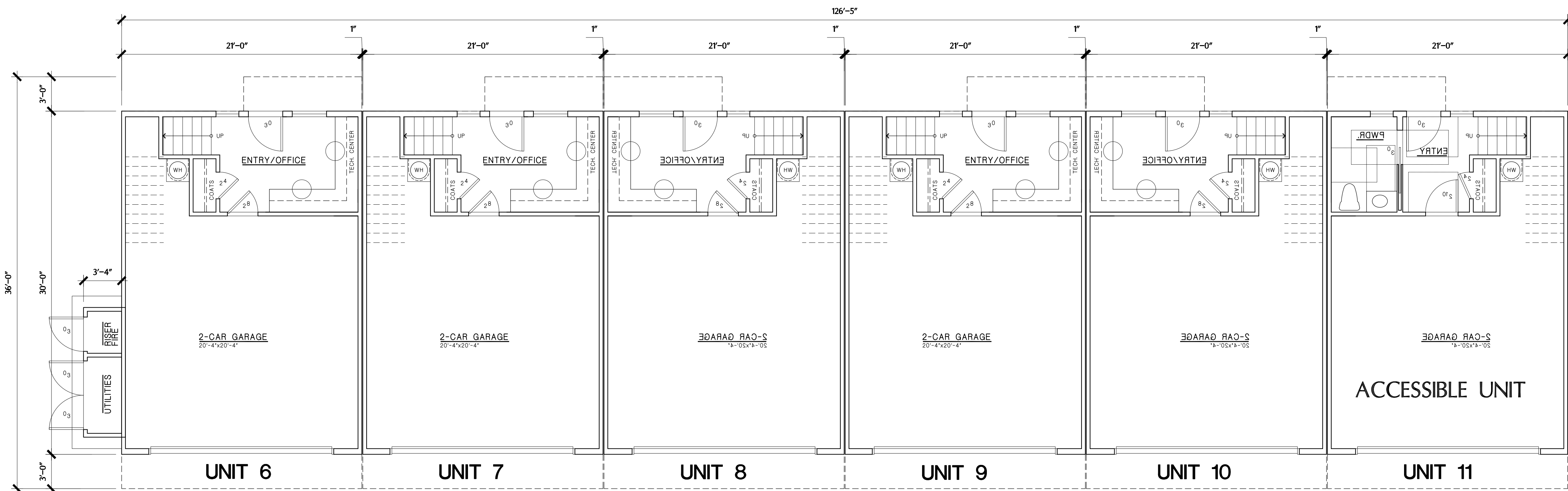
JOB NO.
21013

PLOT DATE
01/24/24

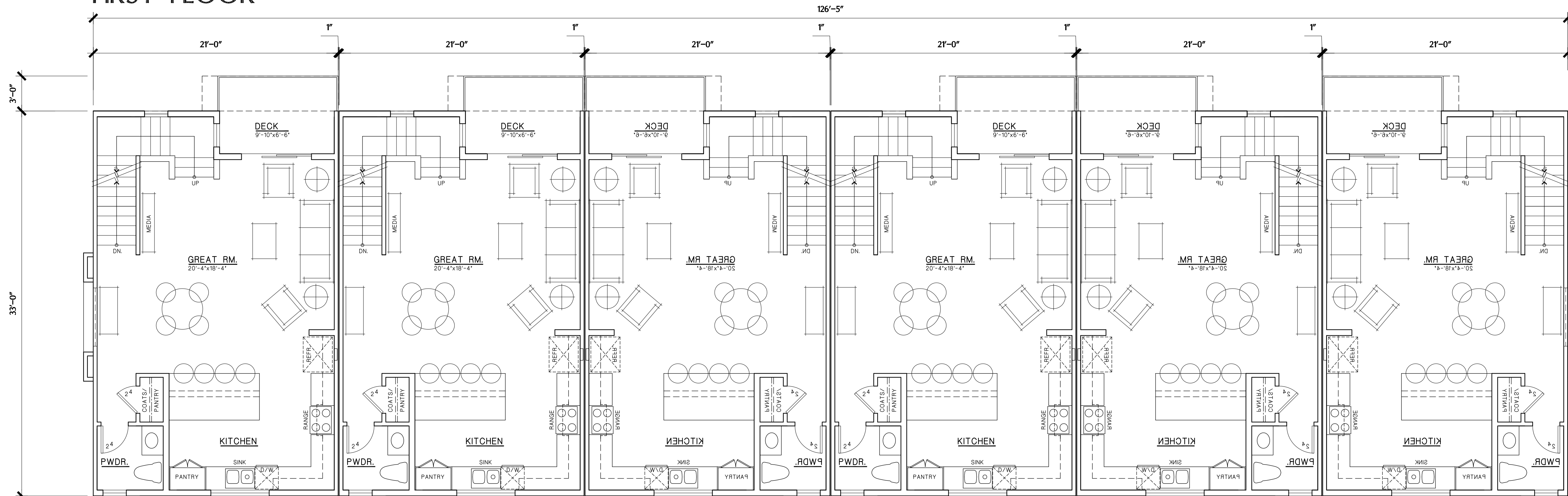
BUILDING TYPE I
BLDG. ELEV.

