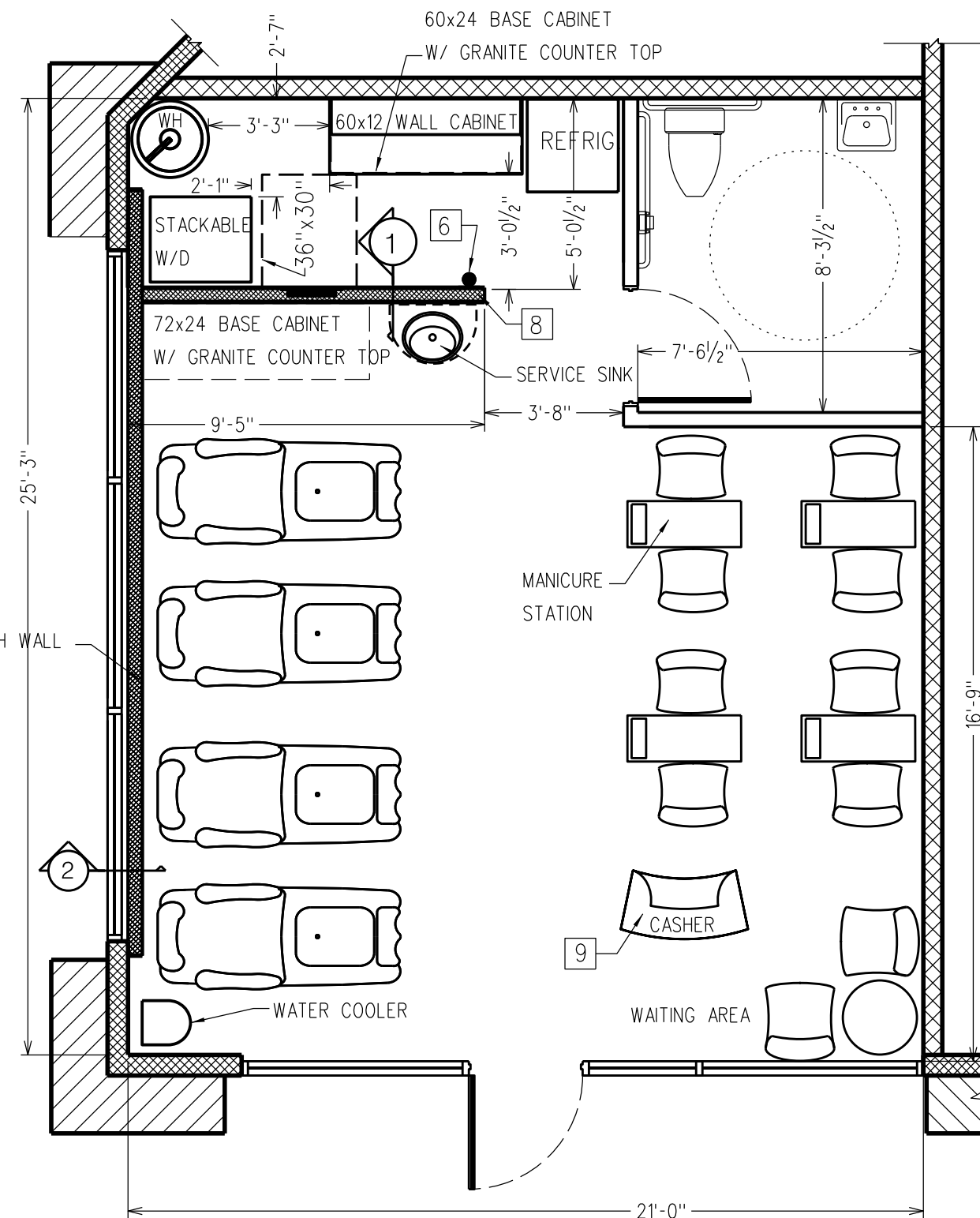


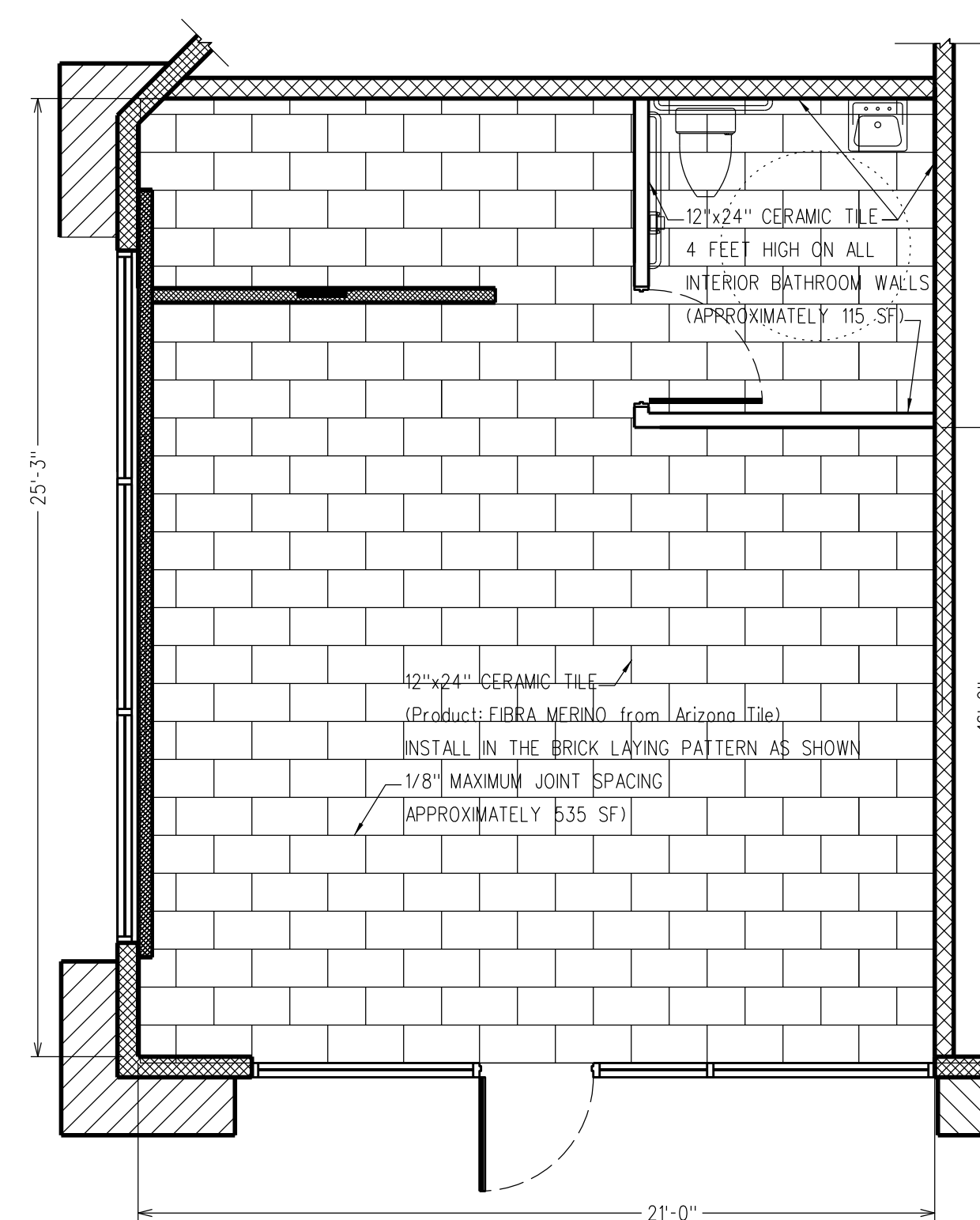
EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"



TILE LAYOUT PLAN

SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. EXISTING HVAC SYSTEM TO BE REMAIN, NO NEW WORK
2. ALL ROOF TOP ELECTRICAL IS EXISTING AND TO BE REMAIN, NO NEW WORK
3. EXISTING CEILING HIGH IS 10'.
4. PROVIDED KEYS WITH IDENTIFICATION TAGS FOR THE KNOX VAULT.
5. ALL EXISTING COMPONENTS ARE COMPLIANT FOR CALIFORNIA ACCESSIBILITY AND TO BE REMAIN IN PLACE.
6. NEW FLOOR FINISHES AT THE ENTRY SHALL COMPLY WITH CALGREEN SEC. 5.407.2.2

