

**NOTE:**  
 ALL INTERIOR WALL SECTIONS TO BE REMOVED FOR NEW INTERIOR BUILD-OUT. EXISTING DOORS & WINDOWS TO BE REMOVED & REPLACED, AS REQUIRED, FIELD VERIFY. EXISTING DOOR & WINDOW OPENINGS TO BE MODIFIED OR ADJUSTED, AS REQUIRED. SEE TYPICAL DOOR & WINDOW OPENING DETAILS

**General Construction Notes:**  
 CONTRACTOR TO VERIFY ALL DIMENSIONS, SPECIFICATIONS, CONDITIONS & PROPERTY SETBACKS PRIOR TO CONSTRUCTION  
 ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL BUILDING CODES & ORDINANCES AS WELL AS ESTABLISHED BUILDING PRACTICES  
 ALL MATERIALS BELOW B.F.E MUST BE WATER RESISTANT, P.T. LUMBER & DUROCK DRYWALL, TYP. PER FBC - 2023 8TH EDITION 322.1.8.  
 PLUMBING CONTRACTOR TO VERIFY ALL DIMENSIONS FOR FIXTURES & STUB-OUTS

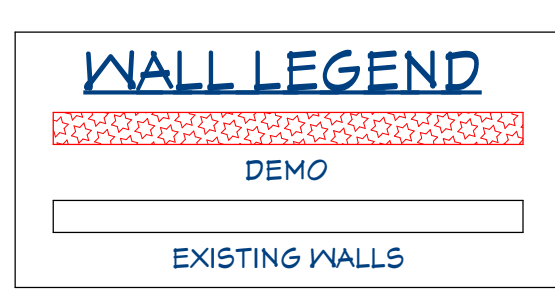
- DESIGN CRITERIA:**
- ALL CONSTRUCTION TO BE IN CONFORMANCE w/ FBC 2023 8th EDITION, FOR RISK FACTOR II PER SECTION 1604
  - EXPOSURE "B"
  - VULT = 150 MPH
  - VASD = 116 MPH
  - VULT DESIGN PRESSURE = psf
- |           |            |            |
|-----------|------------|------------|
| Walls     | Internal + | Internal - |
| Windward  | 21.1       | 35.7       |
| Leeward   | -25.0      | -10.3      |
| Side wall | -32.3      | -17.1      |
| Roof      |            |            |
| Leeward   | -32.3      | -17.1      |
| Windward  | -28.4      | -13.7      |
| Parallel  | -53.4      | -38.7      |
- DESIGN AS ENCLOSED
  - FLOOD ZONE: X
  - LOADS:
  - FLOOR:
  - LL: 45 PSF
  - DL: 10 PSF
  - ROOF:
  - LL: 45 PSF
  - DL: 10 PSF
  - DESIGN METHOD: ASD
  - LEVEL OF CORROSION RESISTANCE
  - MEDIUM (ALL EXPOSURE COMPONENTS MUST BE GALVANIZED MIN.)
  - REFERENCED STANDARDS
  - 2023 FLORIDA BUILDING CODE
  - 2023 FLORIDA MECHANICAL CODE
  - 2023 FLORIDA PLUMBING CODE
  - 2023 FLORIDA ENERGY CODE
  - AGI 318-19
  - ANSI/APA NDS - 2018 & SUPPLEMENT
  - ASCE 360-16
  - ASCE/SEI T-22
  - NFPA 70 - NEC 2020
  - NFPA 101 - 2021 (IF APPLICABLE)

- SCOPE OF WORK:**  
 COMMERCIAL UNIT BUILT-OUT: (REMOVE EXISTING DOORS, WINDOWS, WALL SECTIONS, & FIXTURES. NEW DOORS & WINDOWS, NEW WALL SECTIONS, NEW FIXTURES, NEW COLUMNS & BEAMS)
- DEMO:**
- REMOVED EXISTING DOORS, WINDOWS, WALL SECTIONS, & FIXTURES AS SHOWN
- CONSTRUCTION:**
- NEW DOORS & WINDOWS AS SHOWN
  - NEW WALL SECTIONS AS SHOWN
  - NEW COLUMNS & BEAMS AS SHOWN
- ELECTRICAL:**
- NEW ELECTRICAL AS SHOWN
  - EXTEND OR MODIFY EXISTING ELECTRICAL TO ACCOMMODATE NEW WALL LOCATIONS
- A/C, MECHANICAL:**
- NEW A/C SYSTEM AS REQUIRED
  - NEW DUCTWORK SYSTEM AS SHOWN
- GAS:**
- NO WORK
- PLUMBING:**
- NEW FIXTURES AS SHOWN
  - ROUT NEW PLUMBING LINES FROM EXISTING AS REQUIRED