A1.3

SCALE 3/16"=1'-0"



FIRST FLOOR



SECOND FLOOR

REFER TO SHEET A11
FOR BUILDING PLAN NOTES.

BUILDING PLAN SYMBOLS LEGEND

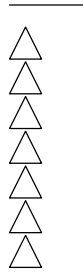
- 1 HOUR FIRE-RATED
WALL CONSTRUCTION
- DOWNSPOUT
LOCATION

BUILDING PLAN NOTES

- BUILDING PLANS ARE TO SHOW UNIT TO UNIT RELATIONSHIPS. REFER TO ENLARGED UNIT PLANS FOR LAYOUT AND PLAN SPECIFIC INFORMATION NOT SHOWN. WHEN CONFLICTS EXIST OR INFORMATION IS UNCLEAR, CONTRACTORS SHALL CONSULT THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION ACTIVITIES.
- ALL PARTY WALLS ARE SEPARATED BY A 2" (TWO INCH) AIR SPACE.
- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
- REFER TO LANDSCAPE PLANS FOR HARDSCAPE, LANDSCAPE PLANTERS AND DRAINAGE INFORMATION.
- ARCHITECT IS NOT RESPONSIBLE FOR ALL A.D.A REQUIREMENTS RELATING TO CIVIL ENGINEERING INCLUDING BUT NOT LIMITED TO SLOPE OF SIDEWALKS FOR HANDICAP ACCESSIBILITY.
- REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE INFORMATION.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR HORIZONTAL AND VERTICAL CONTROL. DIMENSIONS SHOWN ON ARCHITECTURAL SITE PLAN ARE FOR REFERENCE ONLY.
- REFER TO CIVIL DRAWINGS FOR PRECISE LOCATIONS OF ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED.
- PROJECTIONS MAY NOT EXTEND MORE THAN 12 INCHES INTO AREAS WHERE OPENINGS ARE NOT ALLOWED.
- PENETRATIONS OF FIRE RESISTIVE WALLS SHALL BE PROTECTED PER 2019 C.R.C. R302.4.
- FIRE RESISTIVE RATINGS SHALL BE MAINTAINED FOR SUCH WALLS PASSING THROUGH ATTIC AREAS AND OTHER AREAS CONTAINING CONCEALED SPACES PER 2019 C.R.C. CHAPTER 3
- DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILINGS AND SHALL BE ABOVE AND IN LINE WITH WALLS SEPARATING UNITS FROM EACH OTHER AND FROM OTHER USES. 2019 C.R.C. R302.12
- DRAFT STOPS SHALL BE INSTALLED IN ATTICS, MANSARDS, OVERHANGS AND SIMILAR CONCEALED SPACES AND SHALL BE ABOVE AND IN LINE WITH WALLS SEPARATING UNITS FROM EACH OTHER AND FROM OTHER USES. 2019 C.R.C. R302.12
- NOT USED
- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL INFORMATION. ANY INFORMATION SHOWN ON ARCHITECTURAL PLANS ARE FOR REFERENCE ONLY.
- REFER TO MECHANICAL DRAWINGS FOR MECHANICAL INFORMATION. ANY INFORMATION SHOWN ON ARCHITECTURAL PLANS ARE FOR REFERENCE ONLY.
- REFER TO PLUMBING DRAWINGS FOR PLUMBING INFORMATION. ANY INFORMATION SHOWN ON ARCHITECTURAL PLANS ARE FOR REFERENCE ONLY.
- REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL INFORMATION. ANY INFORMATION SHOWN ON ARCHITECTURAL PLANS ARE FOR REFERENCE ONLY.
- REFER TO FIRE SPRINKLER DRAWINGS FOR INFORMATION ON FIRE SPRINKLER SYSTEM REQUIREMENTS.

