

LOT 1, HERITAGE COMMERCIAL AT PRAIRIE TRAIL PLAT 1

1630 SOUTH ANKENY BOULEVARD

ANKENY, IOWA

SITE PLAN

NAI #22111

EXISTING UTILITY NOTE

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

SPECIFICATION REFERENCE

THE 2024 IOWA SUDAS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE CITY OF ANKENY STANDARD SPECIFICATIONS SHALL APPLY TO ALL ASPECTS OF CONSTRUCTION.

LEGEND

Existing / Proposed	Existing / Proposed	Address
IR	Round iron rebar	
IP	Round iron pipe	
PCC	Portland cement concrete	
ACC	Asphaltic cement concrete	
FL	Pipe flowline elevation	
RCP	Reinforced concrete pipe	
CMP	Corrugated metal pipe	
CPP	Corrugated plastic pipe	
PVC	Polyvinyl chloride pipe	
CIP	Cast iron pipe	
BB	Back of curb to back of curb	
D.E.	Public drainage easement	
G.E.	Public gas easement	
I.E.E.	Public ingress / egress easement	
M.E.C.	MidAmerican Energy Co underground electric line easement	
P.U.E.	Public utility easement	
S.S.E.	Public sanitary sewer easement	
S.T.S.E.	Public storm sewer easement	
S.W.F.E.	Surface water flowage easement	
---	Subject boundary line	
---	Section line	
---	Proposed boundary line	
---	Existing boundary line	
---	Future boundary line	
---	Proposed easement line	
---	Existing easement line	
---	Setback line	
---	Barbed wire fence line	
---	Chain-link fence line	
---	Straw Wattle	
---	Silt fence	
---	Sanitary sewer & size	
---	Storm sewer and size	
---	Water main and size	
---	Gas main & size	
---	Overhead electric & wires	
---	Overhead communication	
---	Underground electric	
---	Underground television	
---	Underground communication	
---	Contour elevation	
---	Swale flowline	
---	Edge of water	
---	Edge of tree dripline	
---	Construction limits	
---	Construction fence	

BENCHMARKS

- CUT 'X' ON PCC TRAIL, 250' +/- SOUTH OF SW 16TH, WEST OF SOUTH ANKENY BLVD. ELEVATION = 957.45'
- CUT 'X' IN CENTERLINE OF SW 16TH STREET, 82' +/- EAST OF SANITARY MANHOLE IN THE INTERSECTION OF SW 16TH STREET AND SW SCHOOL STREET. ELEVATION = 960.89'

GENERAL NOTES

- ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY PROJECT ENGINEER AND:
 - CITY OF ANKENY
 - ACCURATE DEVELOPMENT

- ALL MATERIALS AND CONSTRUCTION RELATED TO WORK CONDUCTED AS PART OF THESE PLANS SHALL BE IN ACCORDANCE WITH THE 2024 STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS). THE CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS, AND DETAILS SHOWN ON THIS PLAN UNLESS SPECIFICALLY NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR, REMOVAL, REPLACEMENT, OR REINSTALLATION OF ANY ITEM, BOTH ON- AND OFF-SITE, ADVERSELY AFFECTED BY FAILURE TO FOLLOW SAID SPECIFICATIONS, REPORTS, AND PLANS.

- CONTRACTOR IS RESPONSIBLE TO UNDERSTAND THE INTENT OF THE WORK TO BE COMPLETED AND TO ADDRESS ANY QUESTIONS, CONCERNS, CONFLICTS, DISCREPANCY OR OTHER ISSUES THAT MAY AFFECT CONSTRUCTION WITH OWNER AND ENGINEER AT LEAST ONE WEEK PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.

- CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY ISSUE ENCOUNTERED DURING CONSTRUCTION THAT MAY AFFECT PROPOSED DESIGN. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.

- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

- THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND ELEVATION OF, AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.

- THE CONTRACTOR SHALL RECONNECT ALL FIELD TILE OR CONNECT TO STORM SEWER WHERE AVAILABLE DURING CONSTRUCTION. RECONNECTIONS OR CONNECTIONS TO STORM SEWER SHALL BE CONSIDERED INCIDENTAL TO PROJECT COST. NOTIFY CITY OF ANKENY AND NILLES ASSOCIATES PRIOR TO RECONNECTION SO THAT LOCATION OF RECONNECTION CAN BE DOCUMENTED AND INCLUDED ON RECORD DRAWINGS. REPAIRS TO TILE LINES ARE TO BE VERIFIED BY CITY OF ANKENY PERSONNEL.

- SIGNS SHALL CONFORM TO THE CITY OF ANKENY SIGN ORDINANCE.

- DETAILS AND NOTES INCLUDED WITHIN THESE PLANS SHALL BE USED FOR CONSTRUCTION. FOR ITEMS WITH NO DETAILS OR NOTES INCLUDED WITHIN THIS PLANS SET, FOLLOW SUDAS DETAILS AND SPECIFICATIONS FOR MATERIALS AND CONSTRUCTION.

- CONTRACTOR SHALL VERIFY ALL MEASUREMENTS SHOWN ON THE PLANS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCY IS FOUND, NOTIFY ENGINEER IMMEDIATELY BEFORE PROCEEDING.

- COORDINATE ALL WORK ACTIVITIES WITH ANY OTHER CONSTRUCTION PROJECTS IN THE AREA.

- ANY DAMAGE TO PROPERTY THAT OCCURS AS A RESULT OF THE CONTRACTOR'S ACTIVITIES OR ACTIONS SHALL BE REPAIRED AND RESTORED IN KIND.

- THE CONTRACTOR SHALL PROTECT UTILITY POLES NEAR CONSTRUCTION ACTIVITIES AS REQUIRED.

- FOR ALL WORK, THE CONTRACTOR SHALL PROVIDE ALL FIELD QUALITY CONTROL AND TESTING AS PER SUDAS. PROVIDE ENGINEER TESTING RESULTS.

- PROVIDE TO THE PROJECT ENGINEER, ALL SHOP DRAWINGS FOR MATERIALS INCORPORATED IN THE WORK SUPPLIED BY THE CONTRACTOR.

- THE CONTRACTOR SHALL FOLLOW THE STORM WATER POLLUTION PREVENTION PLAN PREPARED FOR THIS SITE.

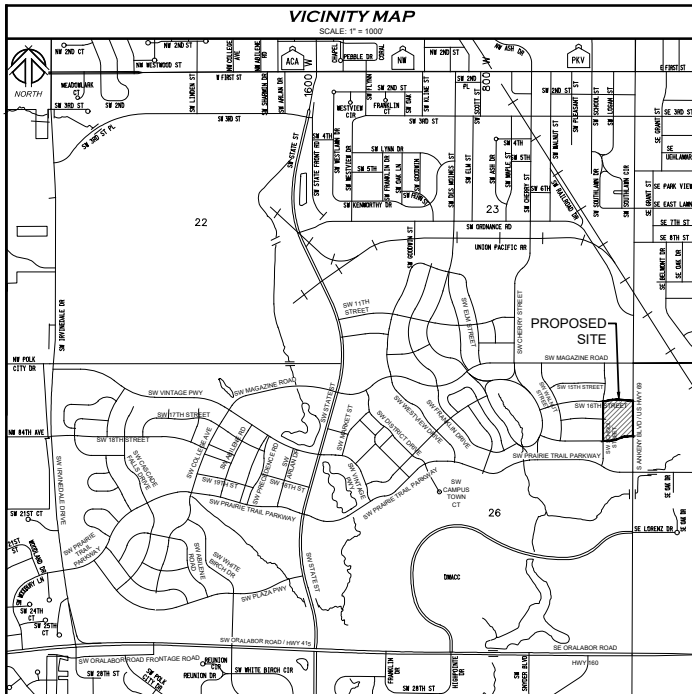
- CONTRACTORS ON-SITE SHALL BE RESPONSIBLE FOR DAILY CLEAN-UP OF SEDIMENT AND DEBRIS TRACKED OR WASHED ONTO PUBLIC RIGHTS-OF-WAY AND AREAS OUTSIDE PROJECT LIMITS.

- DURING THE PROGRESS OF THE WORK, IF SUBSURFACE OR LATENT PHYSICAL CONDITIONS ARE ENCOUNTERED AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED ON THE PLANS OR IF UNKNOWN PHYSICAL, CULTURAL, AND/OR ENVIRONMENTAL CONDITIONS OF AN UNUSUAL NATURE ARE ENCOUNTERED AT THE SITE, THE PARTY DISCOVERING SUCH CONDITIONS SHALL PROMPTLY NOTIFY THE CITY OF ANKENY, ACCURATE DEVELOPMENT, AND NILLES ASSOCIATES BEFORE THE SITE IS FURTHER DISTURBED.

- CONTRACTOR AND EMPLOYEE VEHICLES WILL BE PARKED LEGALLY UNLESS NEEDED ON-STREET FOR ACTIVE WORK.

- TEMPORARY CERTIFICATE OF OCCUPANCY (CO) MAY NOT BE OBTAINED UNTIL A WALK-THRU FOR ALL PUBLIC IMPROVEMENTS HAS BEEN COMPLETED.

- FULL CERTIFICATE OF OCCUPANCY (CO) MAY NOT BE OBTAINED UNTIL ALL PUBLIC IMPROVEMENTS ARE ACCEPTED BY THE CITY OF ANKENY.



PROJECT SUMMARY

TOTAL SITE AREA: 251,067 SF, 5.76 ACRES
PROPOSED USE: MULTI-USE SINGLE-STORY COMMERCIAL
BUILDING INFORMATION: SINGLE-STORY COMMERCIAL BUILDINGS

PROPOSED BUILDING COVERAGE: 27,744 SF

PARKING REQUIREMENTS:
RESTAURANT = 4,260 SF/100 43 STALLS
PATIO SEATING = 47 SEATS/4 12 STALLS
COMMERCIAL = 22,073 SF/200 110 STALLS
165 STALLS

PARKING PROVIDED (PROPOSED): 209 STALLS (180 ON LOT & 29 ON STREET)

PROPOSED PRIVATE DRIVES & PARKING: 76,534 SF (INCLUDES OFF-SITE)
68,759 SF (ON LOT)

PROPOSED SIDEWALKS: 22,013 SF (INCLUDES R.O.W.)
20,516 SF (ON LOT)

COMBINED HARD SURFACE: 117,016 SF OR 2.69 ACRES (47%)
30.0 ERU'S (124,688 / 4000)

OPEN SPACE: 133,819 SF (53%)

PROPERTY ZONING: PRAIRIE TRAIL PUD (PLANNED UNIT DEVELOPMENT)

PROPERTY ADDRESS: 1630 SOUTH ANKENY BLVD.