LOCATION

**EXISTING / DEMO FLOOR PLAN**  
 SCALE 3/16" = 1'



**PROJECT SUMMARY**

- OCCUPANCY CLASSIFICATION = BUSINESS - GROUP B TRAINING & SKILL DEVELOPMENT
- COMMERCIAL STRUCTURE - BUILD-OUT
- BUILDING TYPE: UN-SPRINKLED, TYPE II B
- UNIT AREA = 9,913 SQ. FT.
- OCCUPANCY LOADING = 25 (SEE OCCUPANCY LOADING PLAN)
- RESTROOMS: (1) PER 500 PERSONS = 1 ACTUAL = 2 UNISEX ADA = (1) LAVATORIES, (1) WATER CLOSET
- EGRESS REQUIREMENTS: UN-SPRINKLED

EGRESS TRAVEL EXITS	REQUIREMENTS	ACTUAL
	100' MAX	111'
	2	2

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- NOTE:**
- FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
  - ALL DAMAGED COMPONENTS TO BE REMOVED AND REPAIRED OR UPGRADED PER DETAILS AND NOTES, TO CODE
  - PROVIDE TEMPORARY SUPPORT FOR BUILDING COMPONENTS UNTIL WORK IS COMPLETED (AS REQUIRED)
  - IF ANY EXISTING DIFFERENT CONDITION IS FOUND DURING CONSTRUCTION CONTACT R&S ENGINEERING FOR FURTHER INSTRUCTIONS

DATE:	JUNE 9, 2024
PROJECT STATUS:	PRELIMINARY
DRAWN BY:	ALBERT V.
JOB #:	25070
SHEET:	A1

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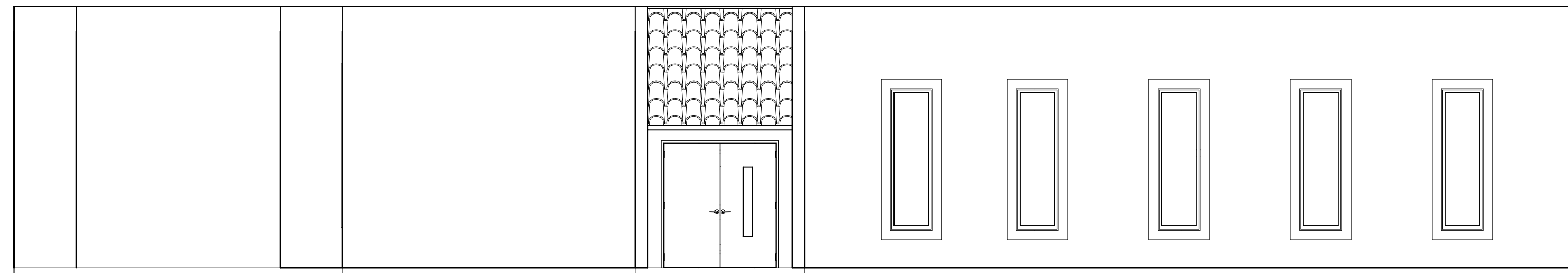
**PROFESSIONAL ENGINEERING SERVICES, LLC**  
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 PH: 941-417-2034 E-MAIL: FED@PEDFL.COM  
 LUIS A. ROSARIO, P.E. FL# 61820