SPRUCE ROAD TOWNHOMES
CHULA VISTA, CALIFORNIA

GEORGIA PROPERTIES, INC.
1642 MYRA COURT
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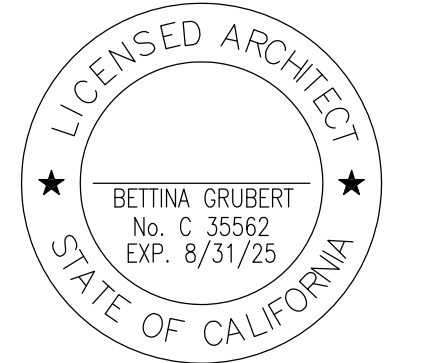
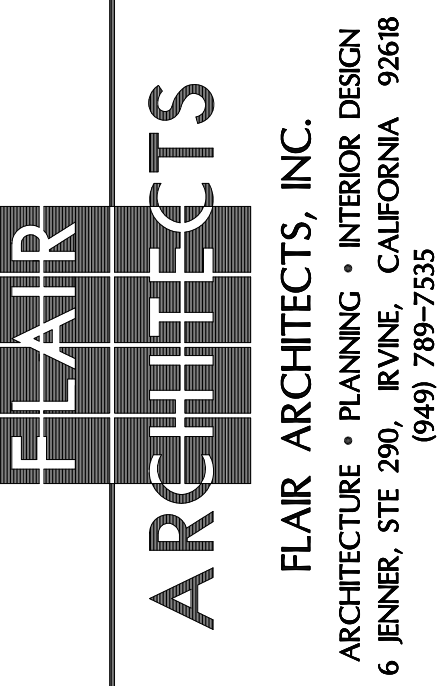


JOB NO.
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BUILDING TYPE II
BLDG. PLANS