PRAIRIE TRAIL PUD:

NEIGHBORHOOD COMMERCIAL

FRONT SETBACK: 10 FEET

FRONT FACADE ZONE: 15 FEET

NOTE: 20'-25' SETBACKS ARE ALLOWED FROM THE PROPERTY LINES ADJACENT TO SW SCHOOL STREET.

OWNER

ACCURATE DEVELOPMENT
JARED JOHNSON
9500 UNIVERSITY, STE 2112
WEST DES MOINES, IOWA 50266
515-556-0124

DEVELOPER

ACCURATE DEVELOPMENT
JARED JOHNSON
9500 UNIVERSITY, STE 2112
WEST DES MOINES, IOWA 50266
515-556-0124

LEGAL DESCRIPTION

LOT 1, HERITAGE COMMERCIAL AT PRAIRIE TRAIL PLAT 1, AN OFFICIAL PLAT, LOCATED IN THE CITY OF ANKENY, POLK COUNTY, IOWA.

CONTAINING 5.76 ACRES, MORE OR LESS

SAID PARCEL IS SUBJECT TO ANY AND ALL RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD.

SHEET LIST TABLE

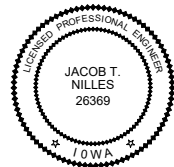
SHEET NO.	SHEET TITLE	DESCRIPTION
1	CV-1	COVER SHEET
2	DP-1	DIMENSION PLAN
3	DP-2	DIMENSION PLAN
4	GP-1	GRADING & EROSION CONTROL PLAN
5	GP-2	GRADING & EROSION CONTROL PLAN
6	GP-3	GRADING & EROSION CONTROL PLAN
7	GP-4	GRADING & EROSION CONTROL PLAN
8	GP-5	GRADING & EROSION CONTROL PLAN
9	UP-1	UTILITY PLAN
10	UP-2	UTILITY PLAN
11	LP-1	LANDSCAPE PLAN
12	LP-2	LANDSCAPE PLAN
13	DT-1	DETAILS

CONSTRUCTION SCHEDULE

SITE GRADING
UTILITY INSTALLATION
PAVING INSTALLATION

SPRING 2024
SPRING 2024
SPRING-SUMMER 2024

CERTIFICATIONS



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE DATE
JACOB T. NILLES, P.E. No 26369
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025

PAGES OR SHEETS
COVERED BY THIS SEAL:
SHEETS 1-13

PRELIMINARY - SUBMITTAL #8

1933 SW MAGAZINE ROAD
ANKENY, IOWA 50023-2555
(515) 965-0123 phone - (515) 965-3322 fax
Civil Engineering - Land Surveying
Landscape Architecture

REVISIONS:
1) UPDATED PER TECHNICAL REVIEW COMMENTS (8-14-2023)
2) UPDATED PER TECHNICAL REVIEW COMMENTS (10-4-2023)
3) UPDATED PER TECHNICAL REVIEW COMMENTS (10-26-2023)
4) UPDATED PER TECHNICAL REVIEW COMMENTS (8-15-2023)
5) UPDATED PER TECHNICAL REVIEW COMMENTS (10-13-2023)
6) UPDATED PER TECHNICAL REVIEW COMMENTS (12-15-2023)

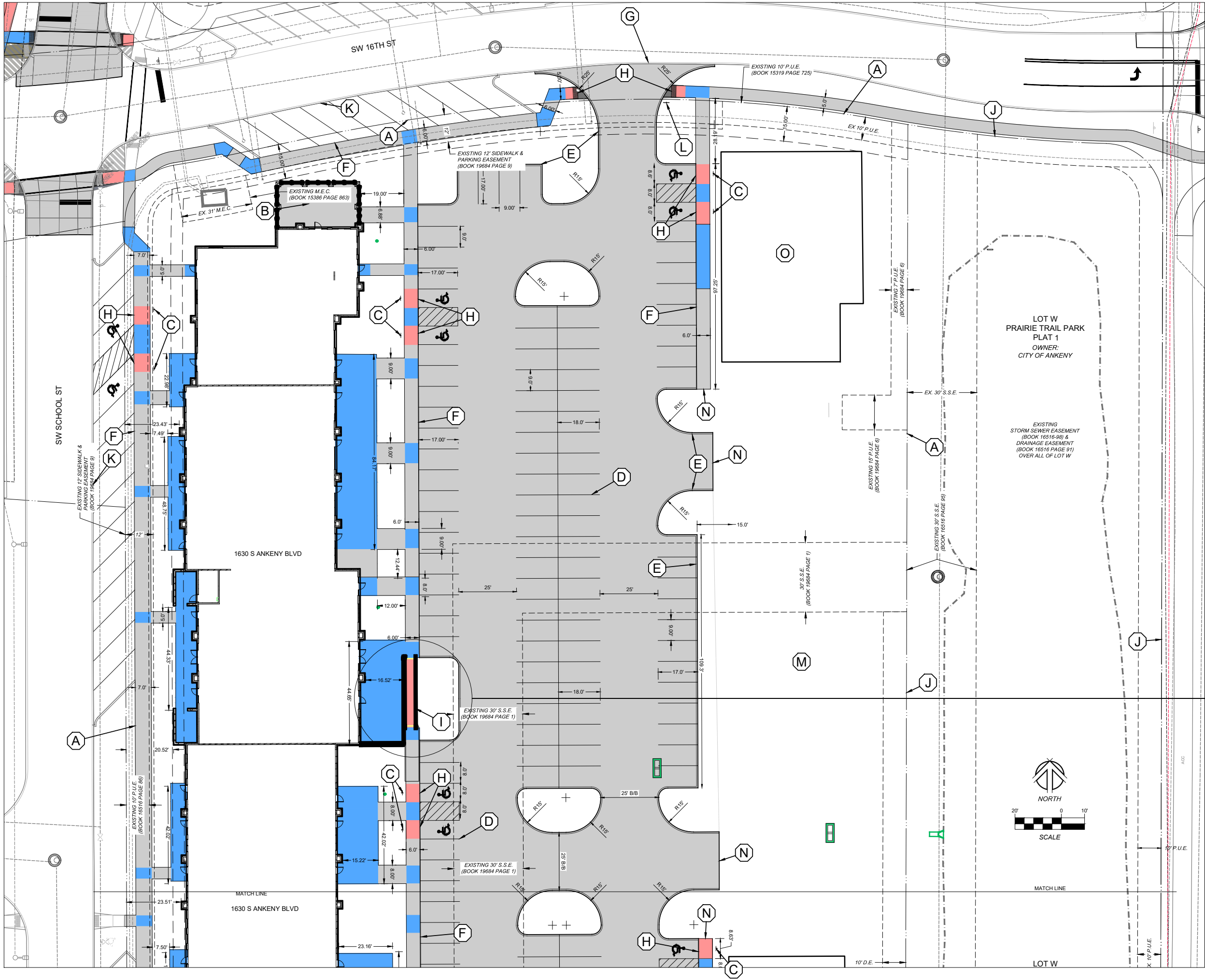
NOTE: NILLES ASSOCIATES, INC. WANTS ANY AND ALL DISPUTES TO BE RESOLVED BY ARBITRATION. THE ARBITRATION SHALL BE CONDUCTED IN THE CITY OF ANKENY, IOWA. THE ARBITRATOR SHALL BE APPOINTED BY THE ARBITRATION BOARD. THE ARBITRATOR SHALL FOLLOW THE RULES OF THE ARBITRATION BOARD. THE ARBITRATOR SHALL FOLLOW THE RULES OF THE ARBITRATION BOARD. THE ARBITRATOR SHALL FOLLOW THE RULES OF THE ARBITRATION BOARD.

LOT 1, HERITAGE COMMERCIAL AT PRAIRIE TRAIL PLAT 1

1630 S ANKENY BOULEVARD, ANKENY, IOWA

COVER SHEET

NAI NO.: 22111
DATE: 2/19/2024
DRAWN BY: BLH
CHECKED BY: JTN
SHEET SIZE: 24" X 36"
SHEET TITLE: CV-1
SHEET NO.: 1/13



GENERAL DIMENSION PLAN NOTES

1. BUILDING DIMENSIONS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. REFER TO ARCHITECTURAL PLAN FOR BUILDING DIMENSIONS.
2. ANY FUTURE DEVELOPMENT ITEMS SHOWN ARE TO PROVIDE DETAILS ON FUTURE SITE INTENTIONS. IT IS TO BE UNDERSTOOD THAT ALL FUTURE DEVELOPMENT ITEMS SHALL REQUIRE APPROVAL OF A NEW SITE PLAN AT THE TIME OF DEVELOPMENT.