KEY NOTES

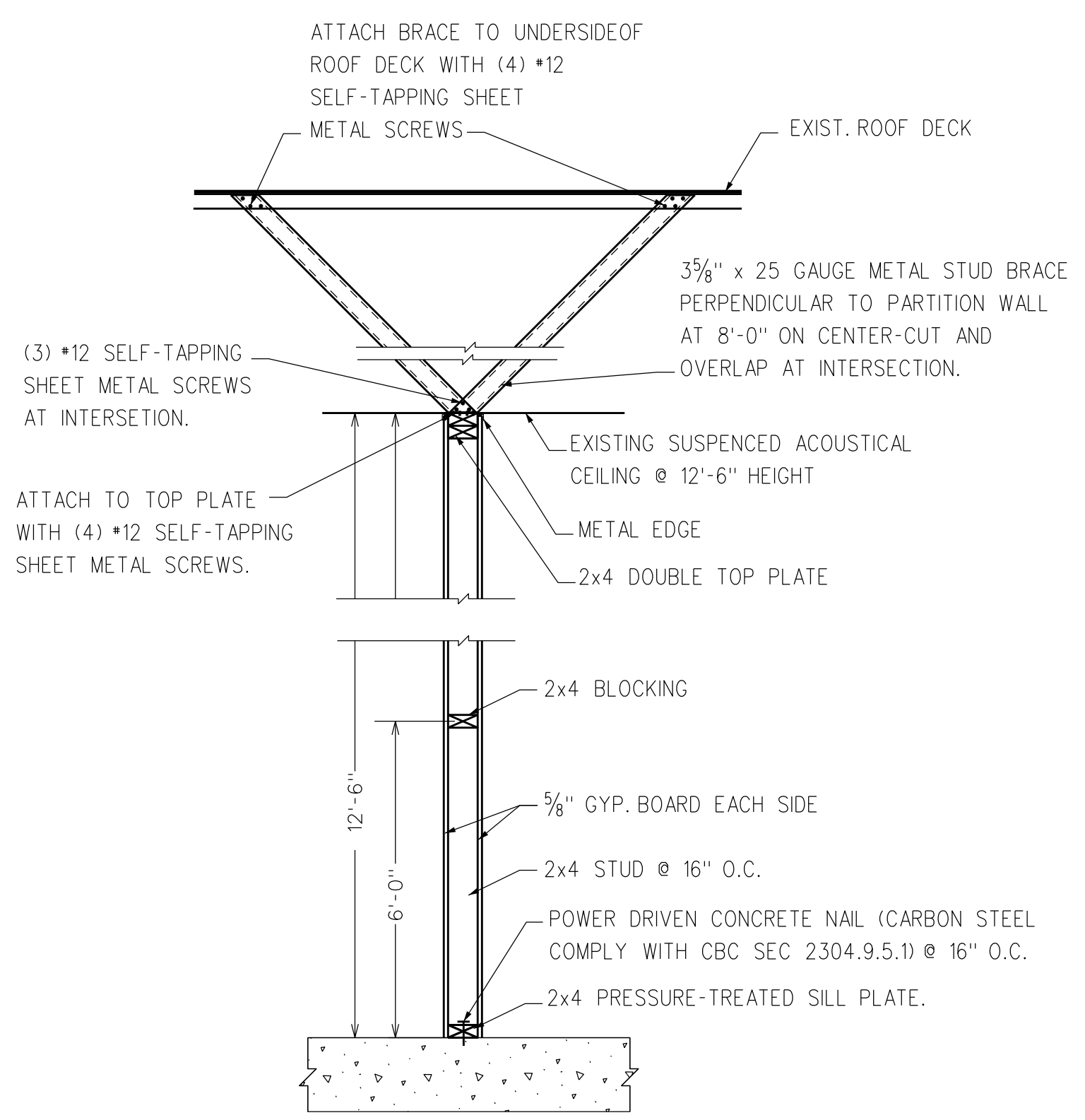
- 1 EXISTING STORE FRONT
- 2 EXISTING SIGN STATING "THIS DOOR TO BE REMAIN UNLOCKED WHENEVER BUILDING IS OCCUPIED" ABOVE ENTRANCE DOOR.
- 3 EXISTING TACTILE EXIT SIGN
- 4 EXISTING EXIT SIGNS
- 5 EXISTING 3" HEIGHT SUITE NUMBER ABOVE EXTERIOR DOOR
- 6 EXISTING FIRE EXTINGUISHER
- 7 EXISTING ELECTRICAL PANEL
- 8 NEW 12'-6" FULL HEIGHT WALL (SEE TYP. WALL DETAIL 1)
- 9 CASHER TABLE MIN 36" IN LENGTH WITH MAX. 34" HEIGHT PER CBC SEC 1122B REQUIREMENT
- 10 FLOOR FINISH FOR ENTIRE AREA WILL BE CERAMIC TILES.
- 11 30"x48" CLEAR FLOOR SPACE AT ACCESSIBLE SERVICE SINK PER CBC

OCCUPANT LOAD CALCULATION

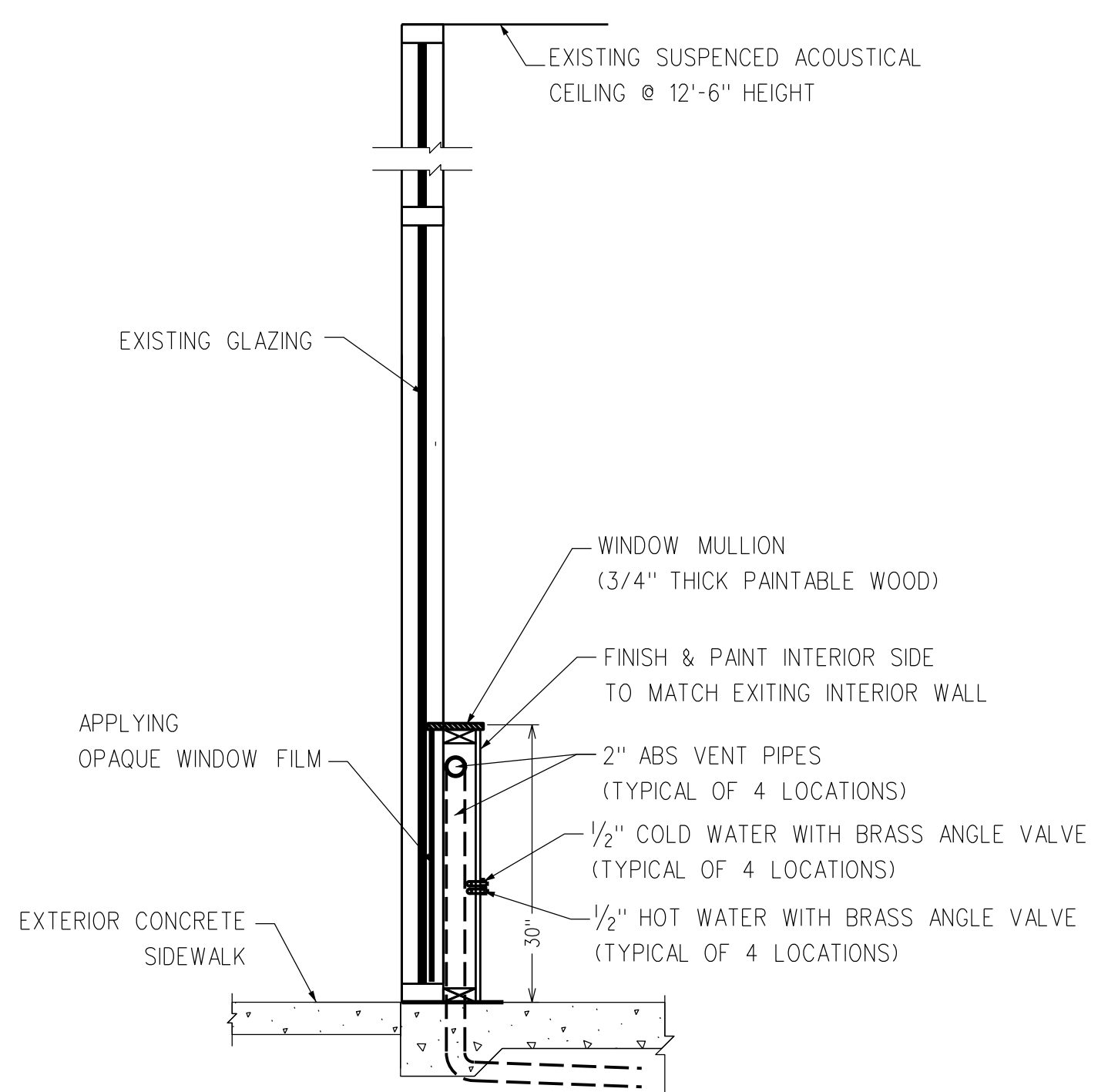
TOTAL UNIT SQUARE FOOTAGE: 590SF
 PER CALIFORNIA BUILDING CODE 2001, TABLE 10-A
 MAXIMUM ALLOWABLE OCCUPANT
 FOR STORES - RETAIL/SERVICE AREA IS: 30 SF PER OCCUPANT.
 OCCUPANT LOAD: 590/30 = 20

SCOPE OF WORK

TENANT IMPROVEMENT FOR A NEW NAIL SALON.
 WORK WILL INCLUDED CONSTRUCT A PARTITION WALL,
 INSTALL PLUMBING, ELECTRICAL, WATER HEATER, SERVICE
 SINK & SUPPLY CABINETS FOR A 560 SF NAILS SALON.



1 (N) TYP. 12'-6" HEIGHT WALL SECTION
 SCALE: 3/4" = 1'



2 (N) 30" HEIGHT CHASE WALL SECTION
 SCALE: 3/4" = 1'