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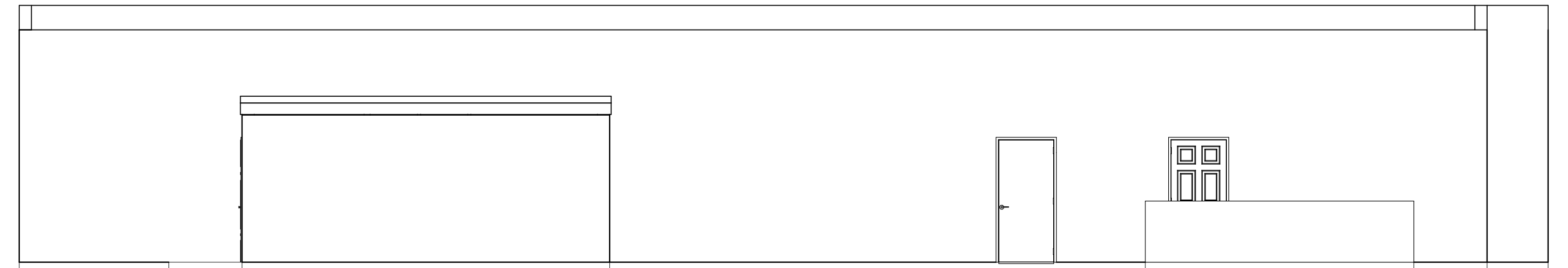
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WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THESE DRAWINGS TO AVOID MISTAKES, AND INCLUDE ALL DETAILS AND PERTINENT INFORMATION, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR MUST VERIFY ALL DIMENSIONS, DETAILS, AND INFORMATION PROVIDED IN THESE DRAWINGS. CONTRACTOR SHALL CONTACT THE EOR, IN WRITING FOR ANY OMISSIONS, OR DISCREPANCIES ON THE DRAWING PRIOR TO THE COMMENCEMENT OF ANY WORK.



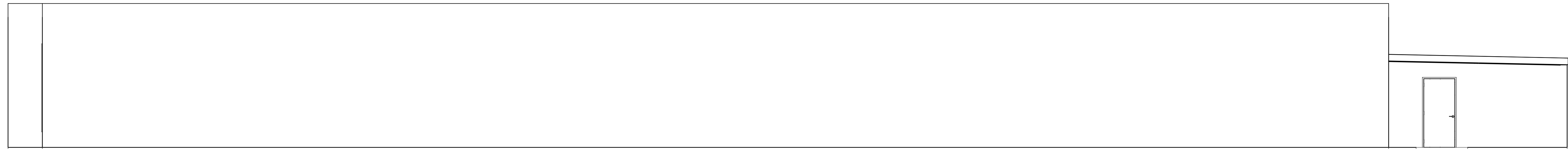
EXISTING EXTERIOR ELEVATION FRONT VIEW

SCALE 3/16" = 1'