DIMENSION PLAN NOTES

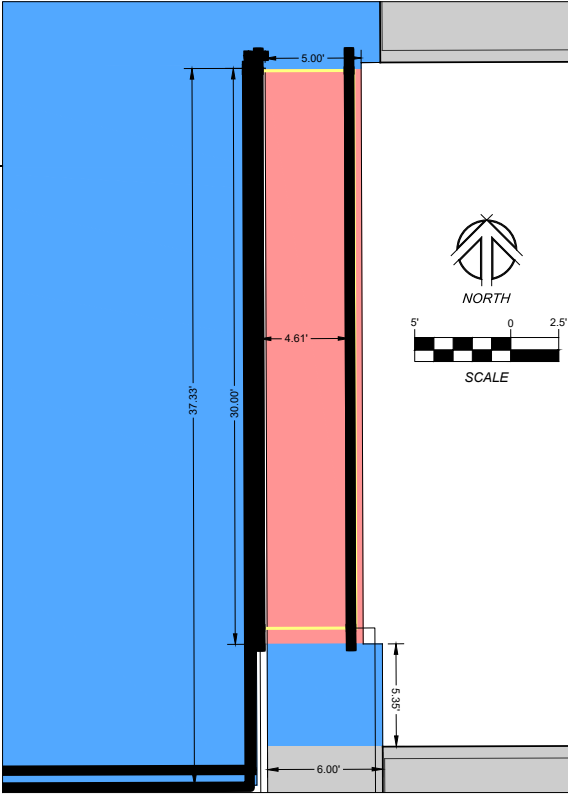
- A. LOT 1, PRAIRIE TRAIL PLAT 1 PROPERTY BOUNDARY.
- B. PATIO W/ CAPACITY FOR 45-47 SEATS.
- C. ACCESSIBLE STALL SIGNS IN ACCORDANCE WITH ANSI A117.1-09 SECTION 502.7, 12" BEHIND SIDEWALK. SEE DETAIL Z-1 ON SHEET DT-1.
- D. PROVIDE PARKING STALL AND LANE STRIPING AS SHOWN PER SUDAS 8020 AND IDOT SECTION 2527.
- E. 6" STANDARD CURB PER SUDAS FIGURE 7010.102.
- F. CLASS A SIDEWALK CURB. SEE DETAIL 3 ON SUDAS 7030.202.
- G. GRIND CURB AND INSTALL TYPE A DRIVEWAY CONNECTION TO EXISTING STREET PER SUDAS 7030.101.
- H. SIDEWALK RAMP - DROP CURB AS NECESSARY.
- I. RAMP WITH HANDRAILS ON BOTH SIDES.
- J. LOT W, PRAIRIE TRAIL PARK PLAT 1 PROPERTY BOUNDARY.
- K. REFER TO PLANS FOR PUBLIC IMPROVEMENTS FOR FURTHER INFORMATION ABOUT ON-STREET PARKING.
- L. INSTALL R1-1 STOP SIGN (30") ON BLACK WRAPPED POST PER MUTCD SECTION 2B.04
- M. FUTURE PARKING LOT EXPANSION.
- N. END OF PAVING.
- O. FUTURE BUILDING LOCATION. (APPROX.)

PAVING NOTES

1. PARKING LOT AND DRIVE AISLE PAVING SHALL BE NON-REINFORCED 6" P.C.C. ALL CONCRETE CURBS SHALL BE INTEGRAL TO PAVING SLAB.
2. TRASH ENCLOSURE PAD SHALL BE NON-REINFORCED P.C.C. WITH A MINIMUM THICKNESS OF 8".
3. SIDEWALKS SHALL BE NON REINFORCED P.C.C. WITH A MINIMUM THICKNESS OF 5 INCHES. PUBLIC SIDEWALK RAMPS SHALL BE NON-REINFORCED P.C.C. WITH A MINIMUM THICKNESS OF 6 INCHES.
4. PARKING STALLS ALONG PUBLIC STREETS SHALL BE 7" NON-REINFORCED P.C.C. CONSTRUCTED WITH A BT-1 JOINT ALONG EXISTING PAVEMENT, AS PER SUDAS 7010.101
5. REFER TO ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION ON STOOPS AND SIDEWALKS ADJACENT TO BUILDING.
6. ALL TRUNCATED DOME INSERTS FOR SIDEWALK SHALL BE CAST IN PLACE REPLACEABLE IN BLACK (FEDERAL COLOR NO. 37038) MANUFACTURED BY ADA SOLUTIONS, OR APPROVED EQUAL.

SIDEWALK LEGEND

- RAMP
- SPECIAL SHAPING
- TURNING SPACE MAX 1.5% IN ALL DIRECTIONS



PRELIMINARY - SUBMITTAL #8

1933 SW MAGAZINE ROAD
ANKENY, IOWA 50023-2555
(515) 965-0123 phone - (515) 965-3322 fax
Civil Engineering - Land Surveying
Landscape Architecture

NILLES ASSOCIATES

REVISIONS:

1	1) UPDATES PER TECHNICAL REVIEW COMMENTS (8-16-2023)
2	2) UPDATES PER TECHNICAL REVIEW COMMENTS (10-4-2023)
3	3) UPDATES PER TECHNICAL REVIEW COMMENTS (10-26-2023)
4	4) UPDATES PER TECHNICAL REVIEW COMMENTS (8-16-2023)
5	5) UPDATES PER TECHNICAL REVIEW COMMENTS (10-13-2023)
6	6) UPDATES PER TECHNICAL REVIEW COMMENTS (12-15-2023)
7	7) UPDATES PER TECHNICAL REVIEW COMMENTS (12-15-2023)

NOTE: NILLES ASSOCIATES, INC. MAKES NO WARRANTY, EXPRESS OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREIN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

PROJECT NAME: LOT 1, HERITAGE COMMERCIAL AT PRAIRIE TRAIL PLAT 1
1630 S ANKENY BOULEVARD, ANKENY, IOWA

DESCRIPTION: DIMENSION PLAN

PROJECT NUMBER: 22111

DATE: 2/19/2024

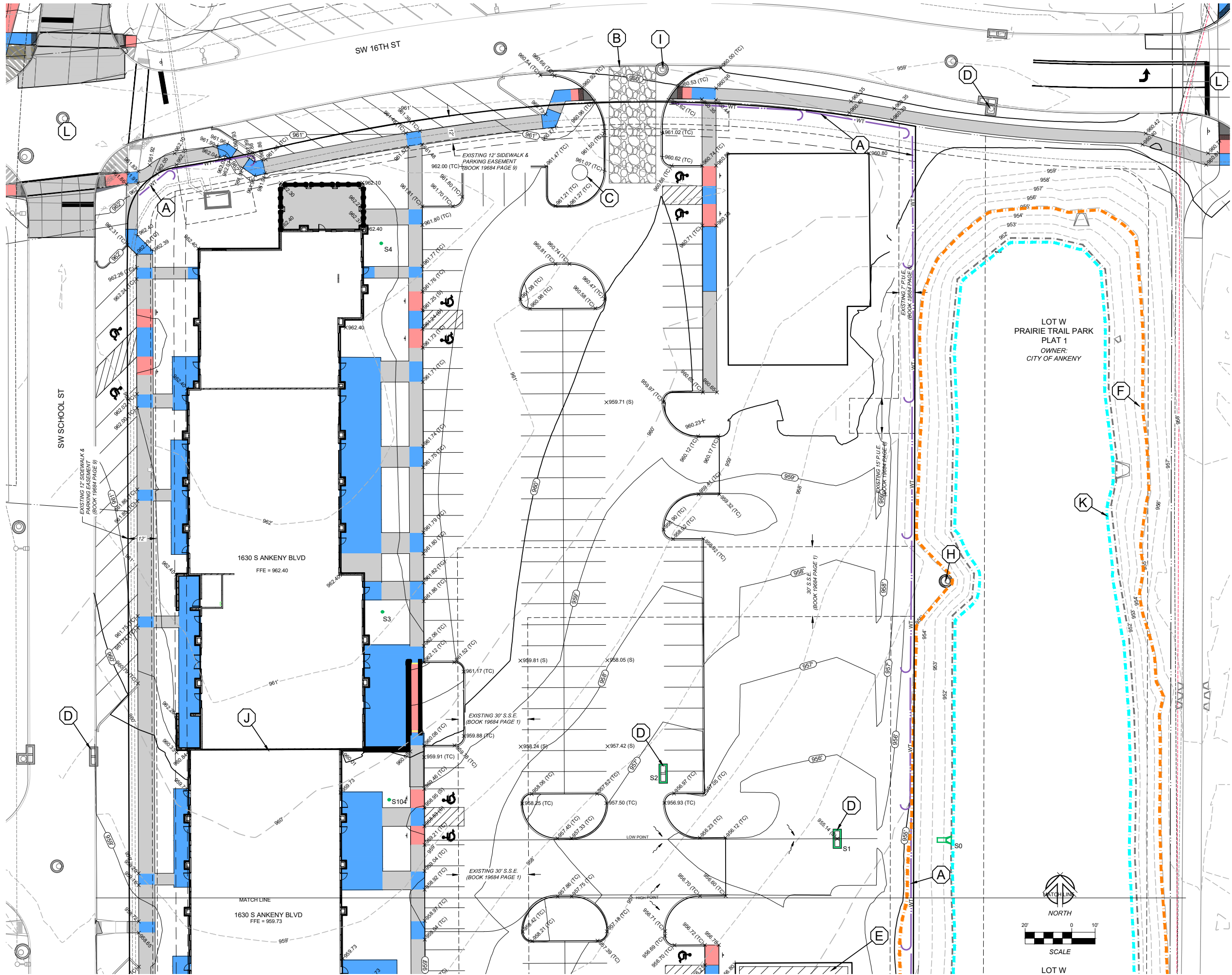
DRAWN BY: BLH

CHECKED BY: JTN

SHEET SIZE: 24" X 36"

SHEET TITLE: DP-1

SHEET NO.: 2/13



GENERAL GRADING PLAN NOTES

1. ALL EXTERIOR PAVING AREAS SHALL HAVE 12" DEPTH SUBGRADE PREPARATION. SCARIFY AND COMPACT PER GEOTECHNICAL REPORT EXTENDING 2' BEYOND PAVING LIMITS.
2. ANY FUTURE DEVELOPMENT ITEMS SHOWN ARE TO PROVIDE DETAILS ON FUTURE SITE INTENTIONS. IT IS TO BE UNDERSTOOD THAT ALL FUTURE DEVELOPMENT ITEMS SHALL REQUIRE APPROVAL OF A NEW SITE PLAN AT THE TIME OF DEVELOPMENT.