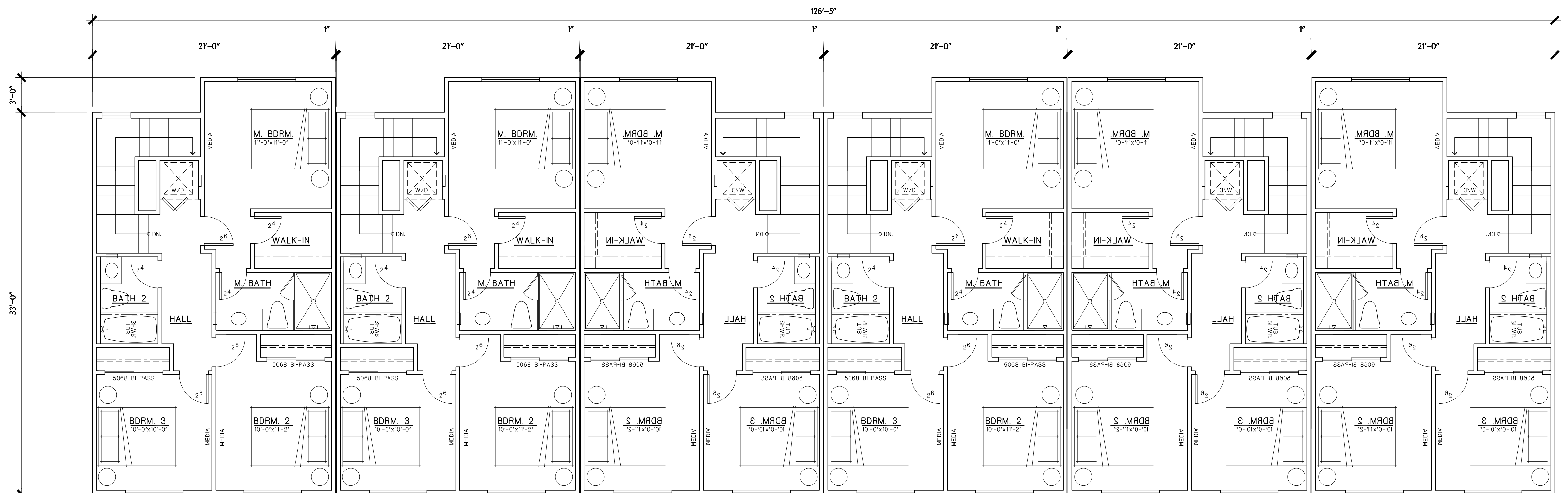
A2.1



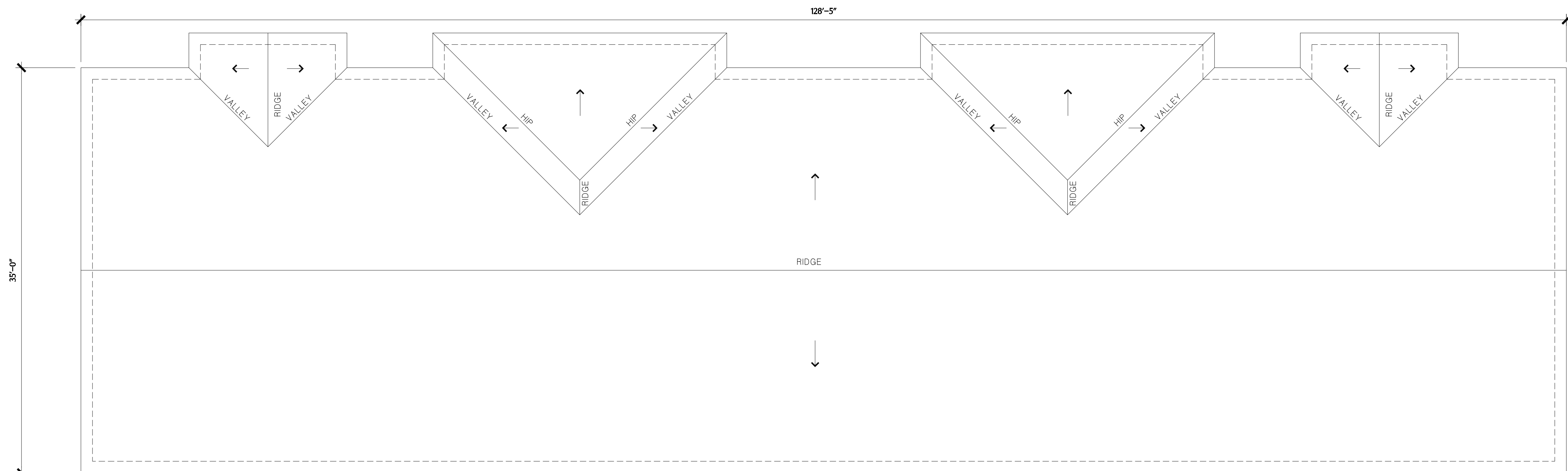
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BUILDING 2 - 6-PLEX BUILDING TYPE II - BUILDING PLANS

SCALE 3/16"=1'-0"