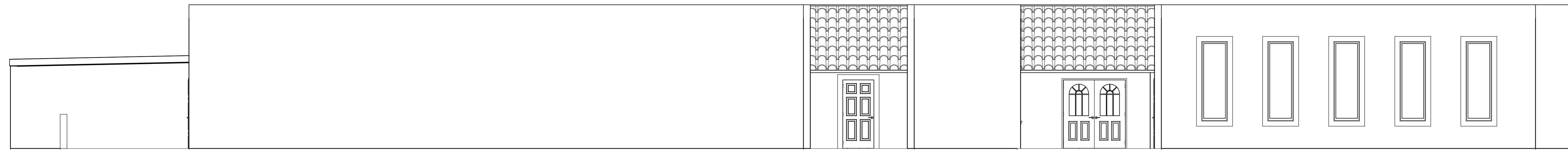
EXISTING EXTERIOR ELEVATION REAR VIEW

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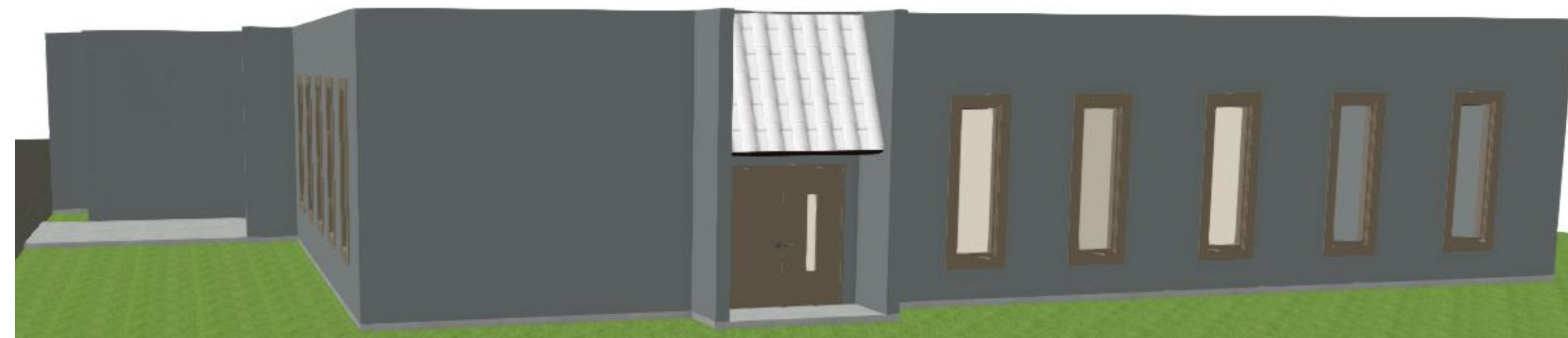
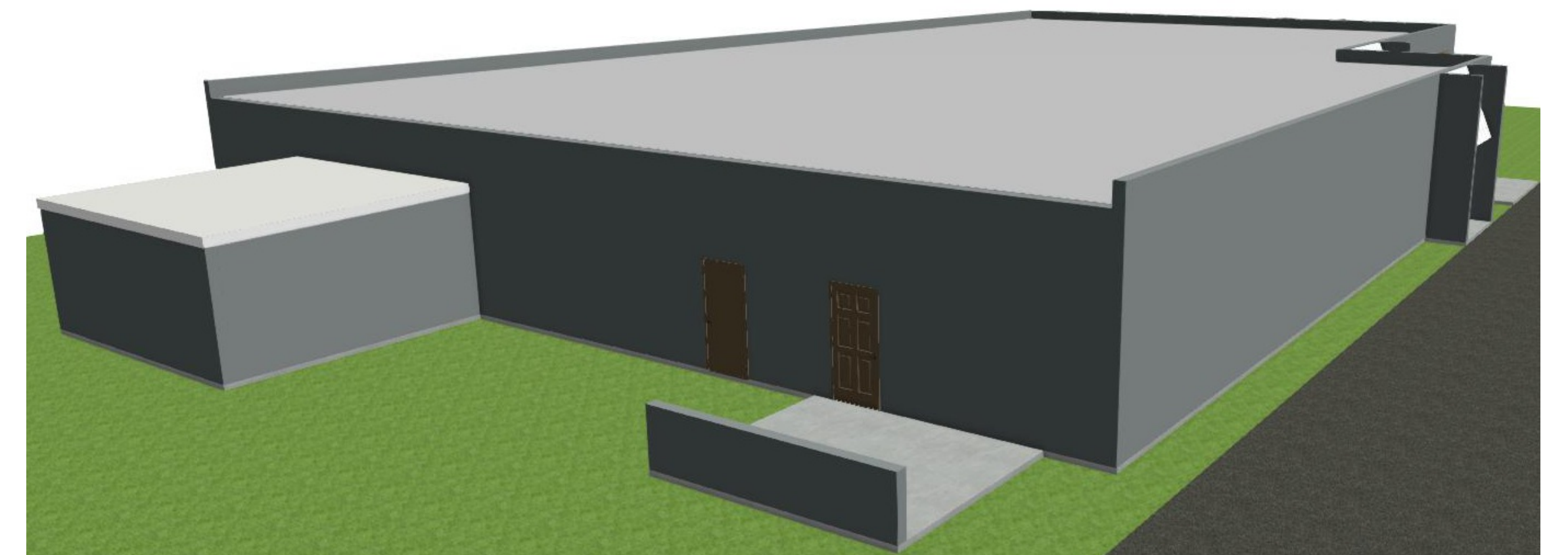
EXISTING EXTERIOR ELEVATION RIGHT VIEW

SCALE 3/16" = 1'