GRADING PLAN NOTES

- A. PROVIDE SILT FENCE AND 9" STRAW WATTLES WHERE SHOWN FOR EROSION CONTROL MEASURES. LINES MARKED —SF— AND —WT— RESPECTIVELY. 1260 LF OF WATTLE SHOWN. INSTALL PER SUDAS 9040.
- B. CONSTRUCTION ENTRANCE - 16" WIDE X 60" LONG X 12" DEPTH STONE. INSTALL PER SUDAS 9040.
- C. CONCRETE WASHOUT AREA.
- D. INSTALL AND MAINTAIN INLET PROTECTION DEVICE PRIOR TO AND FOLLOWING PAVEMENT INSTALLATION. REFER TO DETAIL 3 ON SHEET DT-1 FOR FURTHER INFORMATION.
- E. TOPSOIL STOCKPILE LOCATION.
- F. BASIN 100-YR STORM HIGH WATER ELEVATION=954.82.
- G. REFER TO SHEET GP-3 & 4 FOR RAMP DETAILS.
- H. PROTECT EXISTING SANITARY SEWER MANHOLES DURING CONSTRUCTION.
- I. ADJUST MANHOLE RIM TO FINISHED GRADE. EXISTING RIM ELEVATION = 959.98. PROPOSED RIM ELEVATION = 959.72. CHANGE CASTING TO AN EAST JORDAN SELF LEVEL.
- J. BUILDING STEP. 2'-8".
- K. AN-4 NORTH REGIONAL WET DETENTION BASIN. PERMANENT POOL ELEVATION=951.00.
- L. SEE PUBLIC IMPROVEMENT PLAN SET FOR INTERSECTION DETAILS.

GRADING PLAN LEGEND

- TC - TOP OF CURB ELEVATION
S - TOP OF SLAB ELEVATION
TW - TOP OF WALL
BW - BOTTOM OF WALL
- RAMP
SPECIAL SHAPING
TURNING SPACE
MAX 1.5% IN ALL DIRECTIONS
CONSTRUCTION ENTRANCE

PRELIMINARY - SUBMITTAL #8

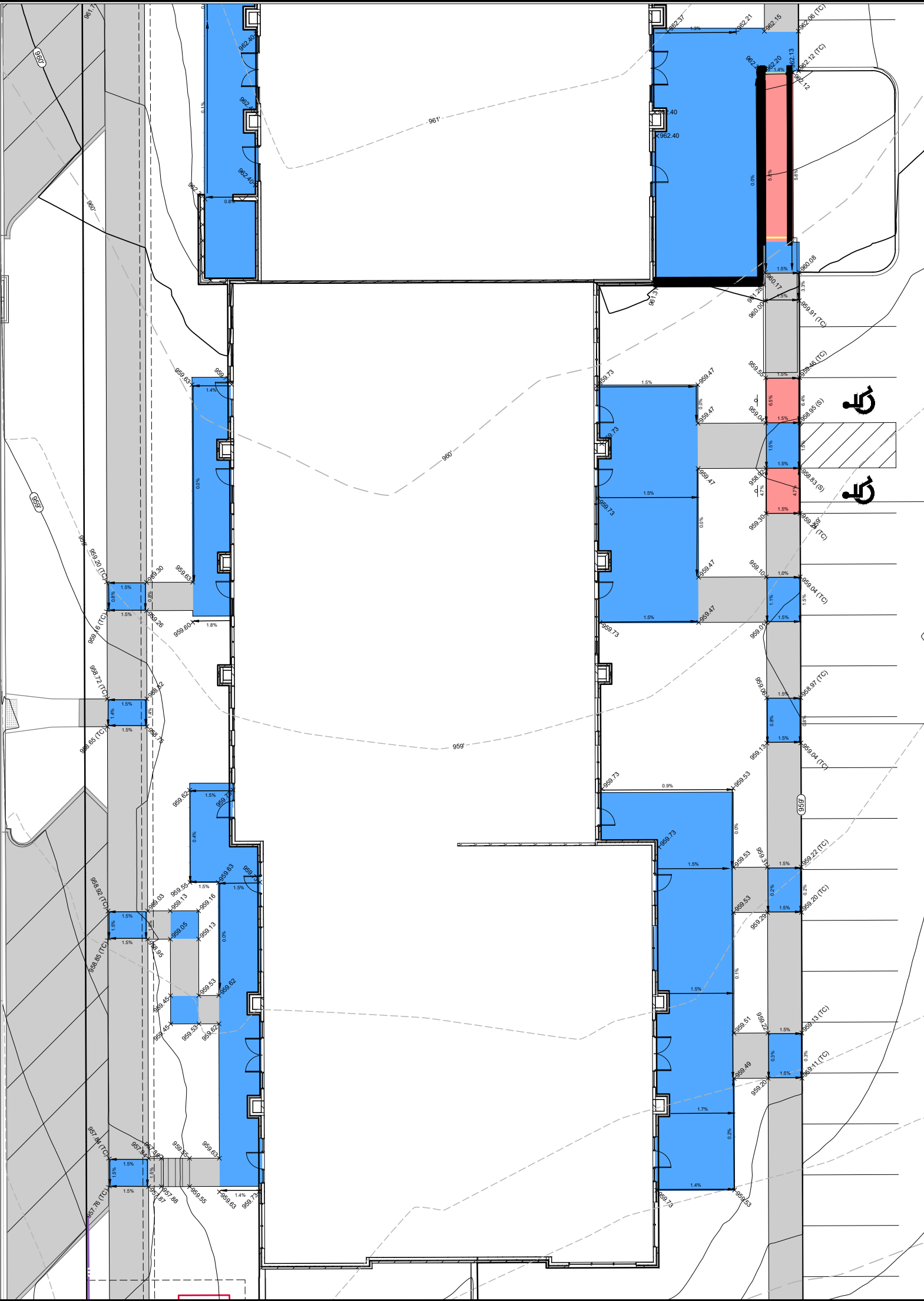
1933 SW MAGAZINE ROAD
ANKENY, IOWA 50023-2555
(515) 965-0123 phone - (515) 965-3322 fax
Civil Engineering - Land Surveying
Landscape Architecture

REVISIONS:
1) UPDATED PER TECHNICAL REVIEW COMMENTS (8-14-2023)
2) UPDATED PER TECHNICAL REVIEW COMMENTS (10-4-2023)
3) UPDATED PER TECHNICAL REVIEW COMMENTS (10-26-2023)
4) UPDATED PER TECHNICAL REVIEW COMMENTS (8-15-2023)
5) UPDATED PER TECHNICAL REVIEW COMMENTS (10-13-2023)
6) UPDATED PER TECHNICAL REVIEW COMMENTS (12-15-2023)

NOTES: NILES ASSOCIATES, INC. WAIVES ANY AND ALL CLAIMS FOR DAMAGES, INCLUDING BUT NOT LIMITED TO, CONSEQUENTIAL DAMAGES, ARISING FROM FAILURE TO FOLLOW THE INSTRUCTIONS OF THE ENGINEER OR THE ARCHITECT. THE ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

LOT 1, HERITAGE COMMERCIAL AT PRAIRIE TRAIL PLAT 1
1630 S ANKENY BOULEVARD, ANKENY, IOWA
GRADING & EROSION CONTROL PLAN

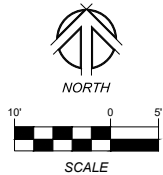
PROJECT NAME: LOT 1, HERITAGE COMMERCIAL AT PRAIRIE TRAIL PLAT 1
DATE: 2/19/2024
DRAWN BY: BLH
CHECKED BY: JTN
SHEET SIZE: 24" X 36"
SHEET TITLE: GP-1
SHEET NO.: 4/13