THIRD FLOOR



ROOF PLAN

ROOF PLAN NOTES

- SEE SHEET GN-1 FOR ROOF NOTES.
- ROOF SLOPE IS 4:12, UNO.
- OVERHANGS: 12" AT EAVE CONDITIONS. (UNLESS NOTED OTHERWISE) 12" AT RAKE CONDITIONS. (UNLESS NOTED OTHERWISE)
- CLASS A CONCRETE EAGLE ROOF TILE, ICC-ES ESR 1900, TYP. FLAT TILE FOR A-ELEVATIONS. LOW PROFILE FOR B- AND C-ELEVATIONS.
- PROVIDE ATTIC & SOFFIT VENTILATION AS PER C.R.C. SEC. R806.2
- REFER TO THE EAVE DETAILS, ON SHEET D-2 FOR EAVE BLOCK VENTS. SEE DETAIL 15/D2
- PROVIDE O'HAGIN VENTS MODEL 'FLAT' TILE FOR A-ELEVATIONS. MODEL 'LOW PROFILE' TILE FOR B- AND C-ELEVATIONS. SEE DETAILS 13/D2 AND 14/D2
- THE GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENT PRODUCT SELECTED AGAINST THOSE NOTED IN THE ATTIC VENTILATION CALCULATIONS. THE REQUIRED VENTILATION SHALL BE MAINTAINED.
- PROVIDE INSULATION STOPS SUCH THAT INSULATION DOES NOT OBSTRUCT FREE AIR MOVEMENT AS REQUIRED.
- GALVANIZED SHEET METAL DORMER VENTS SHALL BE LOW PROFILE AND PAINTED TO MATCH THE ROOF.
- LOUVERS, VENTILATORS, OR OPENINGS IN WALLS, ROOFS, ATTICS, AND UNDER FLOOR AREAS HAVING HEADROOM LESS THAN FOUR (4) FEET IN HEIGHT WHICH ARE NOT FITTED WITH SASH OR DOORS, SHALL BE COVERED WITH WIRE SCREEN. THE SCREEN COVERING SUCH OPENINGS SHALL BE GALVANIZED METAL OR COPPER AND SHALL HAVE A MAXIMUM MESH OF ONE-QUARTER INCH (1/4").
- PROVIDE A CLASS I OR II VAPOR RETARDER INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. (C.R.C. SEC. R806.2).

ATTIC VENT CALCULATIONS PLAN 1

AREA 1:		1104 SQ. FT.
ATTIC AREA:		530 SQ. IN. (@ 1/300)
VENT AREA REQUIRED:		265 SQ. IN.
REQUIRED AT UPPER 1/3 OF ROOF:		292.5 SQ. IN.
(3) O'HAGIN VENTS MODEL 'LOW PROFILE' TILE @ 97.5 SQ. IN. EACH NET FREE OR MODEL 'FLAT' TILE @ 98.75 SQ. IN. EACH NET FREE AREA WITH INSECT SCREEN		292.5 SQ. IN.
PROPOSED VENT AREA AT UPPER 1/3 OF ROOF:		265 SQ. IN.
REQUIRED AT LOWER 1/3 OF ROOF:		305 SQ. IN.
(5) EAVE BLOCK VENTS @ 61 SQ. IN. EACH NET FREE VENT AREA		305 SQ. IN.
PROPOSED VENT AREA AT LOWER 1/3 OF ROOF:		597.5 SQ. IN.
TOTAL VENT AREA PROPOSED:		597.5 SQ. IN.

ATTIC VENT CALCULATIONS PLAN 2

AREA 2:		1336 SQ. FT.
ATTIC AREA:		641 SQ. IN. (@ 1/300)
VENT AREA REQUIRED:		321 SQ. IN.
REQUIRED AT UPPER 1/3 OF ROOF:		328 SQ. IN.
(2) 14"x30" GABLE END VENTS @ 164 SQ. IN. EACH NET FREE AREA WITH INSECT SCREEN		328 SQ. IN.
PROPOSED VENT AREA AT UPPER 1/3 OF ROOF:		321 SQ. IN.
REQUIRED AT LOWER 1/3 OF ROOF:		244 SQ. IN.
(4) EAVE BLOCK VENTS @ 61 SQ. IN. EACH NET FREE VENT AREA		244 SQ. IN.
(1) O'HAGIN VENTS MODEL 'LOW PROFILE' TILE @ 97.5 SQ. IN. EACH NET FREE OR MODEL 'FLAT' TILE @ 98.75 SQ. IN. EACH NET FREE AREA WITH INSECT SCREEN		97.5 SQ. IN.
PROPOSED VENT AREA AT LOWER 1/3 OF ROOF:		341.5 SQ. IN.
TOTAL VENT AREA PROPOSED:		669.5 SQ. IN.