EXISTING EXTERIOR ELEVATION LEFT VIEW

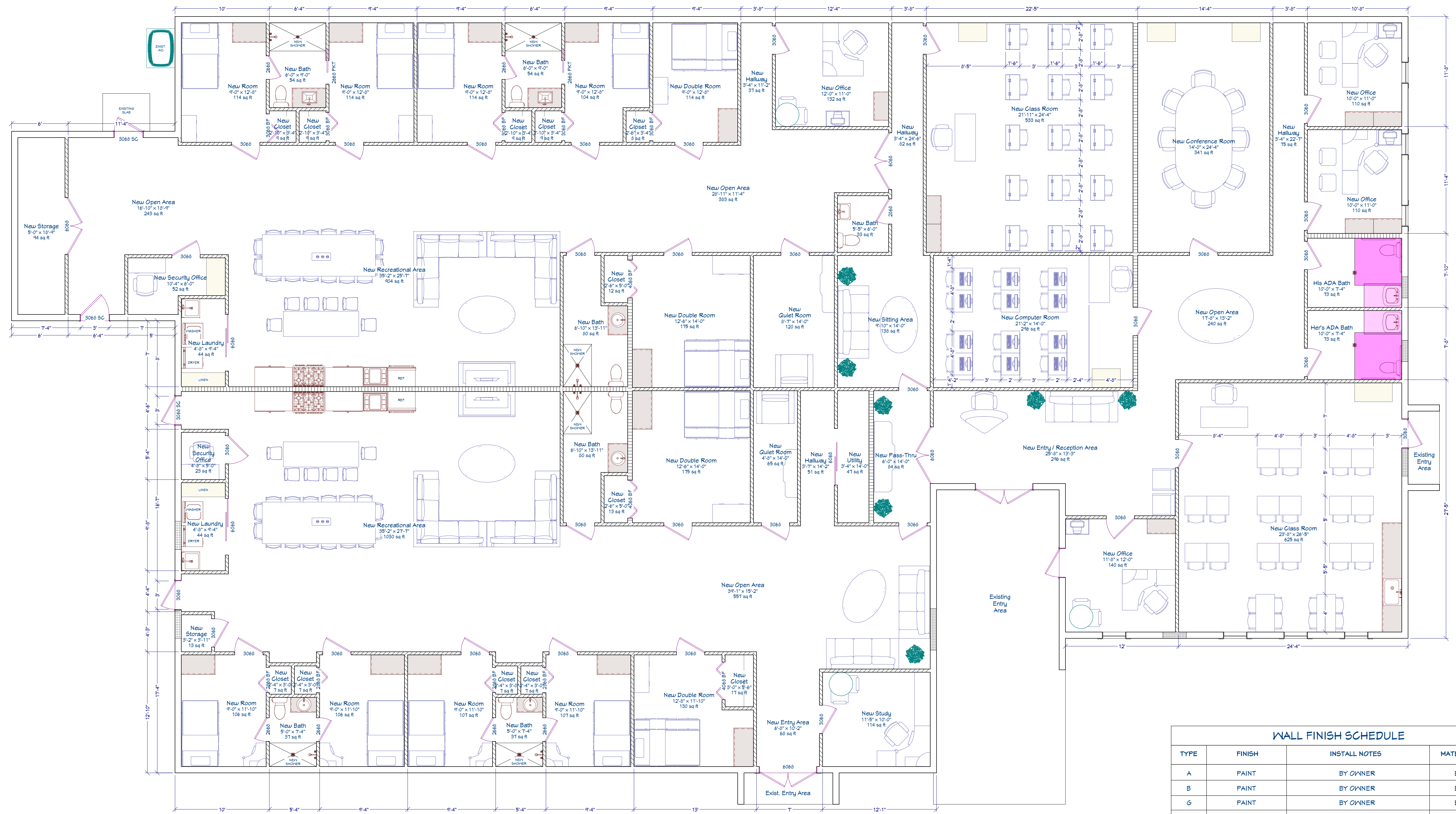
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EXISTING EXTERIOR ISOMETRIC VIEWS

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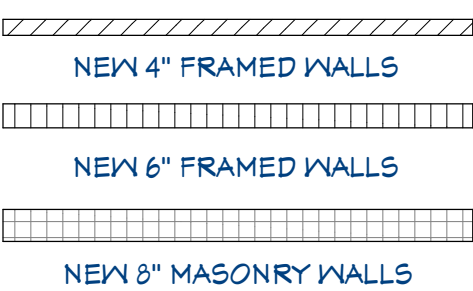
**PROPOSED FLOOR PLAN**