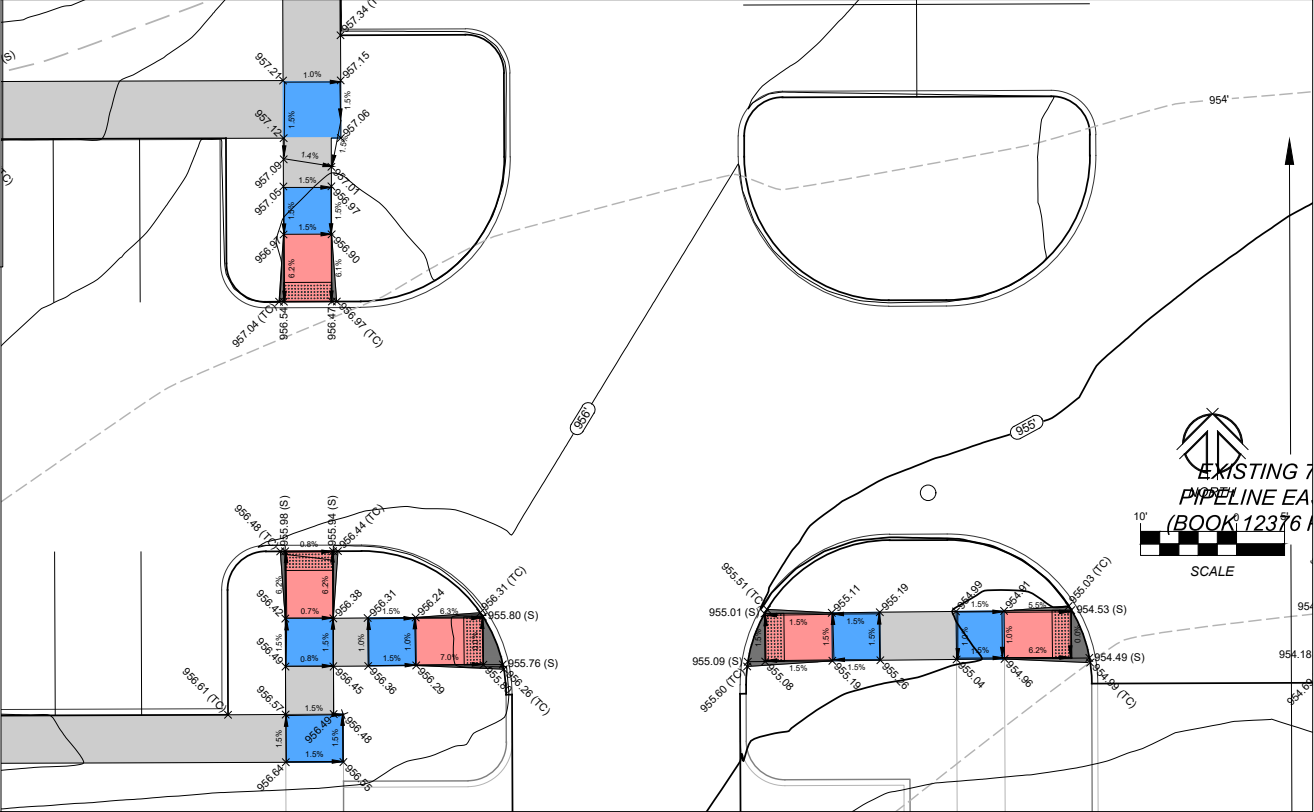
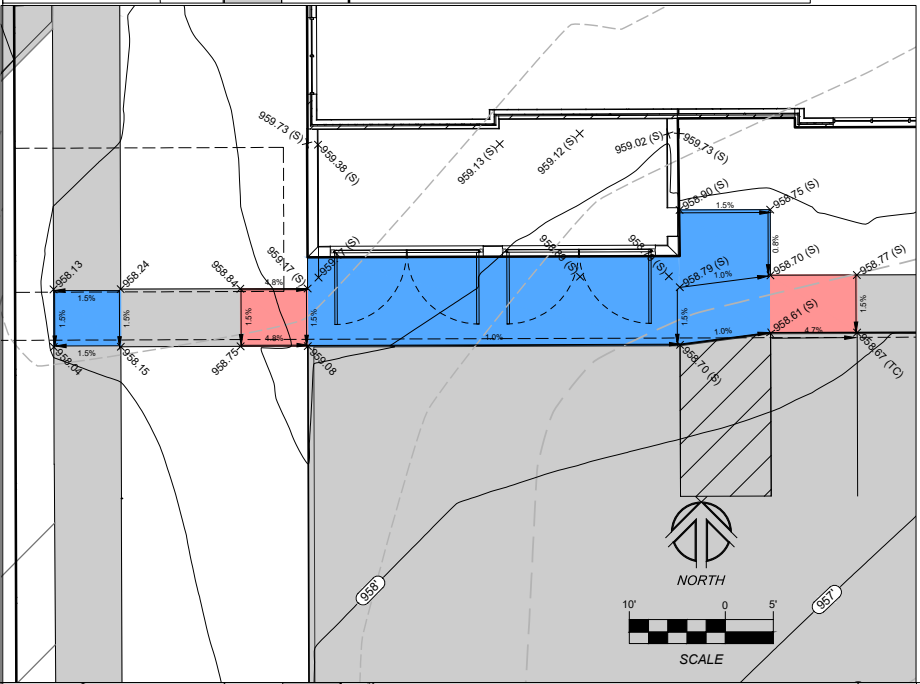
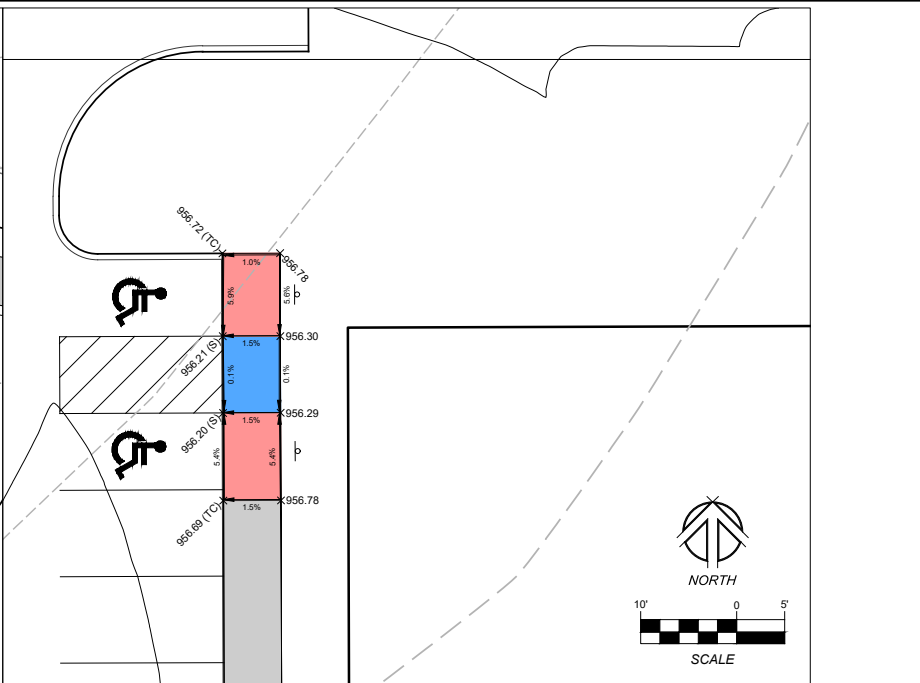
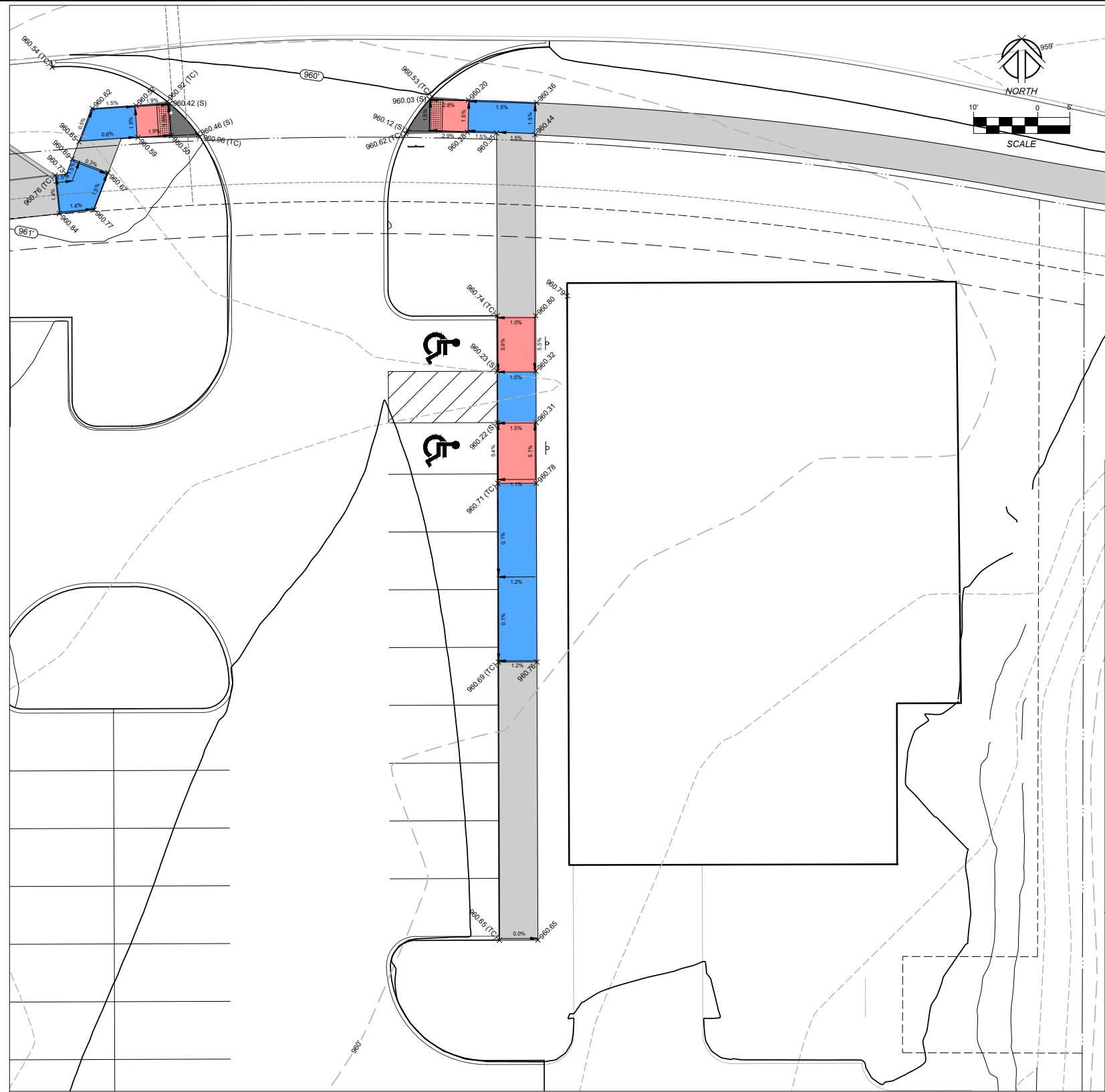


GRADING PLAN LEGEND

TC - TOP OF CURB ELEVATION
S - TOP OF SLAB ELEVATION
TW - TOP OF WALL
BW - BOTTOM OF WALL

RAMP
SPECIAL SHAPING
TURNING SPACE
MAX 1.5% IN ALL DIRECTIONS





GRADING PLAN LEGEND

TC - TOP OF CURB ELEVATION
S - TOP OF SLAB ELEVATION
TW - TOP OF WALL
BW - BOTTOM OF WALL

RAMP
SPECIAL SHAPING
TURNING SPACE
MAX 1.5% IN ALL DIRECTIONS

PRELIMINARY - SUBMITTAL #8

1933 SW MAGAZINE ROAD
ANKENY, IOWA 50023-2555
(515) 965-0123 phone - (515) 965-3322 fax
Civil Engineering - Land Surveying
Landscape Architecture