ROOF PLAN SYMBOLS LEGEND

- INDICATES DIRECTION OF SLOPE TO DRAIN
- DOWNSPOUT LOCATION
- ===== 1 HOUR FIRE-RATED WALL CONSTRUCTION

SPRUCE ROAD TOWNHOMES

CHULA VISTA, CALIFORNIA

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1642 MYRA COURT

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JOB NO. 21013

PLOT DATE 01/24/24

BUILDING TYPE II BLDG. PLANS

A2.2

CONCRETE LOW PROFILE ROOF

STUCCO O/ FOAM TRIM

DECORATIVE CLAY PIPES

FOAM SHUTTERS

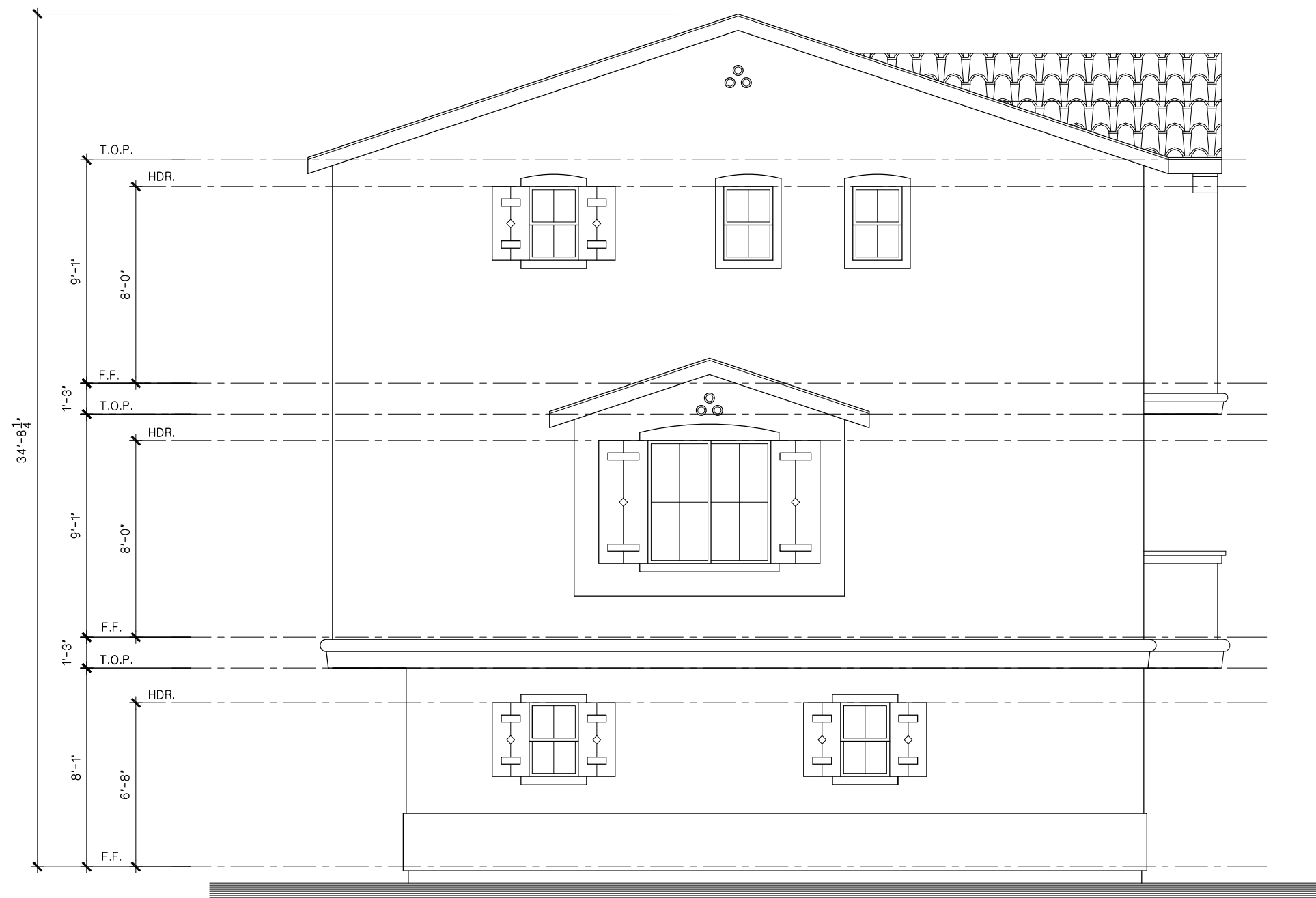
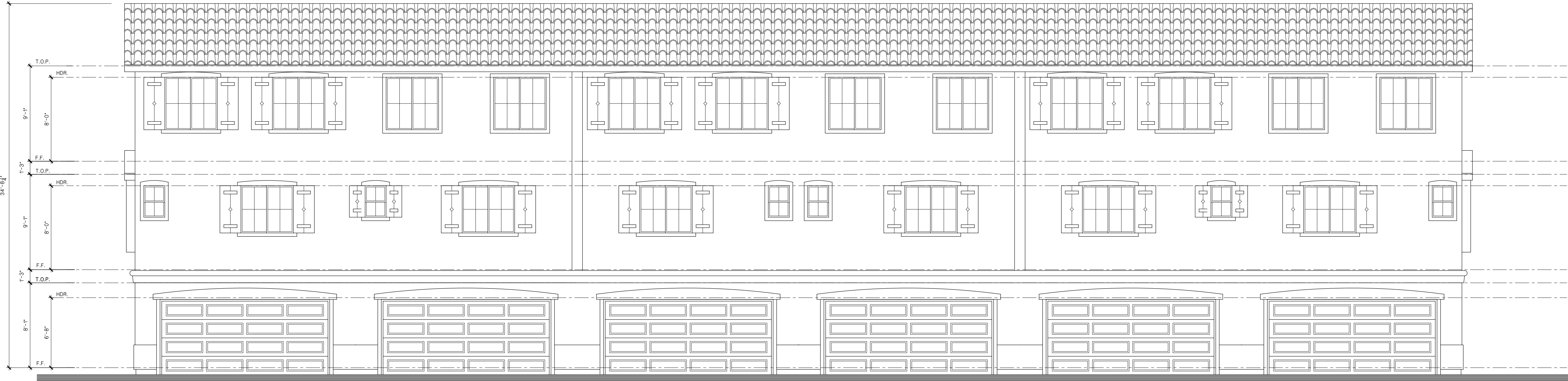
STUCCO FINISH