SCALE 3/16" = 1'

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**WALL LEGEND**



**WINDOW / DOOR WIND PRESSURES:**

0 SQ. FT. - 14 SQ. FT.	=	+33.2 PSF, -35.9 PSF
20 SQ. FT. - 44 SQ. FT.	=	+31.7 PSF, -34.5 PSF
50 SQ. FT. - 99 SQ. FT.	=	+24.6 PSF, -32.5 PSF
100 SQ. FT. +	=	+20.2 PSF, -30.9 PSF

**WALL FINISH SCHEDULE**

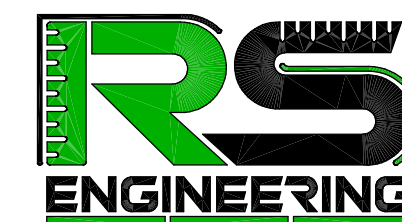
TYPE	FINISH	INSTALL NOTES	MATERIAL NOTES
A	PAINT	BY OWNER	BY OWNER
B	PAINT	BY OWNER	BY OWNER
G	PAINT	BY OWNER	BY OWNER
Q	DECORATIVE BRICK	BY MANUFACTURERS SPECIFICATIONS	BY OWNER

\*NOTE  
 \*Walls shall meet interior wall finish requirements, Per Class A, Class B, or Class C in assembly areas having an occupant load of 300 or fewer. (NFPA 101 2015ed Section 12.3.3.3)

**NOTE:**  
 FABRICS AND FILMS USED FOR DECORATIVE PURPOSES, ALL DRAPERIES AND CURTAINS, AND SIMILAR FURNISHINGS SHALL BE IN ACCORDANCE WITH NFPA 101 SECTION 10.3.1