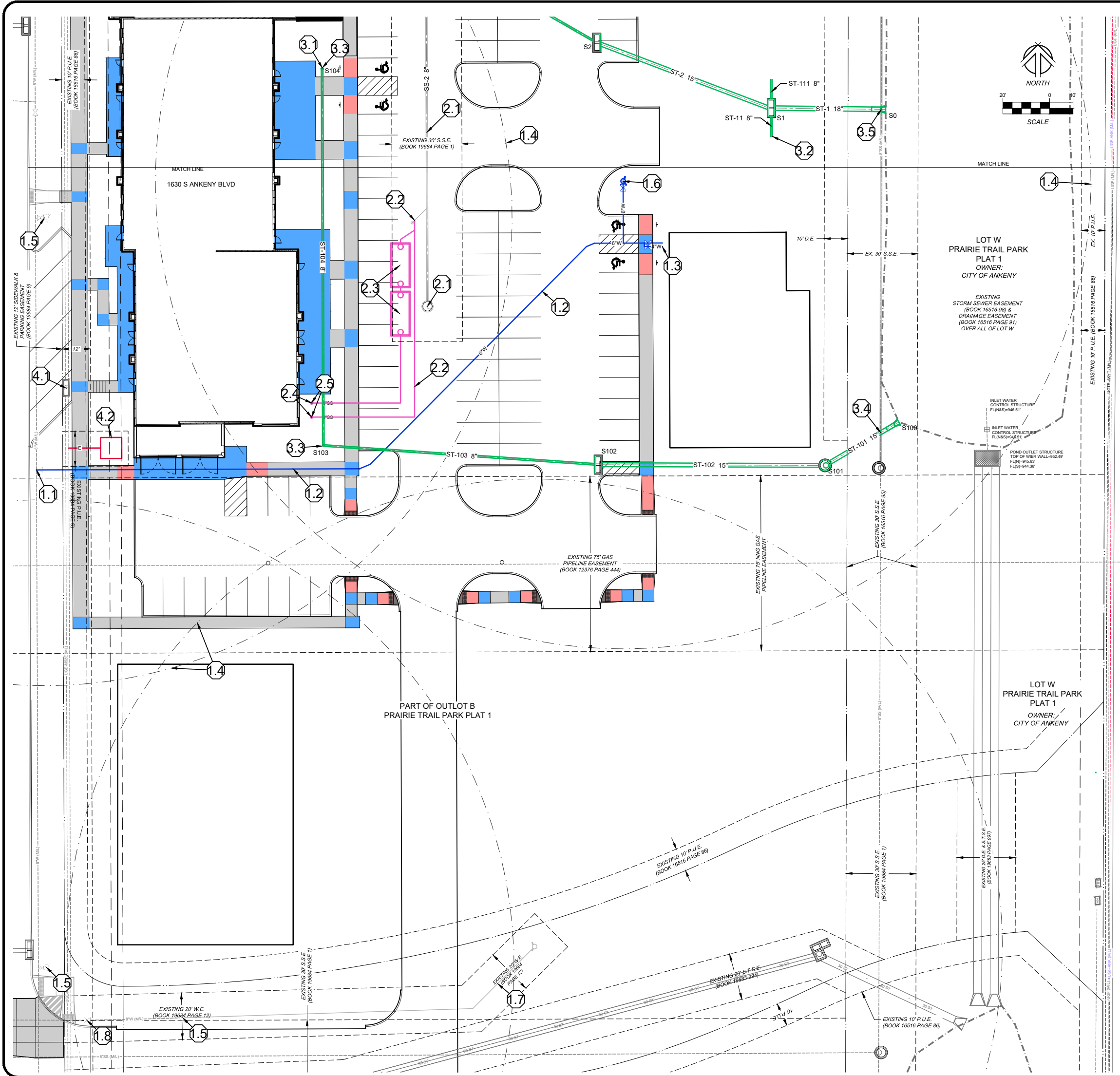
NILLES ASSOCIATES

REVISIONS:
1) UPDATES PER TECHNICAL REVIEW COMMENTS (9-14-2020)
2) UPDATES PER TECHNICAL REVIEW COMMENTS (10-14-2020)
3) UPDATES PER TECHNICAL REVIEW COMMENTS (10-26-2020)
4) UPDATES PER TECHNICAL REVIEW COMMENTS (9-15-2023)
5) UPDATES PER TECHNICAL REVIEW COMMENTS (10-13-2023)
6) UPDATES PER TECHNICAL REVIEW COMMENTS (12-15-2023)

NOTICE: NILLES ASSOCIATES, INC. WARRANTS THAT THE INFORMATION CONTAINED HEREIN IS ACCURATE AND COMPLETE TO THE BEST OF OUR KNOWLEDGE AND BELIEF. THE INFORMATION IS PROVIDED FOR YOUR INFORMATION ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE INFORMATION IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE INFORMATION IS NOT TO BE USED FOR ANY OTHER PURPOSE.

PROJECT NAME: LOT 1, HERITAGE COMMERCIAL AT PRAIRIE TRAIL PLAT 1
DESCRIPTION: GRADING & EROSION CONTROL PLAN

NAI NO.: 22111
DATE: 2/19/2024
DRAWN BY: BLH
CHECKED BY: JTN
SHEET SIZE: 24" X 36"
SHEET TITLE: GP-4
SHEET NO.: 7/13



GENERAL UTILITY PLAN NOTES

- 1. ANY FUTURE DEVELOPMENT ITEMS SHOWN ARE TO PROVIDE DETAILS ON FUTURE SITE INTENTIONS. IT IS TO BE UNDERSTOOD THAT ALL FUTURE DEVELOPMENT ITEMS SHALL REQUIRE APPROVAL OF A NEW SITE PLAN AT THE TIME OF DEVELOPMENT.

UTILITY PLAN NOTES

- 1. WATER MAIN SERVICE. 203 LF TOTAL (APPROXIMATELY) 6" WATER MAIN. INSTALL PIPE AND FITTINGS PER SUDAS 5010, 5020, 2015 INTERNATIONAL FIRE CODE, AND CITY OF ANKENY REQUIREMENTS. MAINTAIN DEPTH OF 5.5 FEET MINIMUM. CONSULT BUILDING PLANS FOR FOOTING DEPTH AND EXTENSION OF SERVICES TO METERS.
 - 1.1. 8" TAPPING SLEEVE AND VALVE FOR CONNECTION OF 6" SERVICE TO EXISTING 8" WATER MAIN.
 - 1.2. 8" WATER MAIN SERVICE. 333 LF TOTAL.
 - 1.3. WATER SERVICE CONNECTION AT BUILDING. REFER TO DETAIL 2 ON SHEET DT-1.
 - 1.4. 200' FIRE HYDRANT COVERAGE RADIUS.
 - 1.5. EXISTING FIRE HYDRANT.
 - 1.6. PROPOSED HYDRANT ASSEMBLY W/ GATE VALVE AS PART OF ASSEMBLY.
 - 1.7. 8" WATER MAIN BY OTHERS. REFER TO PUBLIC IMPROVEMENT PLANS FOR FURTHER DETAILS.
 - 1.8. EXISTING VALVE.
- 2. SANITARY SEWER WORK AND MATERIALS SHALL CONFORM TO SUDAS 4010.
 - 2.1. PROPOSED 8" SANITARY SEWER MAIN TO BE INSTALLED AS PART OF THE PLANS FOR PUBLIC IMPROVEMENT. REFER TO HERITAGE COMMERCIAL AT PRAIRIE TRAIL PLAT 1 CONSTRUCTION DRAWINGS FOR MORE INFORMATION.
 - 2.2. CONNECT TO 8" SANITARY SEWER WITH WYE AT INV 947.18 AND EXTEND 204 LF OF 6" SANITARY SERVICE TO 1630 SW SCHOOL STREET AT 1.0% MINIMUM SLOPE.
 - 2.3. SANITARY SEWER GREASE INTERCEPTORS. TANK SIZING SHALL BE APPROVED BY WRA PRIOR TO CONSTRUCTION. EXTEND ACCESS MANHOLES TO FINISH GRADE OF PARKING LOT AND PROVIDE INTERNAL VENTING. REFER TO MECHANICAL AND PLUMBING PLANS FOR ADDITIONAL INFORMATION.
 - 2.4. SANITARY SEWER CLEANOUT.
 - 2.5. SANITARY SEWER SERVICES INV. -951.73 AT BUILDING.
- 3. STORM SEWER. ALL WORK AND MATERIALS SHALL CONFORM TO SUDAS 4020, 4030, & 6010.
 - 3.1. CONNECT TO INTERNAL BUILDING ROOF DRAINS.
 - 3.2. INSTALL 8" STUB FOR CONNECTION TO FUTURE INTERNAL BUILDING ROOF DRAINS.
 - 3.3. STORM SEWER CLEANOUT, TYPE A.
 - 3.4. CRITICAL CROSSING LOCATION. MAINTAIN MINIMUM 18" SEPARATION BETWEEN PIPES. SANITARY INVERT ELEVATION=FIELD VERIFY STORM INVERT ELEVATION=951.02
 - 3.5. CRITICAL CROSSING LOCATION. MAINTAIN MINIMUM 18" SEPARATION BETWEEN PIPES. SANITARY INVERT ELEVATION = FIELD VERIFY STORM INVERT ELEVATION=951.00
- 4. ELECTRIC SERVICE. COORDINATE TRANSFORMER LOCATION AND CONNECTION TO EXISTING ELECTRIC SERVICE WITH MIDAMERICAN ENERGY.
 - 4.1. REMOVAL OF EXISTING TRANSFORMER. COORDINATE WORK WITH MIDAMERICAN ENERGY.
 - 4.2. PROPOSED TRANSFORMER LOCATION.

STORM STRUCTURE TABLE			
NAME	DESCRIPTION	RIM/TC	INVERT
S0	FLARED END SECTION		INV 951.00 (ST-1)
S1	(SW-505) DOUBLE RECTANGULAR INTAKE W/ SW-603 TYPE 6 CASTING	955.14	INV 951.39 (ST-2) INV 951.29 (ST-1) INV 951.39 (ST-111) INV 951.39 (ST-11)
S2	(SW-505) DOUBLE RECTANGULAR INTAKE W/ SW-603 TYPE 6 CASTING	956.02	INV 952.51 (ST-3) INV 952.41 (ST-2)
S3	STORM SEWER CLEANOUT, TYPE A	962.29	INV 955.95 (ST-3) INV 956.05 (ST-4)
S4	STORM SEWER CLEANOUT, TYPE A	962.20	INV 958.90 (ST-4)
S100	FLARED END SECTION		INV 951.00 (ST-101)
S101	(SW-401) 48" CIRCULAR STORM SEWER MANHOLE	956.16	INV 951.19 (ST-102) INV 951.09 (ST-101)
S102	(SW-505) DOUBLE RECTANGULAR INTAKE W/ SW-603 TYPE 6 CASTING	955.13	INV 951.43 (ST-102) INV 951.53 (ST-103)
S103	STORM SEWER CLEANOUT, TYPE A	958.14	INV 953.47 (ST-104) INV 953.47 (ST-103)
S104	STORM SEWER CLEANOUT, TYPE A	959.41	INV 955.93 (ST-104)

