

FOR LEASE

VISTA COMMERCE CENTER

3030 ENTERPRISE CT, SUITE A, VISTA, CA 92081

*±69,418 SF Distribution/MFG Space
Up to 18 docks Low NNN Expenses!*

[CLICK FOR VIDEO](#)

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km Kidder Mathews

3030 Enterprise Ct, Vista, CA

PROMINENT INDUSTRIAL PROPERTY

AVAILABILITY SUMMARY

POWER	2400A 277/480V (tenant to verify)
CLEAR HEIGHT	28'
DOCKS	Five (5) - expandable to 18 dock positions
GRADE LEVEL	Three (3) 12'x14'
SPRINKLERS	.33/3,000
GAS	Natural gas available
MEZZANINE	None
AVAILABLE DATE	Q2 2026

±69,418

SF AVAILABLE SPACE
(NO MEZZANINE)

DIVISIBLE

±23,359 - 69,418 SF

\$1.25

NNN LEASE RATE

\$.209

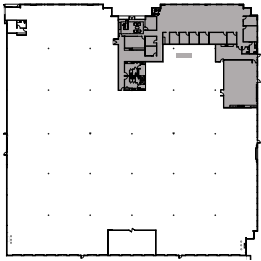
LOW NNN EXPENSES



*Kidder Mathews is pleased to present
a ±69,418 SF, highly functional distribution /
manufacturing space for lease in
Vista Commerce Center*

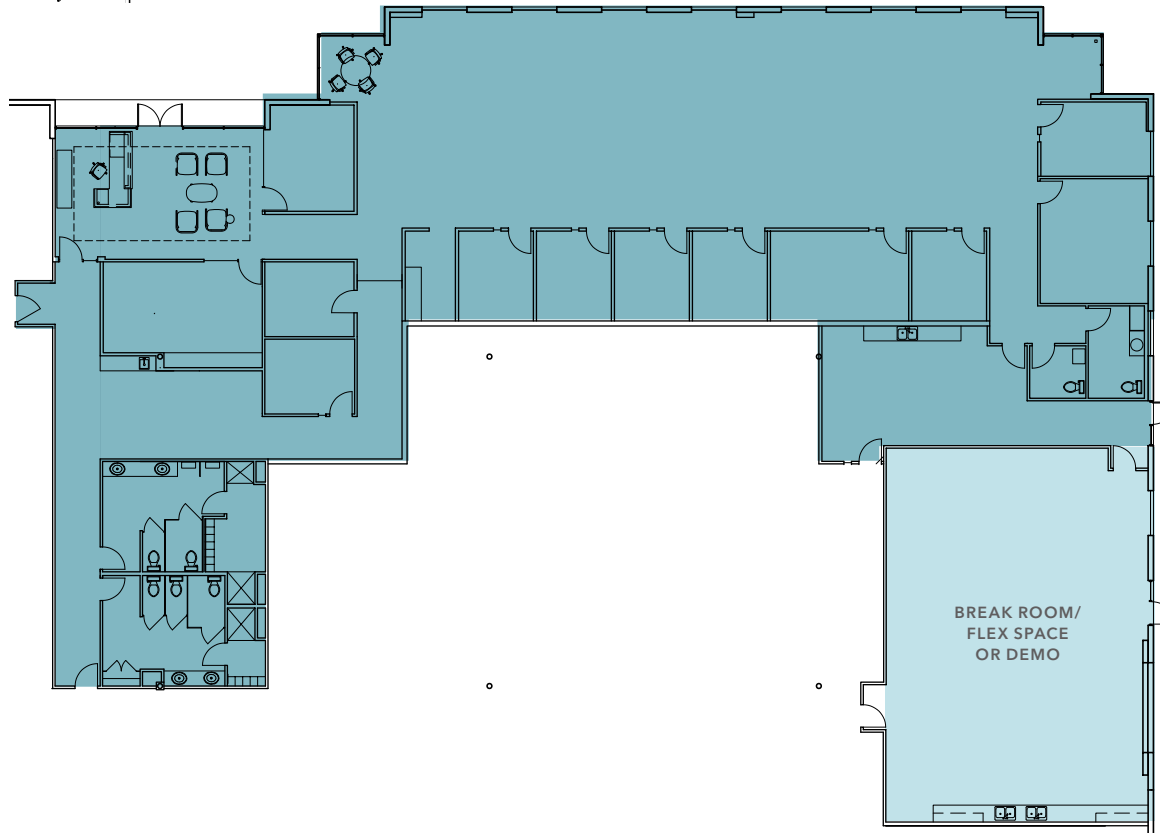
3030 Enterprise Court in Vista, California, is a prominent industrial property situated in the Vista Commerce Center. This Class A facility offers a blend of modern infrastructure and sustainable design, catering to a diverse range of tenants