EXCEL
 CONSTRUCTION
 DESIGN-BUILD
 CONTRACTOR

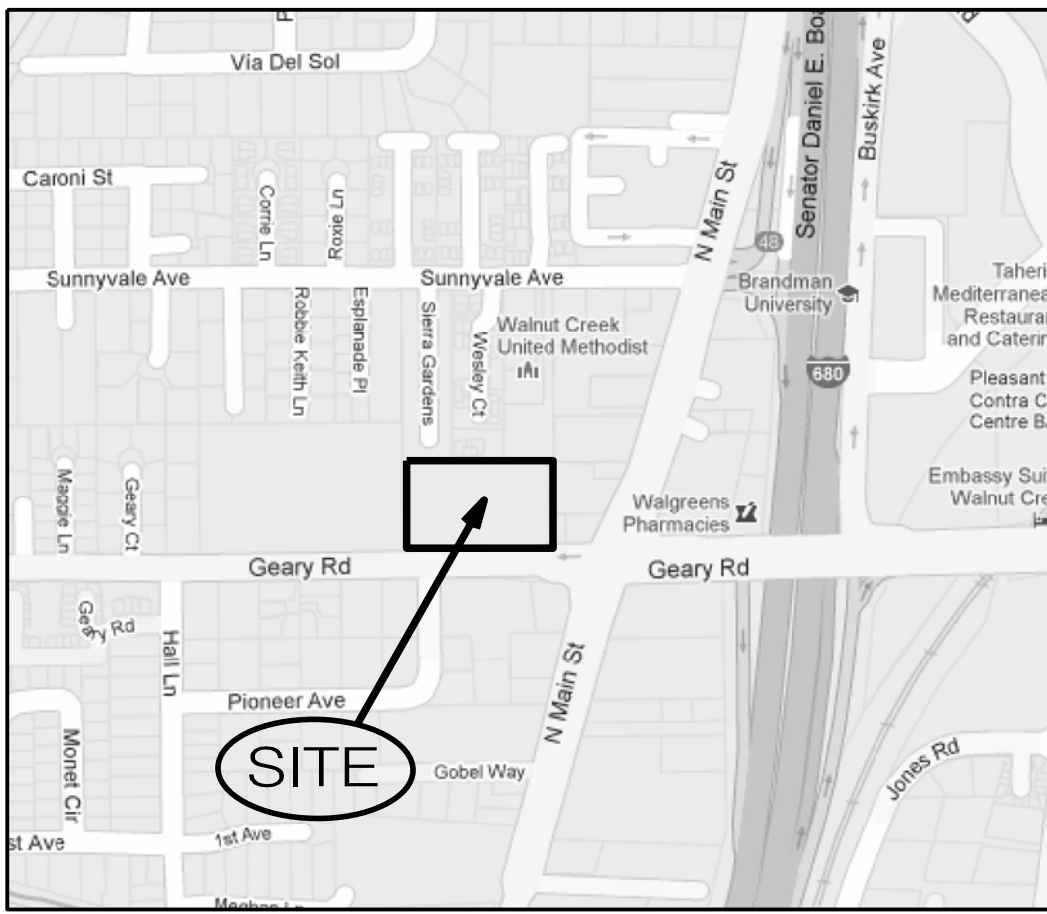
5201 SMOKEWOOD CT.
 FAIR OAKS, CA 95628
 PHONE: (916) 225-2326
 FAX: (916) 989-0412

Date	Revision

Lotus Nails
 1526 Geary Road, Walnut Creek, CA 94597
TENANT IMPROVEMENT
FLOOR PLAN

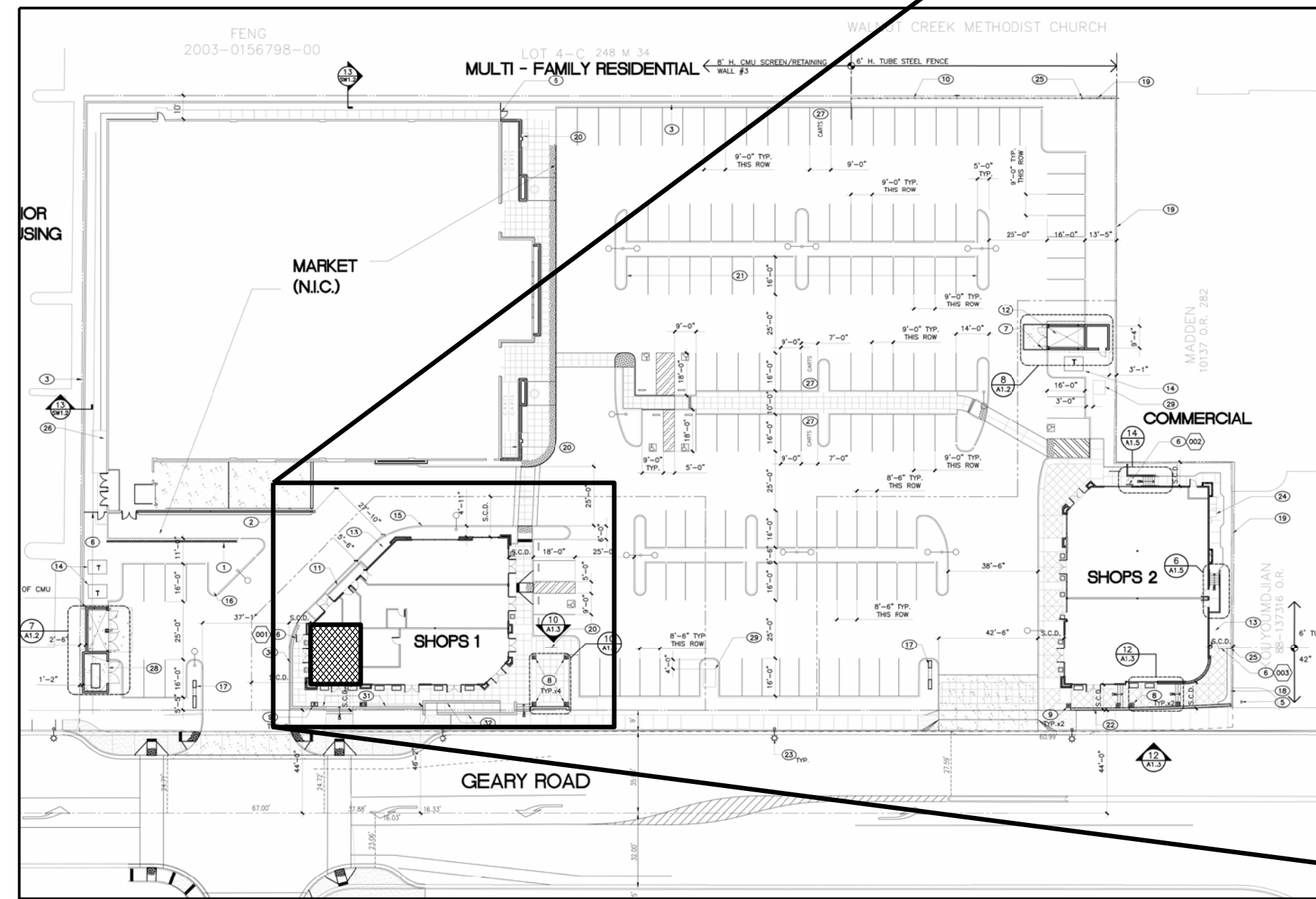
Drawn by: KM
 Date: 6/23/12
 Scale: 1/4" = 1'-0"

Sheet
A-1
 2 of 6



VINCINITY MAP

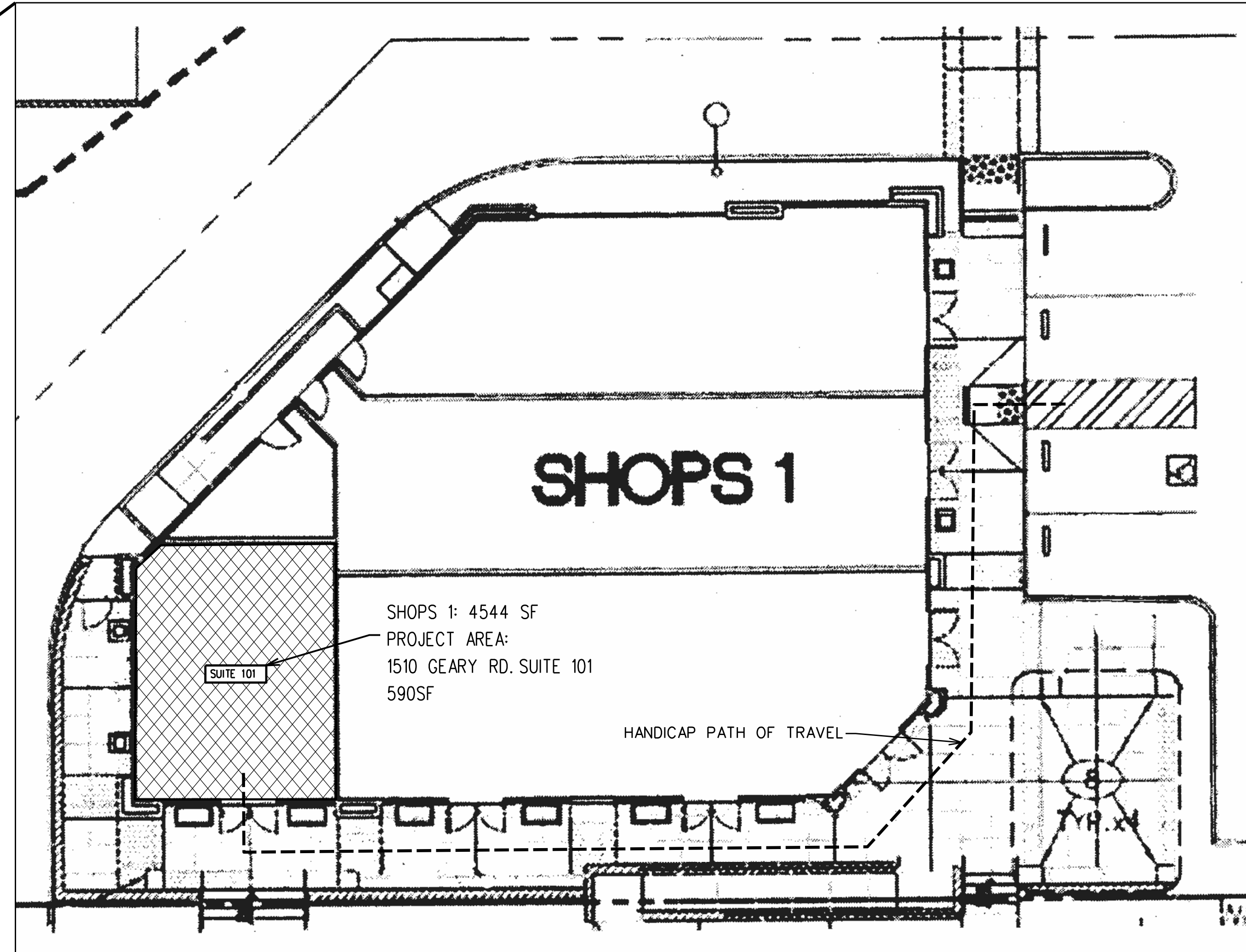
SCALES: NOT TO SCALE



LOCATION MAP

SCALES: NOT TO SCALE

TENANT IMPROVEMENT FOR
Lotus Nails
 1526 GEARY ROAD, WALNUT CREEK, CA 94597



SITE PLAN

SCALES: NOT TO SCALE

BUILDING DATA

JURISDICTION:----- CITY OF WALNUT CREEK, CA
 ADDRESS:----- 1510 GEARY ROAD, SUITE 101
 WALNUT CREEK, CA
 CONTACT:-----HALL EQUITIES GROUP
 1855 OLYMPIC BLVD. SUITE 250
 WALNUT CREEK, CA 94596
 CONTACT PHONE:----- 925-933-4000
 OCCUPANCY GROUP:----- B
 TYPE OF CONSTRUCTION:----- V-N FULLY SPRINKLER
 BUILDING 1510:----- 4544 S.F.
 TENANT IMPROVEMENT:----- 590 S.F.