STORM PIPE TABLE					
NAME	SIZE	LENGTH	SLOPE	INLET INVERT	OUTLET INVERT
EX ST-311	30" RCP	205 LF	0.41%	944.63	943.78
ST-1	18" RCP	48 LF	0.60%	951.29	951.00
ST-2	15" RCP	78 LF	1.30%	952.41	951.39
ST-3	8" PVC	138 LF	2.50%	955.95	952.51
ST-4	8" PVC	157 LF	1.81%	958.90	956.05
ST-11	8" PVC	9 LF	2.48%	951.61	951.39
ST-101	15" RCP	35 LF	0.25%	951.09	951.00
ST-102	15" RCP	95 LF	0.25%	951.43	951.19
ST-103	8" PVC	119 LF	1.64%	953.47	951.53
ST-104	8" PVC	161 LF	1.52%	955.93	953.47
ST-111	8" PVC	9 LF	2.50%	951.61	951.39

PRELIMINARY - SUBMITTAL #8

1933 SW MAGAZINE ROAD
ANKENY, IOWA 50023-2555
(515) 965-0123 phone - (515) 965-3322 fax
Civil Engineering - Land Surveying
Landscape Architecture

NILLES ASSOCIATES

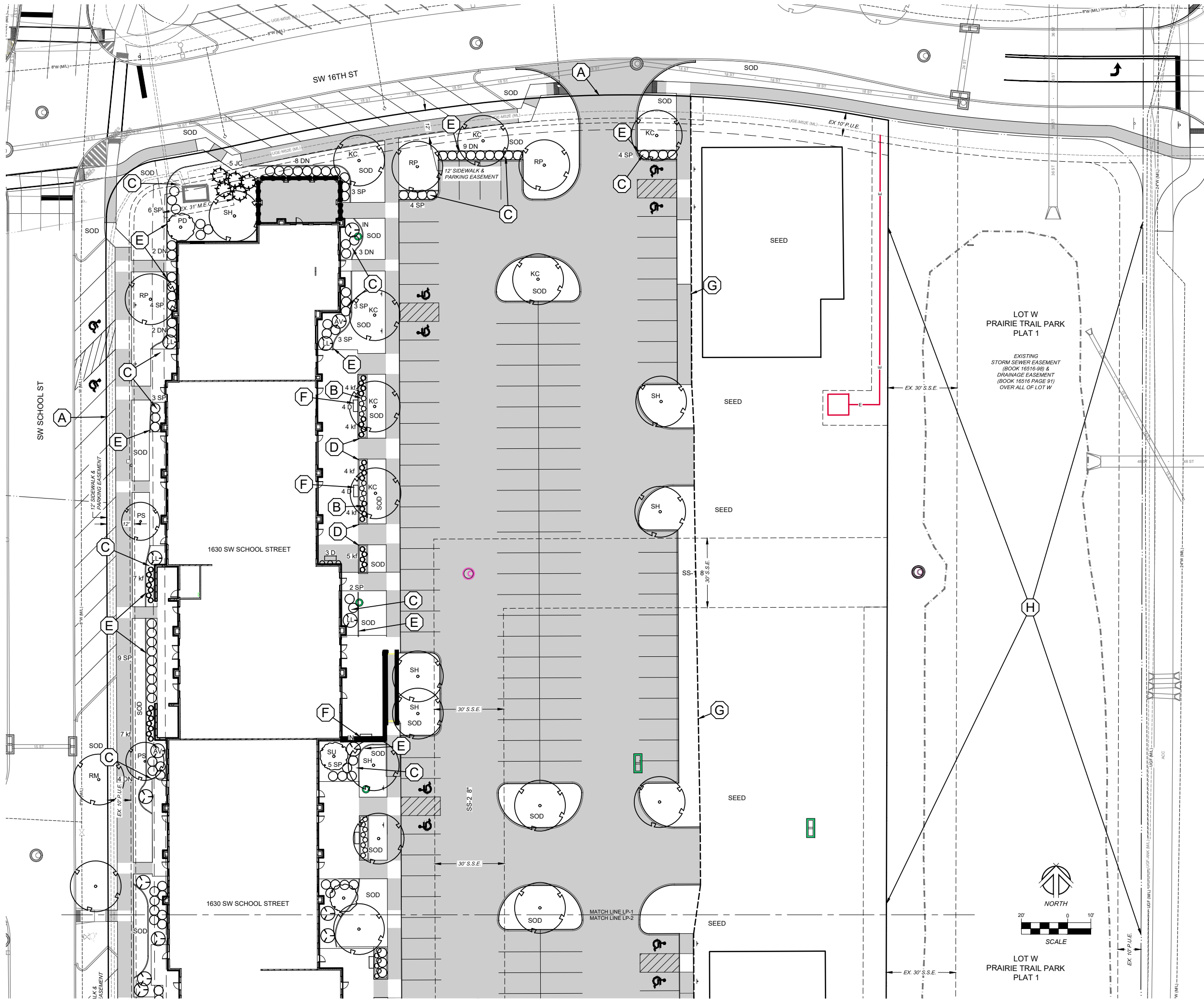
REVISIONS:
1) UPDATED PER TECHNICAL REVIEW COMMENTS (9-16-2023)
2) UPDATED PER TECHNICAL REVIEW COMMENTS (10-4-2023)
3) UPDATED PER TECHNICAL REVIEW COMMENTS (10-26-2023)
4) UPDATED PER TECHNICAL REVIEW COMMENTS (10-26-2023)
5) UPDATED PER TECHNICAL REVIEW COMMENTS (10-13-2023)
6) UPDATED PER TECHNICAL REVIEW COMMENTS (10-13-2023)
7) UPDATED PER TECHNICAL REVIEW COMMENTS (12-15-2023)
OR CONFLICTS WHICH ARE ALLEGED.

NOTES:
1) NILES ASSOCIATES, INC. WANTS ANY
PROFESSIONAL ENGINEER TO REVIEW
THIS PLAN AND ANY OTHER PLANS
FOR THE PROJECT AND TO SIGN AND
SEAL THE PLANS IN ACCORDANCE
WITH THE IOWA BOARD OF
ENGINEERING AND SURVEYING
RULES AND REGULATIONS.
2) THE ENGINEER'S SEAL AND
SIGNATURE ARE REQUIRED ON ALL
PLANS SUBMITTED FOR PERMITTING
AND CONSTRUCTION.

LOT 1, HERITAGE COMMERCIAL AT PRAIRIE TRAIL PLAT 1
1630 S ANKENY BOULEVARD, ANKENY, IOWA

UTILITY PLAN

NAI NO: 22111
DATE: 2/19/2024
DRAWN BY: BLH
CHECKED BY: JTN
SHEET SIZE: 24" X 36"
SHEET TITLE: UP-2
SHEET NO: 10/13



GENERAL SITE PLAN NOTES

1. ALL FUTURE DEVELOPMENT ITEMS ARE SHOWN TO PROVIDE DETAILS ON FUTURE SITE INTENTIONS. IT IS TO BE UNDERSTOOD THAT ALL FUTURE DEVELOPMENT ITEMS SHALL REQUIRE APPROVAL OF A NEW SITE PLAN AT THE TIME OF DEVELOPMENT.

GENERAL LANDSCAPING NOTES

1. ALL PLANT MATERIAL AND PLANTING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9200 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS) OMITTING PARTS 2.06 AND 3.08 (TREE WRAPPING) AND SUBJECT TO THE FOLLOWING NOTES.
2. NO SUBSTITUTIONS IN SPECIES LISTED WILL BE ACCEPTED WITHOUT APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. IF ANY UNAUTHORIZED SUBSTITUTIONS ARE MADE BY THE OWNER OR CONTRACTOR THE PROJECT LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE GROWTH OR PERFORMANCE OF THE PLANT MATERIAL.
3. PLANTINGS SHALL MEET THE MINIMUM SPECIES LISTED UNLESS LARGER CALIPER OR HEIGHTS ARE APPROVED BY THE OWNER AND PROJECT LANDSCAPE ARCHITECT.
4. ALL NURSERY STOCK MUST MEET THE MINIMUM STANDARDS ESTABLISHED IN THE MOST RECENT EDITION OF THE 'AMERICAN STANDARDS FOR NURSERY STOCK' PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
5. LANDSCAPE CONTRACTOR SHALL ENSURE PLANT MATERIAL RECEIVES ADEQUATE WATERING FOR A MINIMUM OF 30 DAYS AFTER PLANTING AND CONTINUING UNTIL SELF-SUFFICIENT.
6. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE TIME OF INSTALLATION. SEE PLANTING DETAILS FOR ADDITIONAL PLANTING INSTRUCTION.
7. DECIDUOUS TREES IN EXCESS OF 2" CALIPER AND CONIFEROUS TREES IN EXCESS OF 6 FEET IN HEIGHT SHALL BE STAKED OR GUYED. STAKING PROCEDURE SHALL ENSURE TRUNKS ARE PROTECTED FROM DAMAGE. STRAPS OR WIRES SHALL NOT BE OVERLY TIGHTENED TO ALLOW FOR SOME LATERAL TRUNK MOVEMENT.
8. ALL DISTURBED AREAS NOT DESIGNATED FOR PLANTING BEDS OR SPECIALTY PLANTING AREAS SHALL BE SEEDED WITH TYPE 1 PERMANENT LAWN SEED OR SODDED AS DIRECTED BY THE PLAN.
9. SODDING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9020 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS).
10. ALL PLANTING BEDS DESIGNATED FOR MULCH INCLUDING AREAS AROUND TREES & SHRUBS SHALL BE 3" DEPTH SHREDDED HARDWOOD - 4" DIAMETER (TREES) AND 2" DIAMETER (SHRUBS). A PRE-EMERGENT SUCH AS "PREEN" OR APPROVED EQUAL HERBICIDE SHALL BE APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE IMMEDIATELY AFTER MULCHING.

LANDSCAPE PLAN NOTES

- A. PROPERTY LINE.
- B. PLANTING BEDS WITH SHREDDED HARDWOOD MULCH AND NO WEED BARRIER. PREEN PRE-EMERGENT SHALL BE APPLIED IMMEDIATELY AFTER MULCH INSTALLATION.
- C. ROCK SHALL BE 2-3" DEPTH RIVER ROCK OF 1-3" DIAMETER RANDOM LENGTH, SAW-CUT ENDS.
- D. IOWA BUFF LIMESTONE EDGER, 3" THICK x 6" WIDE x VARIABLE RANDOM LENGTH, SAW-CUT ENDS.
- E. PRE-CAST CONCRETE EDGER TO BE SELECTED BY OWNER.
- F. BLACK BENCH TO BE SELECTED BY OWNER.
- G. LANDSCAPE PROJECT AREA BOUNDARY.
- H. UTILIZE NATIVE GRASS AND FORBS SEEDING AS PER SUDAS 9010 WITHIN BASIN OUTLOT AREA.