STUCCO FURRING

ALL WINDOWS AND DOORS ARE TO HAVE AN STC 30 MINIMUM RATING PER ACOUSTICAL REPORT. REFER TO COVER SHEET.

REFER TO OTHER ELEVATION SHEET FOR ANY MISSING KEYNOTE & DETAIL CALLOUTS.

SEE CIVIL DRAWINGS FOR INFORMATION ON GRADE CHANGES.



BUILDING 2 - 6-PLEX

BUILDING TYPE II - BUILDING ELEVATIONS

ELEVATION NOTES

1. REFER TO OPENING FLASHING DETAIL 2/03 FOR MINIMUM FLASHING REQUIREMENTS FOR MANUFACTURED WINDOWS AND SLIDING GLASS DOORS. WOOD FRAMED DOORS (I.E. ENTRY DOORS, GARAGE MAN DOORS, AND FRENCH DOORS) SHALL BE INSTALLED IN SIMILAR CONFORMANCE.
2. FINISH GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.
3. TWO LAYERS OF GRADE D PAPER REQUIRED UNDER STUCCO APPLIED OVER WOOD SHEATHING (SHEAR WALLS).
4. ALL WINDOWS, SLIDING GLASS DOORS, OR GLASS INSERTS IN DOORS SHALL BE CONSTRUCTED OR APPROVED DUAL PANE GLASS.
5. PROVIDE WINDOW OPENING CONTROL DEVICES FOR ALL OPERABLE WINDOWS WHERE THE SILL IS MORE THAN 72" ABOVE FINISHED GRADE OR SURFACE BELOW AND THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS BELOW 24" ABOVE FINISHED FLOOR SURFACE OF THE ROOM IN WHICH THE WINDOW IS LOCATED. CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090 AND SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW FOR EGRESS. (PER 2019 C.R.C. R312.2)
6. APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE BUILDING. EACH CHARACTER SHALL BE A MINIMUM 4 INCHES HIGH AND A MINIMUM OF 0.5 INCH WIDE. THEY SHALL BE ON A CONTRASTING BACKGROUND. 2019 C.R.C. SEC. R319.1
7. ALL STUCCO TRIM TO BE STUCCO O/ 1" THICK FOAM TRIM. UNO. USE HIGH DENSITY FOAM AT DOORS AND GARAGE DOORS.
8. NOT USED
9. PENETRATIONS OF FIRE RESISTIVE WALLS SHALL BE PROTECTED PER 2019 C.R.C. CHAPTER 3.
10. REFER TO ELECTRICAL DRAWINGS, MECHANICAL DRAWINGS, PLUMBING DRAWINGS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION AT RATED WALLS.
11. REFER TO DETAILS THROUGHOUT BUILDING PLANS FOR ADDITIONAL SOUND/FIRE RATED ASSEMBLIES.
12. FIRE RESISTIVE RATINGS SHALL BE MAINTAINED FOR SUCH WALLS PASSING THROUGH ATTIC AREAS AND OTHER AREAS CONTAINING CONCEALED SPACES PER 2019 C.R.C. CHAPTER 3
13. GUTTERS AND DOWNSPOUTS ARE DESIGNED TO SHED WATER TO LANDSCAPE AREA, UNO.
14. ALL ELECTRICAL ROOMS/UTILITY CLOSETS SHALL BE IDENTIFIED.
15. ANY ROOF GUTTERS AND AREA DRAIN INLETS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.