APPLICABLE CODES

ALL WORK SHALL CONFORM TO THE FOLLOWING CODES:
 2010 CALIFORNIA BUILDING CODE (CBC)
 2010 CALIFORNIA MECHANICAL CODE (CMC)
 2010 CALIFORNIA PLUMBING CODE (CPC)
 2010 CALIFORNIA ELECTRICAL CODE (CEC)
 2010 CALIFORNIA ENERGY STANDARD (CES)
 2010 CALIFORNIA FIRE CODE
 2004 ADAAG GUIDELINES
 CITY OF WALNUT CREEK MUNICIPAL CODE

NOTES

1. A SEPARATE PERMIT IS REQUIRED FOR INSTALLATION OR MODIFICATION OF A FIRE SPRINKLER SYSTEM OR FIRE ALARM SYSTEM.
2. A SEPARATE PERMIT IS REQUIRED FOR A SIGNAGE.
3. BASED UPON THE WORDING OF DIVISION IV OF CHAPTER 11B OF THE CALIFORNIA BUILDING CODE, EXISTNG BUILDINGS ARE NOT SUBJECT TO PARKING ACCESSIBILITY UPGRADES DURING ALTERATIONS, STRUCTURAL REPAIR OR ADDITIONS. ALL OTHER APPLICABLE ASPECTS OF THE BUILDING CODE DISABLED ACCESS REGULATIONS FOR EXISTING BUILDINGS WILL APPLY.

DRAWING INDEX

- C-1 SITE PLAN
- A-1 FLOOR PLAN
- E-1 ELECTRICAL PLAN
- E-2 ROOF PLAN & LTG
- M-1 MECHANICAL PLAN
- P-1 PLUMBING PLAN

SYMBOL LEGEND

- KEY NOTE
- DETAILS
- REVISION

EXCEL

CONSTRUCTION

DESIGN-BUILD
 CONTRACTOR

5201 SMOKEWOOD CT.
 FAIR OAKS, CA 95628
 PHONE: (916) 225-2326
 FAX: (916) 989-0412

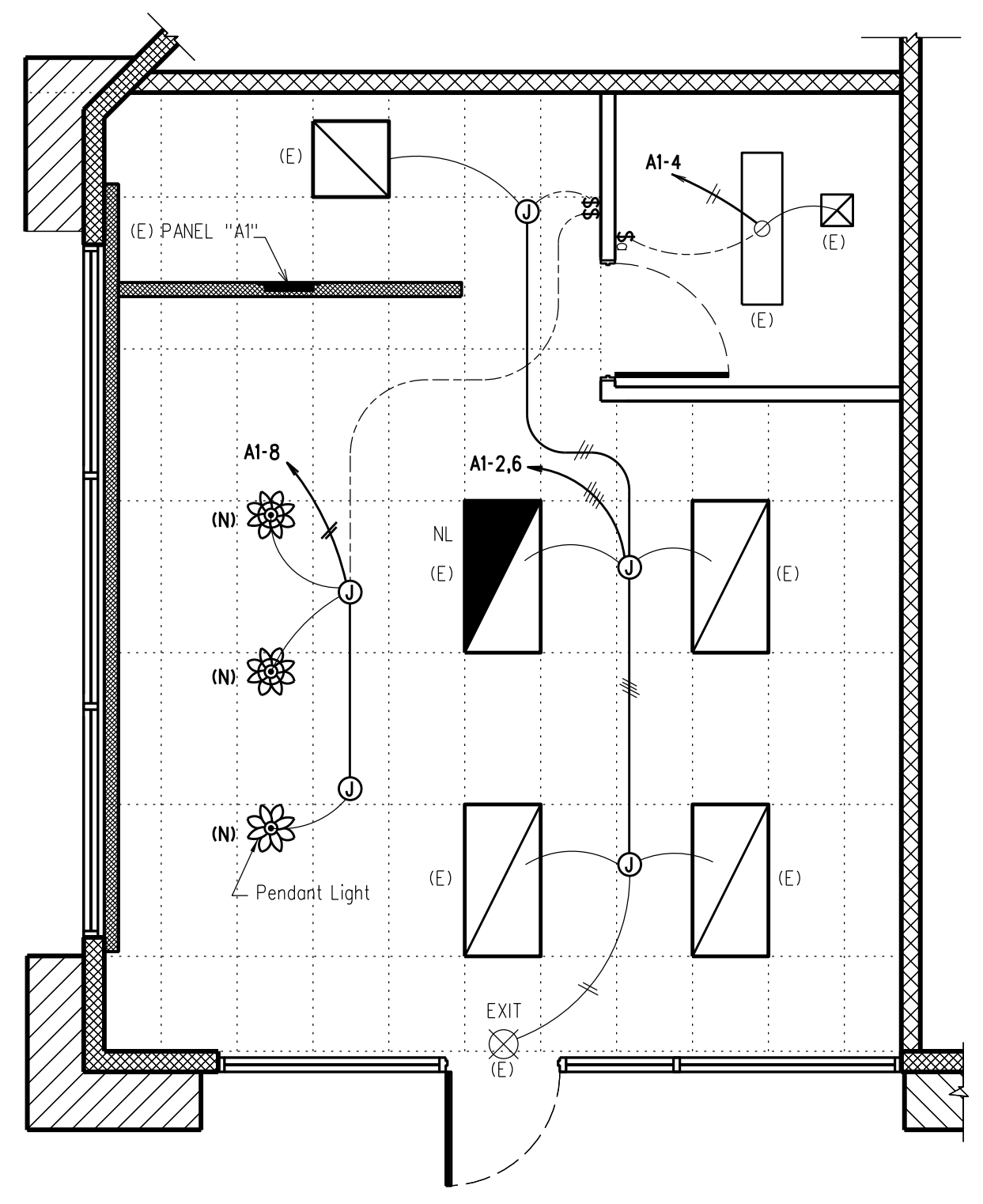
Date	Revision
9/23/12	1

Lotus Nails
 1526 Geary Road, Walnut Creek, CA 94597
TENANT IMPROVEMENT
SITE PLAN

Drawn by: KM
 Date: 06/24/12
 Scale: 1" = 30'