LANDSCAPING CALCULATIONS

OPEN SPACE REQUIREMENT
2 TREES AND 6 SHRUBS FOR EVERY 3,000 SF OF REQUIRED OPEN SPACE.
LANDSCAPE PROJECT TOTAL AREA: 141,175 SF 3.24 AC
141,175 X 20% (0.2) = 28,235 SF (REQUIRED OPEN SPACE)
28,235 / 3000 = 9.41 = 10 PLANT UNITS
REQUIRED QUANTITY PROVIDED QUANTITY
10 x 2 = 20 TREES 24 PROVIDED
10 x 6 = 60 SHRUBS 208 PROVIDED
OPEN SPACE QUANTITIES DO NOT INCLUDE STREET TREES OR PARKING LOT SCREENING SHRUBS.
PAVED PARKING AND DRIVE AREA IS 64,926 SF IN SIZE INCLUDING PROPOSED STREET PARKING STALL PAVING WITHIN THE LOT.
REQUIRED SHADING IS A MINIMUM OF 20% OF THE PAVED AREA. 64,926 X 20% (2) = 12,985 SF
OVERSTORY TREES PROVIDED WITHIN 15 FEET OF PAVED AREA ON 2 OR MORE SIDES COUNTED AT 100% OF 706 SF = 13 (8,178 SF)
OVERSTORY TREES PROVIDED WITHIN 15 FEET OF PAVING ON ONE SIDE COUNTED AT 50% OR 353 SF = 12 (4,236 SF)
TOTAL SF SHADED = 13,414 SF (20.6%)

PLANTING SCHEDULE

TREES & SHRUBS

KEY	COMMON / SCIENTIFIC NAME	MIN. SIZE	QTY.	ROOT / COMMENT
RM	Red Sunset Maple <i>Acer rubrum</i> 'Franksred'	2" Caliper	2	B&B or Container
KC	Kentucky Coffee Tree 'Espresso' <i>Gymnocladia dioica</i>	2" Caliper	10	B&B or Container
SH	Skyline Honey Locust <i>Gleditsia triacanthos</i> f. <i>inermis</i> 'Skycole'	2" Caliper	7	B&B or Container
PS	Pink Spire Crabapple <i>Malus</i> 'Pink Spire'	1.5" Caliper	4	B&B or Container
CO	Chinkapin Oak <i>Quercus muhlenbergii</i>	2" Caliper	1	B&B or Container
RP	Regal Prince Oak <i>Quercus x warei</i> 'Long'	2" Caliper	3	B&B or Container
PD	Pagoda Dogwood <i>Cornus alternifolia</i>	3-4" Height Multi-stem	2	Container
IN	Incredible Smooth Hydrangea <i>Hydrangea arborescens</i> 'Incrediball'	30" Height	3	Container
JC	Compact Fiter Juniper <i>Juniperus chinensis</i> 'pfitzeriana compacta'	18-24" Height	11	Container
DN	Diablo Ninerbark <i>Physocarpus</i> 'Diablo'	18-24" Height	46	Container
SU	Staghorn Sumac <i>Rhus typhina</i>	3-4" Height	2	Container
SP	Goldflame Spirea <i>Spiraea japonica</i> 'Goldflame'	18-24" Height	74	Container
AV	Chicago Lustre Arrowwood <i>Viburnum dentatum</i> 'Syrnvestedt'	3-4" Height	11	Container
LL	Dwarf Korean Lilac <i>Syringa meyeri</i> 'Palibin'	3-4" Height	6	Container

PERENNIAL GRASSES AND GROUNDCOVERS

KEY	COMMON / SCIENTIFIC NAME	MIN. SIZE	QTY.	ROOT / COMMENT
D	Stella d'Oro Daylily <i>Hemerocallis</i> 'Stella d' Oro'	#1	45	Container
kf	Feather Reed Grass <i>Calamagrostis x acutiflora</i> 'Karl Foerster'	#1	51	Container

PRELIMINARY - SUBMITTAL #8

1250 SW STATE STREET, SUITE A
ANKENY, IOWA 50023-2555
(515) 965-0723 phone • (515) 965-3322 fax
Civil Engineering • Land Surveying
Landscape Architecture

NILLES ASSOCIATES

REVISIONS
1) UPDATED PER TECHNICAL REVIEW COMMENTS (9-16-2023)
2) UPDATED PER TECHNICAL REVIEW COMMENTS (10-4-2023)
3) UPDATED PER TECHNICAL REVIEW COMMENTS (10-26-2023)
4) UPDATED PER TECHNICAL REVIEW COMMENTS (9-16-2023)
5) UPDATED PER TECHNICAL REVIEW COMMENTS (10-13-2023)
6) UPDATED PER TECHNICAL REVIEW COMMENTS (12-15-2023)
7) UPDATED PER TECHNICAL REVIEW COMMENTS (12-15-2023)

NOTES: NILLES ASSOCIATES, INC. MAKES NO WARRANTY, EXPRESS OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREIN. THE USER OF THIS DOCUMENT ASSUMES ALL LIABILITY FOR ANY ERRORS OR OMISSIONS. THE USER OF THIS DOCUMENT ASSUMES ALL LIABILITY FOR ANY ERRORS OR OMISSIONS. THE USER OF THIS DOCUMENT ASSUMES ALL LIABILITY FOR ANY ERRORS OR OMISSIONS.

LOT 1, HERITAGE COMMERCIAL AT PRAIRIE TRAIL PLAT 1

LANDSCAPE PLAN

PROJECT NAME: LOT 1, HERITAGE COMMERCIAL AT PRAIRIE TRAIL PLAT 1

DATE: 2/19/2024

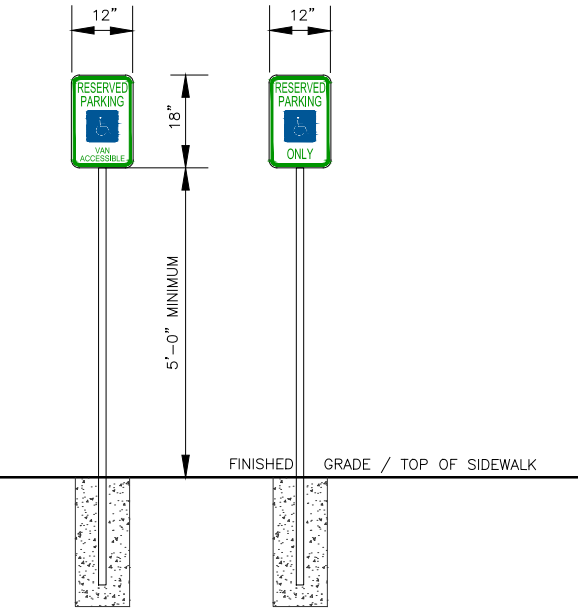
DRAWN BY: BLH

CHECKED BY: JTN

SHEET SIZE: 24" X 36"

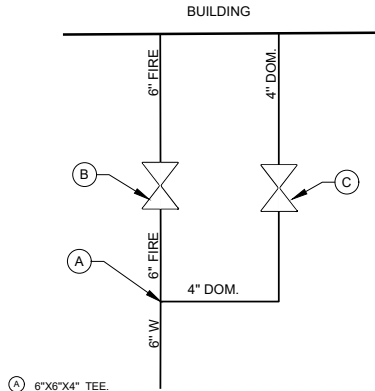
SHEET TITLE: LP-1

SHEET NO.: 11 / 13



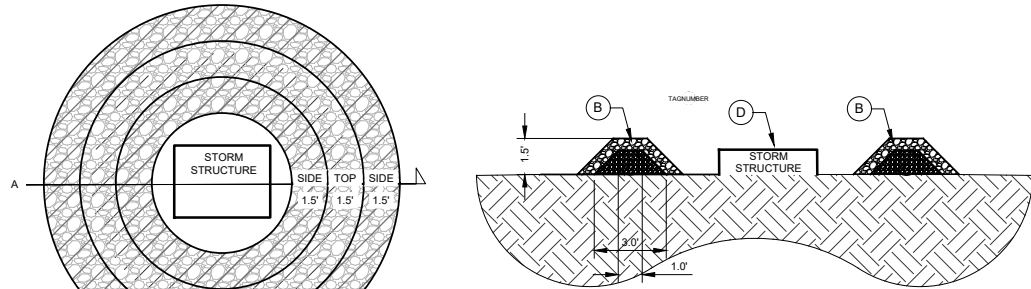
- (A) STANDARD ADA ACCESSIBLE PARKING SIGN IN ACCORDANCE WITH ANSI A117.1-09 SECTION 502.7 - PROVIDE AT ALL STALLS ADJACENT TO 5' WIDE ACCESS ISLE.
- (B) VAN ACCESSIBLE ADA PARKING SIGN IN ACCORDANCE WITH ANSI A117.1-09 SECTION 502.7 - PROVIDE AT ALL STALLS ADJACENT TO 8' WIDE ACCESS ISLE
- (C) METAL POSTS - EPOXY OR POWDER COATED BLACK
- (D) CONCRETE BASE

1 ACCESSIBLE SIGNS
DT-1 NO SCALE



- (A) 6"x8"x4" TEE.
- (B) 6" WATER MAIN VALVE
- (C) 4" WATER MAIN VALVE

2 WATER SERVICE CONNECTION
DT-1 NO SCALE



- (A) 1-INCH CLEAN STONE, TO FORM 1-FOOT HIGH MIN. X 1-FOOT WIDE MIN. CORE.
- (B) EROSION CONTROL STONE, 6-INCHES THICK, ON TOP AND SIDES OF BERM.
- (C) FINISH GRADE SURFACE.
- (D) REFER TO SHEET UP-1 FOR TOP OF STRUCTURE ELEVATIONS.

3 ROCK BERM
DT-1 NOT TO SCALE

PRELIMINARY - SUBMITTAL #8