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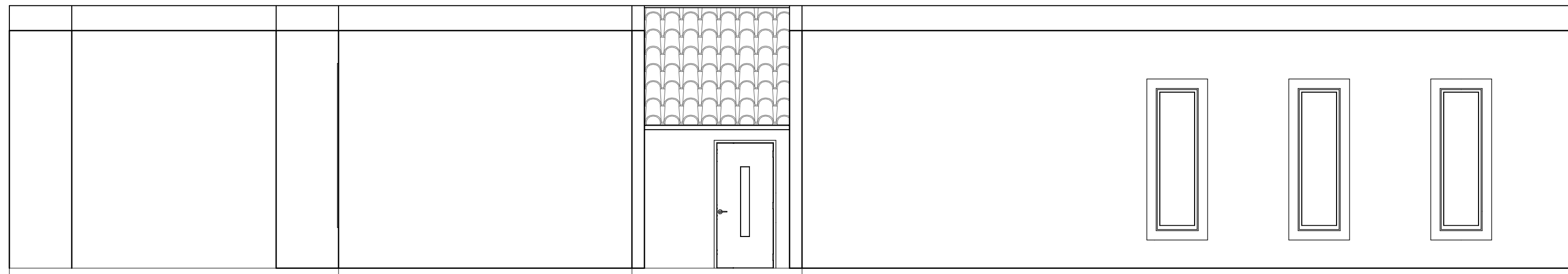
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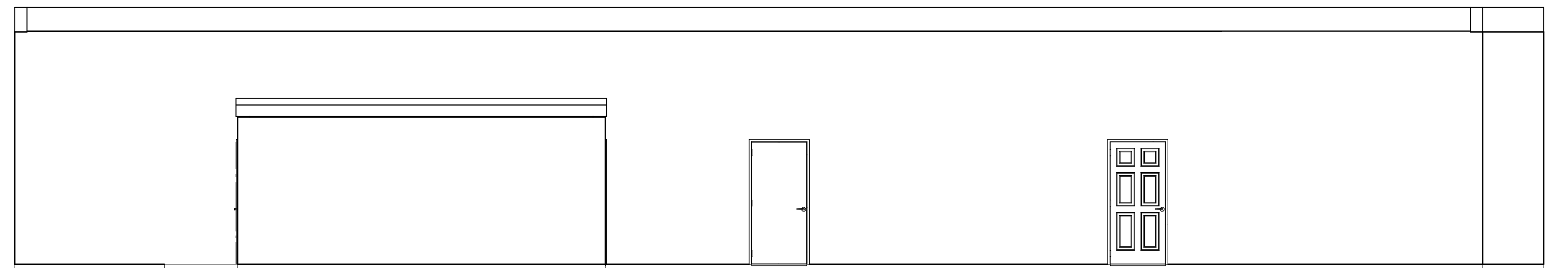
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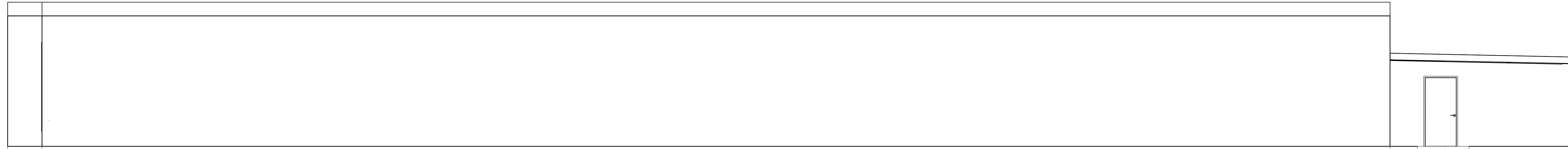
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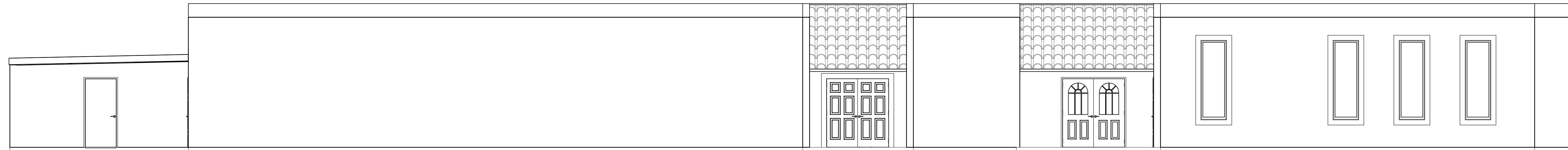
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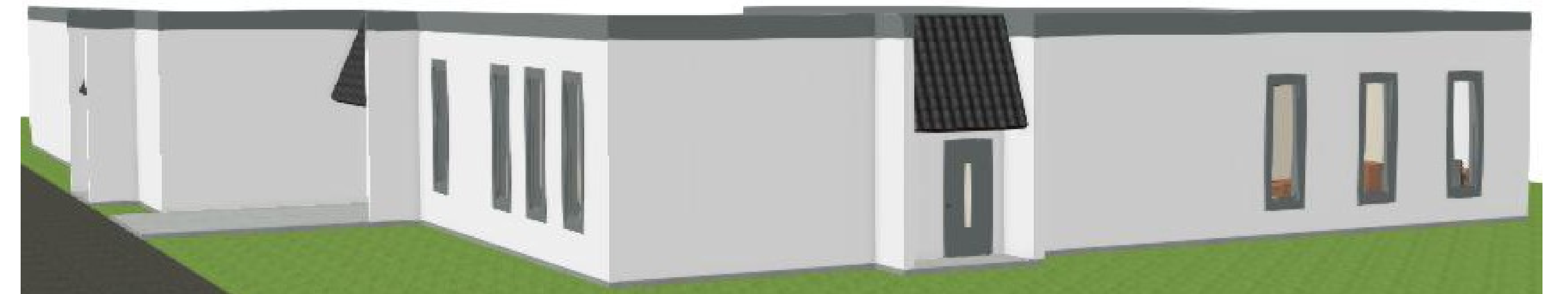
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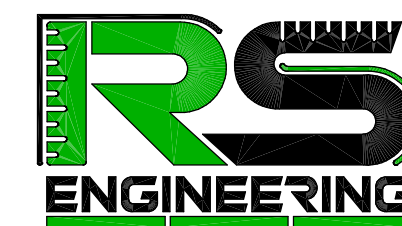
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