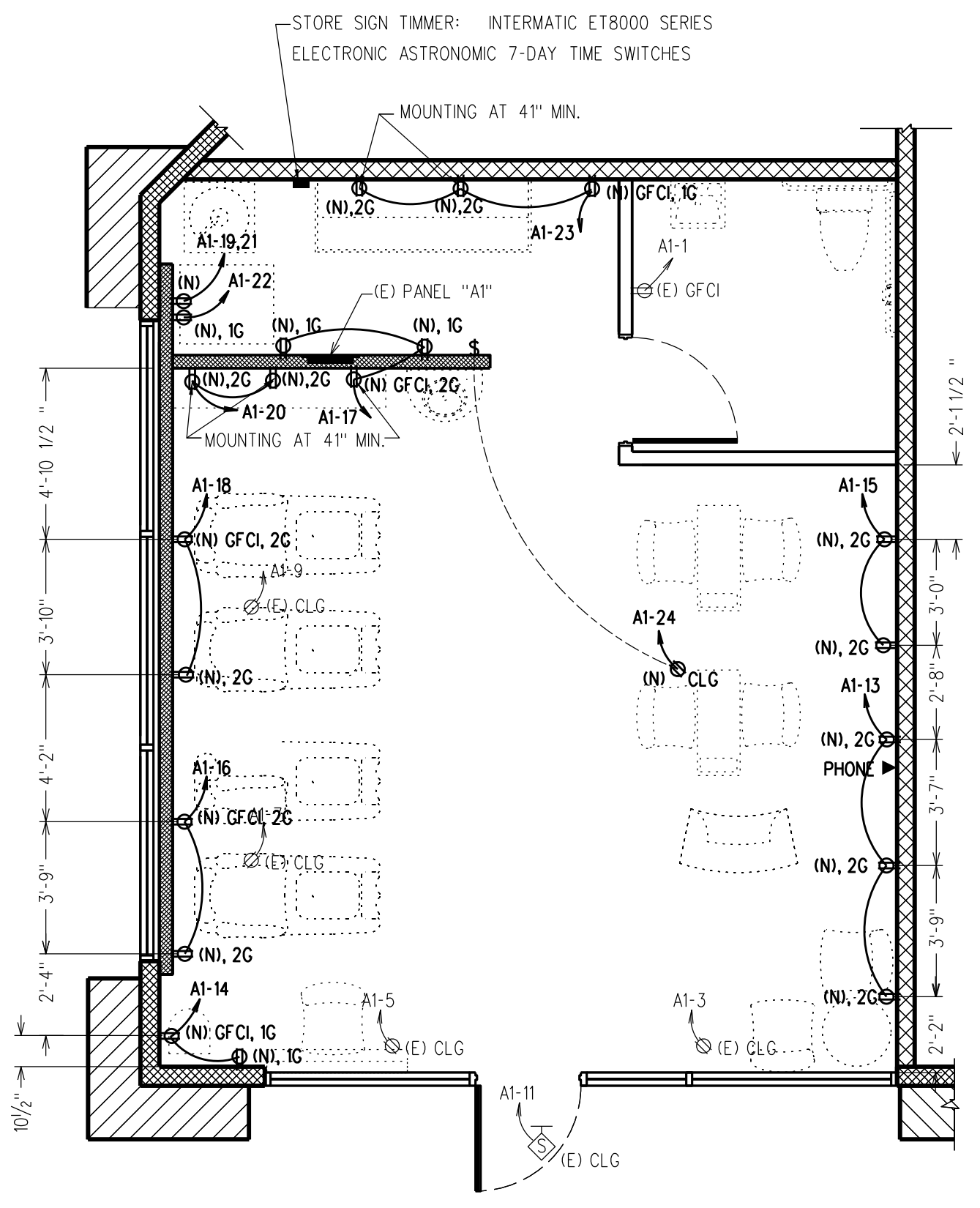
Sheet
C-1
 1 of 6

Date	Revision



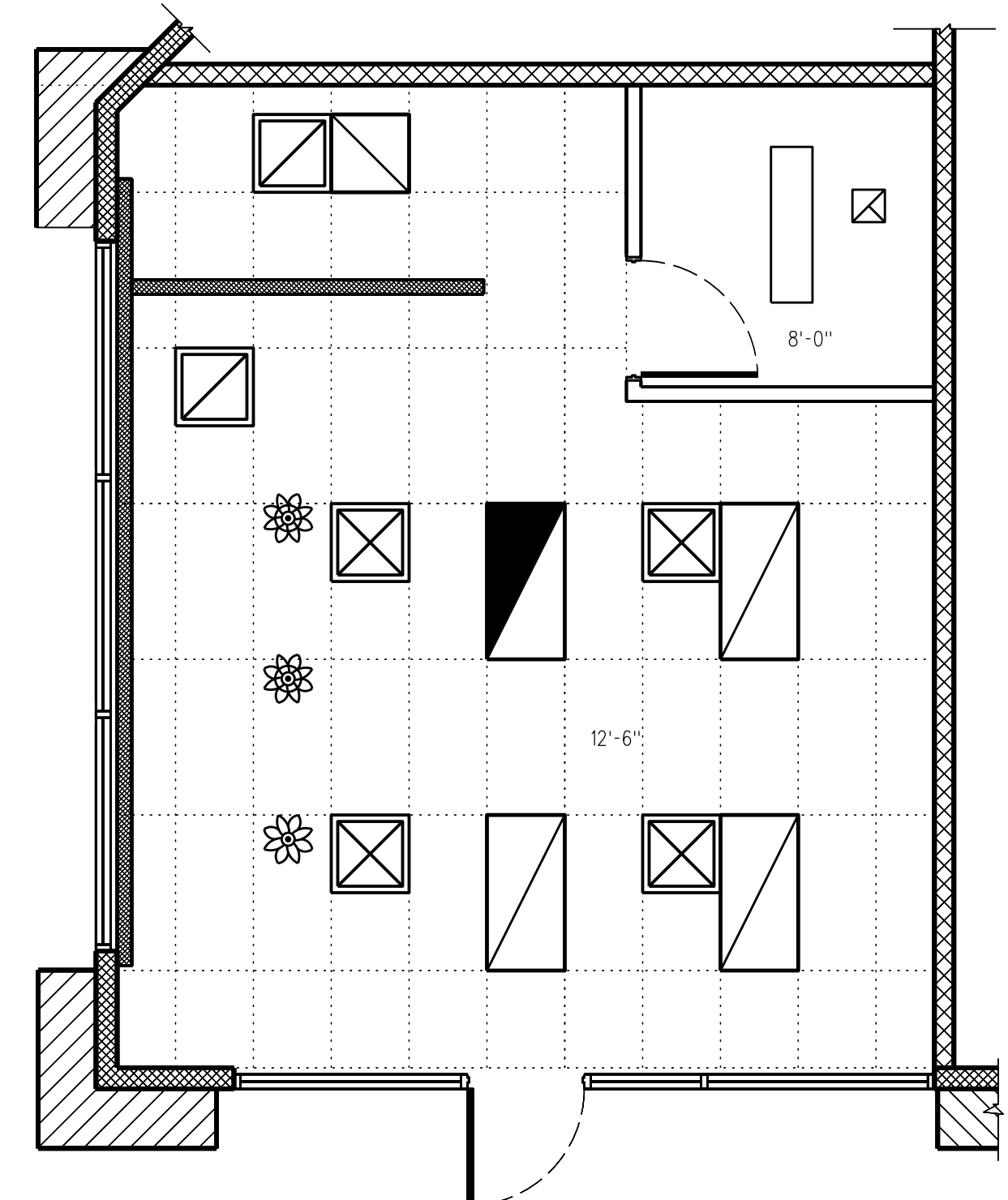
ELECTRICAL CEILING PLAN

SCALE: 1/4" = 1'-0"



POWER AND SIGNAL FLOOR PLAN

SCALE: 1/4" = 1'-0"



REFLECTED CEILING PLAN

(FOR REFERENCE ONLY)

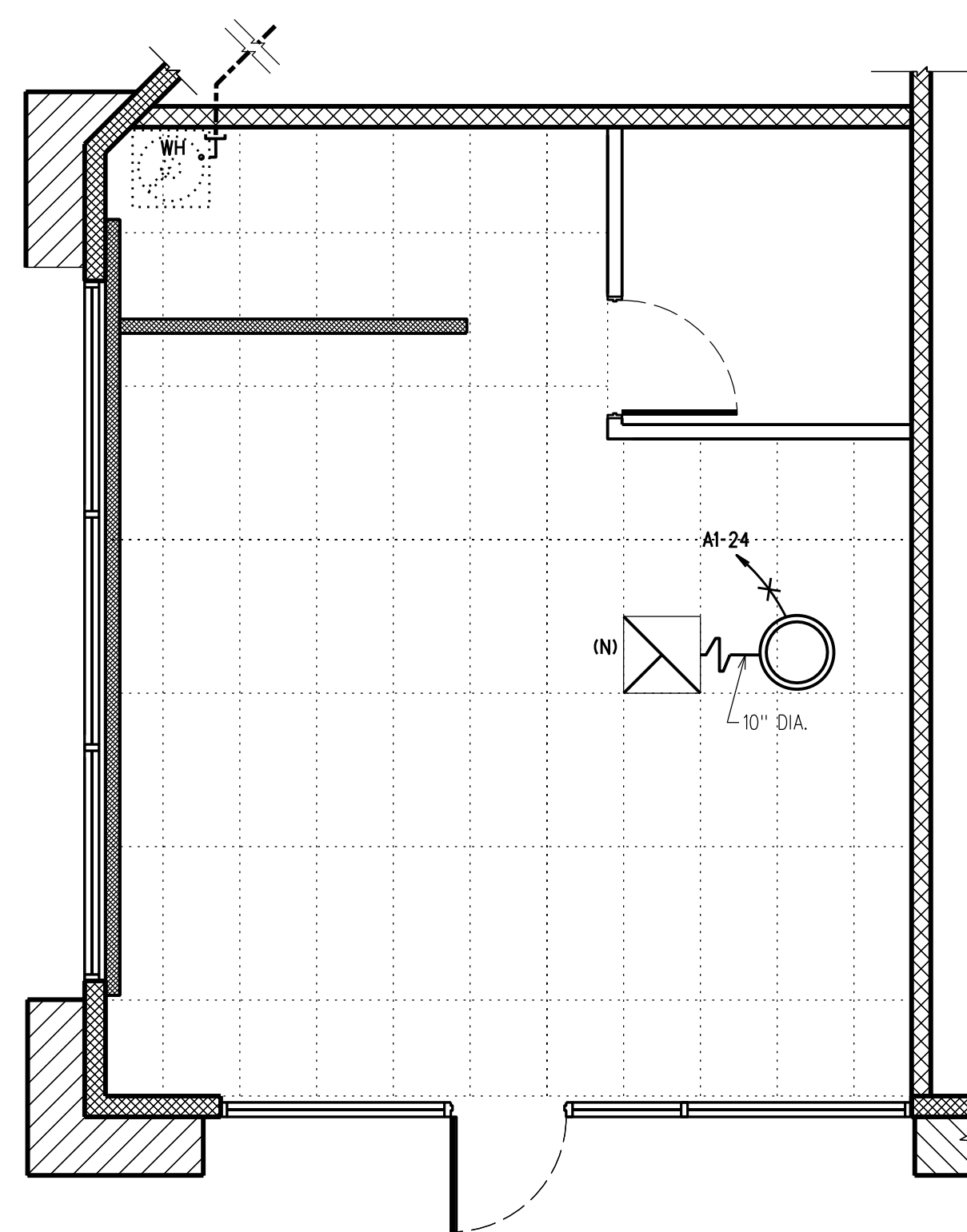
GENERAL NOTES

- INSTALL ALL ELECTRICAL EQUIPMENT, OUTLET, FIXTURES IN ACCORDANCE WITH THE 2010 CALIFORNIA ELECTRICAL CODE.
- ALL WIRING SHALL BE IN METALLIC CONDUIT. ALL CONDUCTORS SHALL BE COPPER WITH THHN/THWN INSULATION UNLESS OTHERWISE NOTED.
- ALL ROOF TOP ELECTRICAL IS EXISTING AND TO BE REMAIN AS IT, NO NEW WORK.
- ALL GAPS AND PENETRATIONS FOR ELECTRICAL IN 1 HOUR FIRE-RESISTIVE WALL MUST BE TAPED OR FIRED-CAULKED. RECEPTACLE BOXES ARE UL LISTED FOR 2 HOURS FIRE RATED FOR WALL.
- NEW ELECTRICAL SWITCHES SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX TO THE FINISH FLOOR PER CBC. ELECTRICAL RECEPTACLE OUTLETS SHALL BE LOCATED NO LESS THAN 15" MEASURED FROM THE BOTTOM OF THE RECEPTACLE OUTLET BOX TO THE THE FINISH FLOOR PER CBC.