- NOTE:
ALL STUCCO TRIMS TO BE STUCCO O/ 1" THICK FOAM TRIM. UNO. USE HIGH DENSITY FOAM AT MAN DOORS AND GARAGE DOORS.
1. WINDOW TRIMS AT STUCCO TO BE PER DETAILS, UNO:

6	7	8
DS	DS	DS
 2. RECESSED WINDOWS TO BE PER DETAILS:

16	17	18	19
DS	DS	DS	DS
 3. TRIMS AT SIDING TO BE 2X PER DETAIL:

13
D4
 4. ALL FOAM TRIM AT ENTRY DOOR, WINDOWS NEAR ENTRY DOOR AND GARAGE DOORS SHALL BE HIGH DENSITY.

ELEVATION LEGEND

INDICATES RECESSED AREA

T.G. TEMPERED GLASS

KEYNOTE LEGEND

1. CLASS 'A' CONCRETE 'FLAT' ROOF TILE BY EAGLE
2. CLASS 'A' CONCRETE 'LOW PROFILE' ROOF TILE BY EAGLE
3. 2x8 WOOD BARGE BOARD
4. STUCCO FINISH
5. HARDIE TRIM AND PANEL VERTICAL SIDING, SPACE 18" O.C.
6. WOOD OUTLOOKER
7. 2x4 HARDIE TRIM
8. STUCCO O/ 1x4 FOAM TRIM
9. STUCCO O/ 1x6 FOAM TRIM
10. STUCCO O/ 2x4 FOAM TRIM
11. 2" STONE VENEER
12. RECESSED AREA, SEE PLAN
13. FOAM SHUTTERS, SEE ELEVATIONS FOR SIZE
14. CONDENSER UNIT LOCATION, REFER TO CONSULTANT'S DWGS
15. 4" ADDRESS SIGN, SEE ELEVATION NOTE #6, TYP.
16. GUTTERS AND DOWNSPOUT
17. -COORDINATED PER EXTERIOR ELEVATION COLOR SCHEMES
18. SECTIONAL GARAGE DOOR
19. STUCCO O/ FLAT 2x3 O/ 1x6 FOAM TRIM
20. STUCCO O/ 1x6 O/ FLAT 2x3 FOAM TRIM
21. EXTERIOR LIGHT FIXTURE, TO BE SELECTED BY OWNER, SEE ELECTRICAL DRAWINGS
22. WALL TRIM, SEE DETAILS
23. GABLE END VENT, SEE ELEVATIONS FOR SIZE
24. 6' HIGH WOOD FENCES BTWN. UNITS, REFER TO LANDSCAPE DWGS.
25. FOAM OUTLOOKER
26. 6x6 ACCENT TILES
27. CONCRETE PRECAST STONE
28. STUCCO O/ 3x6 FOAM TRIM
29. 24" ROUND RAIN BARREL WITH DOWNSPOUT
30. STUCCO O/ 3x3 O/ 1x4 FOAM TRIM
31. STUCCO O/ 2x SHAPED FOAM TRIM, SEE ELEV. FOR SIZE
32. EXPOSED RAFTER TAILS, SEE DETAIL 3/02

SPRUCE ROAD TOWNHOMES

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BUILDING TYPE II
BLDG. ELEV.

A2.3

SCALE 3/16"=1'-0"