PANEL A1 (E) SUITE 101		PANEL VOLTAGE: 208Y/120V			BUS: 225 AMP 22,000 AIC					
TYPE: 1		3 PHASE 4 WIRE			MOUNT: FLUSH					
LOAD DESIGNATION	CIRCUIT BREAKER		PHASE			CIRCUIT BREAKER		LOAD DESIGNATION		
DESCRIPTION	KVA	C.B.	CKT	A	B	C	CKT	C.B.	KVA	DESCRIPTION
(E) RECEPT - RESTROOM	0.2	20/1	1	1.0			2	20/1	0.8	LTS - SALES
(E) RECEPT - SHOW WINDOW	1.6	20/1	3		2.0		4	20/1	0.4	LTS - RESTROOM/EF
(E) RECEPT - SHOW WINDOW	1.6	20/1	5			1.7	6	20/1	0.1	LTS - NL/EM/EXIT
(E) RECEPT - SHOW WINDOW	1.6	20/1	7	2.3			8	20/1	0.7	LTS - PENDANT LIGHTS
(E) RECEPT - SHOW WINDOW	1.6	20/1	9		1.6		10			SPARE
(E) RECEPT - SIGN	1.5	20/1	11			1.5	12			SPARE
(N) RECEPT - NAILS	1.2	20/1	13	2.4			14	20/1	1.2	RECEPT - HAND DRYER
(N) RECEPT - NAILS	1.2	20/1	15		2.4		16	20/1	1.2	RECEPT - PEDICURE
(N) RECEPT - BACK WALL	1.2	20/1	17			2.4	18	20/1	1.2	RECEPT - PEDICURE
(N) DRYER	1.8	30/2	19	3.0			20	20/1	1.2	RECEPT - COUNTER
	1.8		21		3.0		22	20/1	1.2	WASHING MACHINE
(N) RECEPT - REFR./MICRO.	1.2	20/1	23			2.4	24	20/1	1.2	CEILING EXHAUST FAN
SPARE			25				26			SPARE
			27				28			
			29				30			
			31				32			
(E) RECEPT - ROOF	1.0	20/1	33		1.0		34			
(E) DUCT SMOKE DET	1.0	20/1	35			1.0	36			
	3.7		37	3.7			38			
(E) HP-3	3.7	50/3	39		3.7		40			
	3.7		41			3.7	42			
SUBTOTAL:				12.4	13.7	12.7				
100% CONNECTED LOAD:				38.8 KVA						
25% CONTINUOUS (LIGHTING) LOAD:				9.7 KVA						
25% LARGEST MOTOR LOAD:				9.7 KVA						
TOTAL LOAD:				58.2 KVA / 0.36		FACTOR = 161.7 AMPS				

ELECTRICAL SYMBOLS & LEGEND

- FOUR LAMP FLUORESCENT LIGHT FIXTURE - RECESSED
- TWO LAMP FLUORESCENT LIGHT FIXTURE - RECESSED
- FLUORESCENT LIGHT FIXTURE - CEILING MOUNTED
- EXHAUST FAN, N.I.E.S., CONNECT AS REQUIRED
- EXIT SIGN
- EXTERIOR STORE SIGN
- SINGLE POLE TOGGLE SWITCH, 48" UON SWITCH SUBSCRIPTS: a, b, c, etc. + DEVICE CONTROLLED.
- CONDUIT RUN CONCEALED IN WALL OR ABOVE CEILING.
- HOME RUN, NUMBER OF ARROWS INDICATE NUMBER OF CIRCUITS IN HOME RUN
- TELEPHONE OUTLET, 15" UON RING AND STRING.
- DUPLEX RECEPTACLE, NEMA 5-15R, 15" UON
- GROUND FAULT CIRCUIT INTERRUPTER
- (E) EXISTING FIXTURE
- (N) NEW FIXTURE
- 1G 1-GANG
- 2G 2-GANG



(N) ROOFMOUNT EXHAUST FAN SEE MOUNTING DETAIL ON SHEET M-1

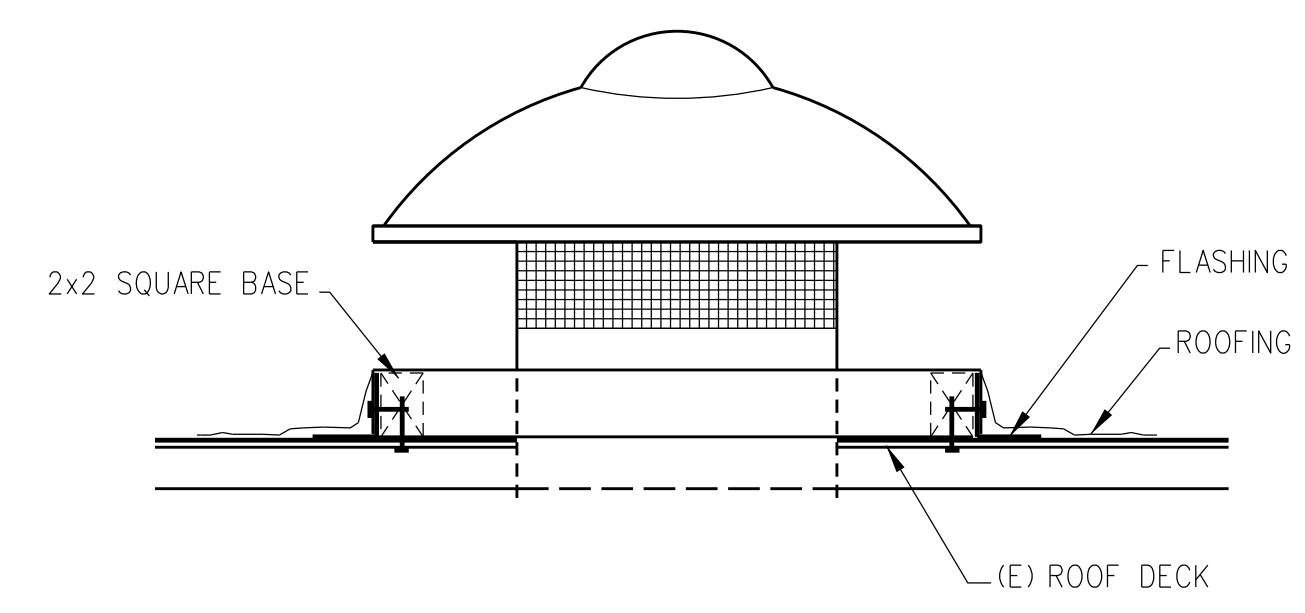
GAS PIPING & ROOF MOUNT EXHAUST FAN

SCALE: 1/4" = 1'-0"

GAS PIPING SIZE PER 2010 CALIFORNIA PLUMBING CODE TABLE 12-8, 40 FT COLUMN, 1" IS 320,000 BTU

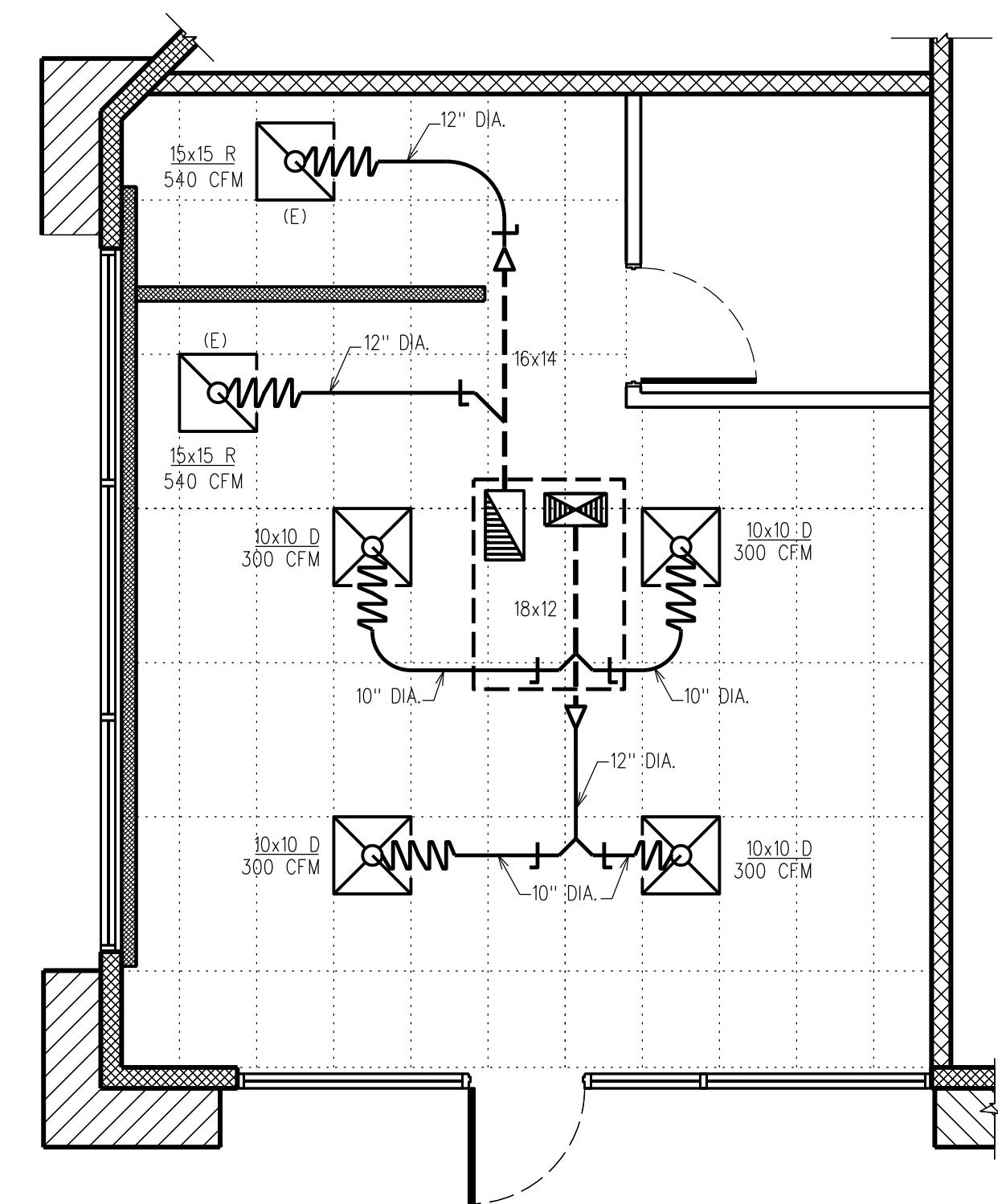
TOTAL GAS DEMAND:
 ROOFTOP HVAC UNIT 72,000 BTU + WATER HEATER 76,100 BTU = 148,000 BTU
 LONGEST LENGTH FROM GAS METER TO HVAC SYSTEM IS 60 FT,
 USE 1" NEW GAS PIPING FROM POINT OF CONNECTION (POC) TO WATER HEATER.

AXIAL EXHAUST FAN: FloAire DDAR 14-1, 14" 1465 CFM ROOFTOP VENTILATOR
 AIR FLOW: 1465 CFM; FAN SPEED: 1100 RPM; HORSE POWER: 1/12 HP
 CURB DIMENSIONS: 19 1/2" x 12" x 19 1/2" inches; ROOF OPENING- ROUND: 16 inches
 HEIGHT: 12 5/8 inches; DEPTH: 21 inches; WIDTH: 27 5/16 inches
 CONSTRUCTION: Aluminum
 INSTALLATION PER MANUFACTURER RECOMMENDATION



ROOF MOUNT EXHAUST FAN

SCALE: N.T.S.



MECHANICAL PLAN (FOR REFERENCE ONLY)

SCALE: 1/4" = 1'-0"

MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
	SUPPLY AIR DIFFUSER
	RETURN AIR DIFFUSER
	EXHAUST AIR GRILLE
	FLEXIBLE DUCT
	DUCT - DIAMETER

GENERAL NOTES

- NO NEW WORK WILL BE DONE TO THE EXISTING SPRINKLER SYSTEM.
- ALL SUPPLY AND RETURN AIR GRILLES IS EXISTING. NO NEW WORK WILL BE DONE TO THE EXISTING MECHANICAL SYSTEM.
- PER TABLE 4-1 OF 2010 CMC, THE REQUIRED MINIMUM VENTILATION FOR BEAUTY & NAILS SALON:
 OUT DOOR AIRFLOW RATE REQUIRED PER PERSON: 20cfm/PERSON x 10 PEOPLE (MAX.) = 200cfm
 OUT DOOR AIRFLOW RATE REQUIRED PER UNIT AREA: 0.12 cfm x 590sf = 71 cfm
 TOTAL REQUIRED OUT DOOR VENTILATION IS: 200cfm + 71 cfm = 391 cfm
 THE TOTAL SUPPLY AIR OF EXISTING MECHANICAL SYSTEM IS: (300+300+300+300) = 1200 cfm
 THE RETURN AIR REQUIRED IS: 1200 cfm - 391cfm = 809 cfm
- AN AIR BALANCE REPORT PREPARED BY LICENSED C-20 CONTRACTOR SHALL BE FURNISHED TO THE BUILDING INSPECTOR AT TIME OF FINAL INSPECTION SHOWING THAT THE AIR BALANCE SPECIFIED ABOVE HAVE BEEN MEET.
- CEILING EXHAUST FAN WILL BE OPERATED DURING OFF HOUR. THE MAKE UP AIR WILL BE PROVIDED BY OPEN THE FRONT DOOR
- CONTRACTOR TO PROVIDE THE OWNER WITH A OPERATION AND MAINTENANCE MANUAL FOR ALL MECHANICAL SYSTEMS.
- AIR FILTER FOR MECHANICAL SYSTEM SHALL BE MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8 PER CALGREEN SEC 5.504.5.3.

EXCEL
CONSTRUCTION

DESIGN-BUILD
CONTRACTOR

5201 SMOKEWOOD CT.
FAIR OAKS, CA 95628
PHONE: (916) 225-2326
FAX: (916) 989-0412

Date	Revision

Lotus Nails
 1526 Geary Road, Walnut Creek, CA 94597
TENANT IMPROVEMENT
MECHANICAL PLAN

Drawn by: KM

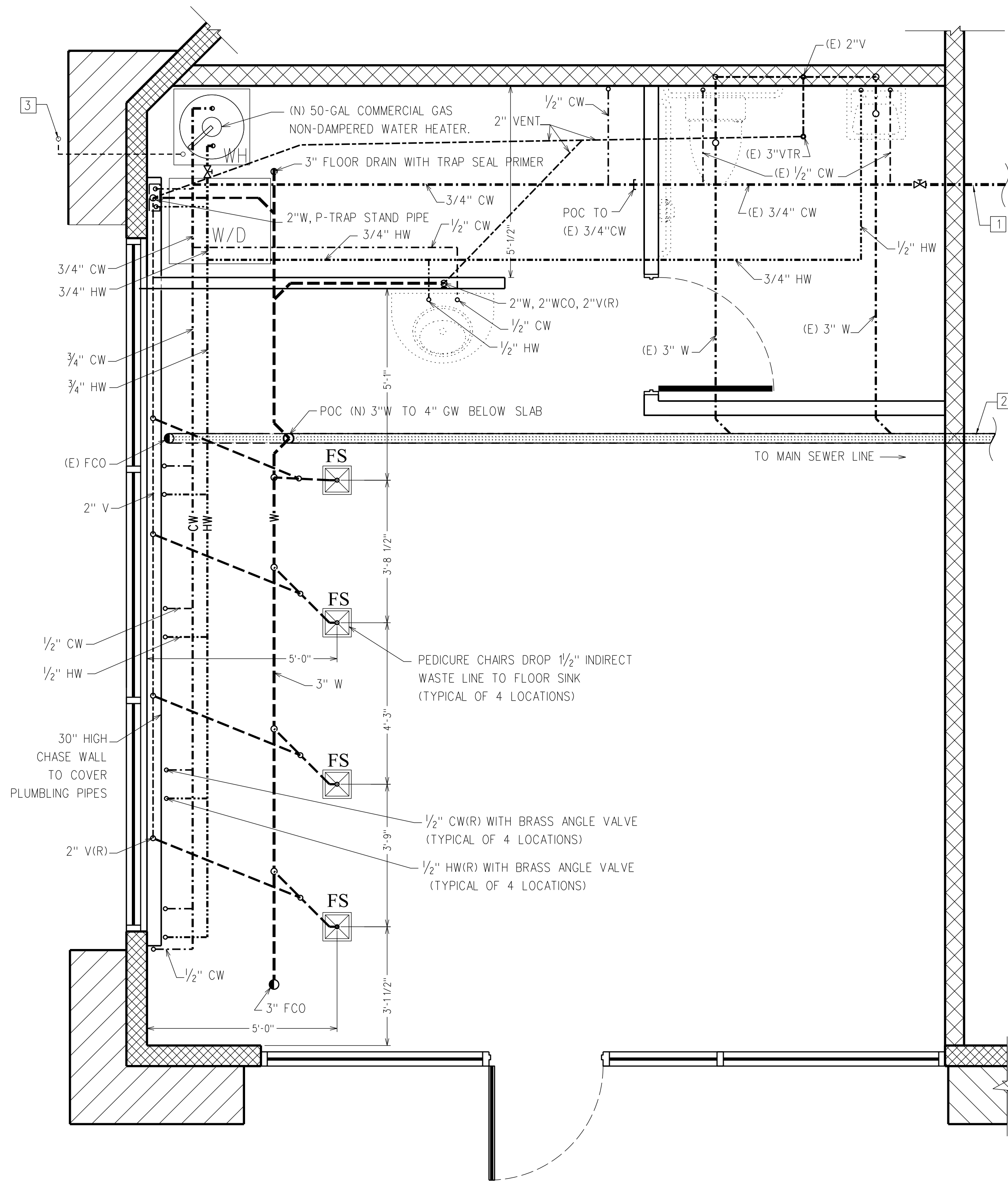
Date: 7/7/12

Scale: 1/4" = 1'-0"

Sheet

M-1

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PLUMBING PLAN

SCALE: 1/2" = 1'-0"



PLUMBING NOTES

1. PLUMBER TO VERIFY LOCATION OF PIPING BEFORE START OF JOB.
2. ALL SEWER PIPING SHALL BE ROUTED AT MINIMUM 2% SLOPE.
3. VENTS WITHIN BUILDING ARE TO MEET SEC. 904.1 OF THE CPC CODE.
4. SUPPORT ALL PIPING AS PER TABLE 3-2 OF THE CPC CODE.
5. HOT WATER PIPING TO BE INSULATED WITH A MINIMUM R-4 POLYETHYLENE INSULATION.
6. ALL ROOF PENETRATIONS SHALL BE MADE A MINIMUM OF 12 INCHES FROM ANY WALL OR ROOF CRICKET.

KEY NOTES

- 1 (E) 2" DOMESTIC WATER LINE FROM MAIN.
- 2 (E) 4" SANITARY WASTE BELOW GRADE
- 3 3/4" T & PR LINE TO EXTERIOR @ +6" ABOVE GRADE AND TERMINATE WITH 90 ELBOW DOWN.

PLUMBING SYMBOLS

- (E)-----EXISTING
- (N)-----NEW
- (R)-----RISER
- (D)-----DROP
- POC-----POINT OF CONNECTION.
- CW-----COLD WATER
- HW-----HOT WATER
- W-----WASTE
- V-----VENT
- VTR-----VENT THRU ROOF
- WCO-----WALL CLEANOUT
- FCO-----FLOOR CLEANOUT
- FS-----FLOOR SINK
- FD-----FLOOR DRAIN
- WC-----WATER CLOSET
- LAV-----LAVATORY
- HS-----HAND SINK
- WH-----WATER HEATER
- FU-----FIXTURE UNIT

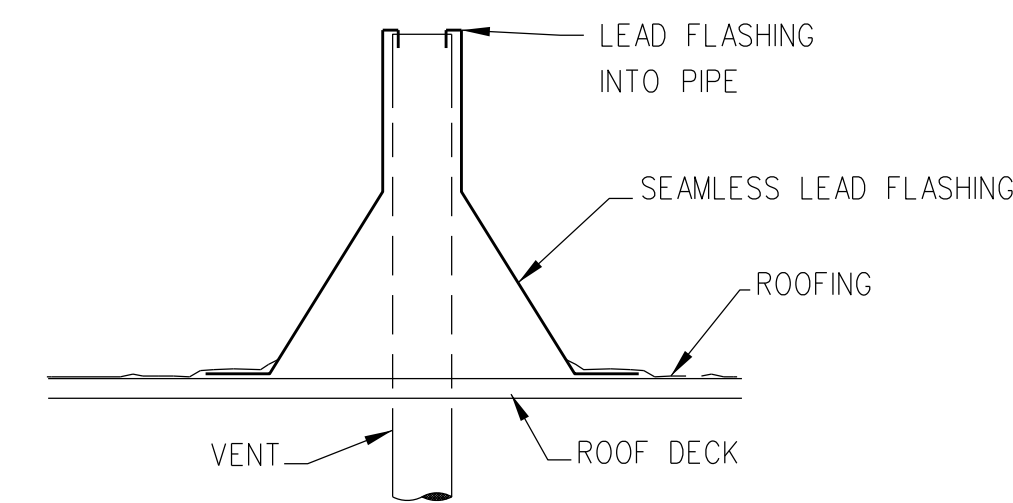
WATER & WASTE SERVICE CALCULATION

QUANTITY	FIXTURE DESCRIPTION	COLD (FU)	HOT (FU)	WASTE (FU)
1	WATER CLOSET	2.5	0.0	3.0
1	LAVATORY	1.0	0.75	1.0
1	HAND SINK	1.0	0.75	1.0
4	PEDICURE SPA	8.0	6.0	8.0
1	CLOTHES WASHER	4.0	3.0	3.0
TOTAL FIXTURE UNIT DEMAND:		16.5	10.5	16.0

WATER PIPING SIZED AS PER 2010 CPC CODES
 TABLE 6-5, 46-60 PSI, 250 FT COLUMN:
 1/2" = 2 FU; 3/4" = 9 FU; 1" = 23 FU
 1/4" = 44 FU; 1 1/2" = 98 FU; 2" = 470 FU

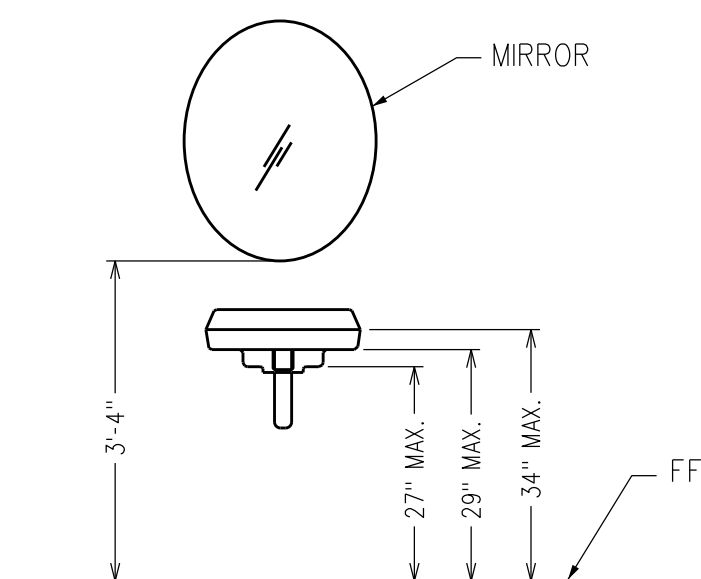
PLUMBING MATERIALS

1. COLD WATER PIPING: TYPE "M" COPPER TUBING
2. HOT WATER PIPING: TYPE "M" COPPER TUBING
3. CONDENSATE PIPING: TYPE "M" COPPER TUBING
4. VENT PIPING: SCHEDULE 40 ABS PLASTIC PIPING
5. WASTE PIPING: SCHEDULE 40 ABS PLASTIC PIPING
6. GAS PIPING: SCHEDULE 40 BLACK STEEL PIPING



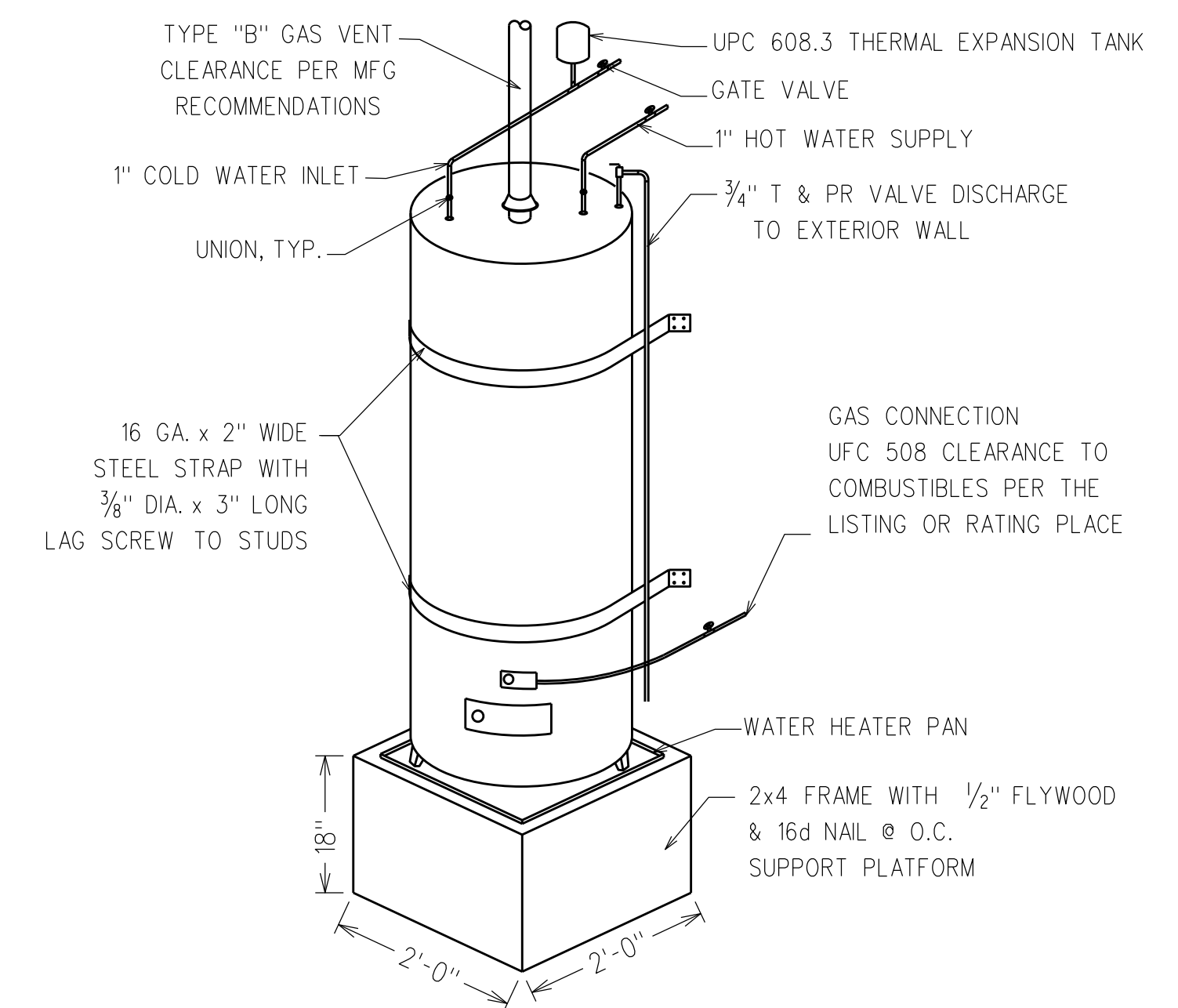
VENT ROOF PENETRATION DETAIL

SCALE: N.T.S.



SERVICE SINK ELEVATION

SCALE: N.T.S.



FLOOR MOUNT GAS WATER HEATER

SCALE: N.T.S.

Date	Revision