CURRENT OFFICE FLOOR PLAN | SUITE A



LEGEND

-  HVAC Office Area | ±7,500 sf
-  Break Room/Flex Space (can be removed)



±69,418 SF

AVAILABLE SPACE (NO MEZZANINE)

±7,500 SF

SF OFFICE

\$1.25 NNN

LEASE RATE

\$.209 / SF

LOW NNN EXPENSES

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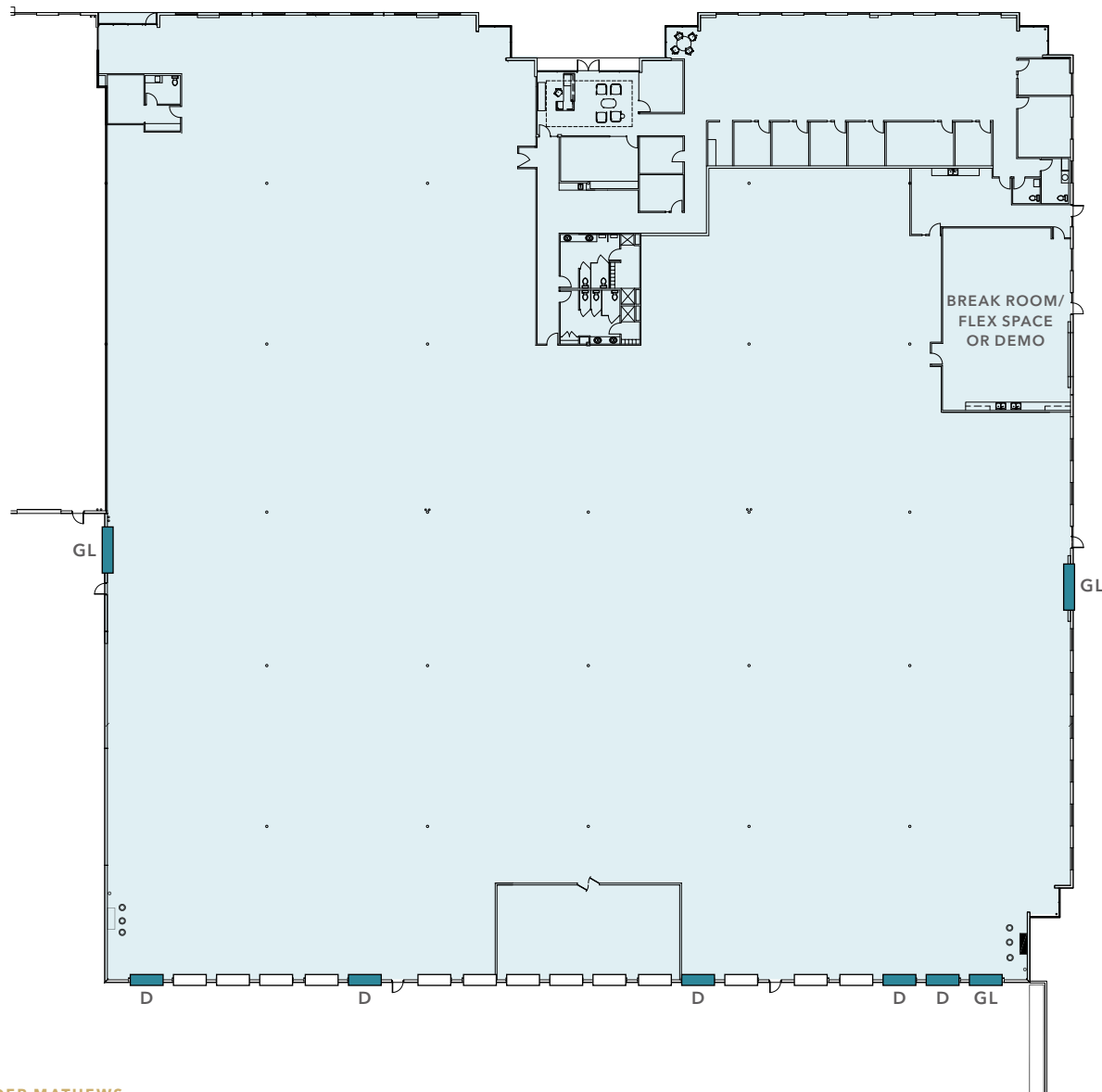
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CURRENT SUITE A FLOOR PLAN



±69,418 SF

AVAILABLE SPACE (NO MEZZANINE)

±7,500 SF

SF OFFICE

\$1.25 NNN

LEASE RATE

\$.209 / SF

LOW NNN EXPENSES

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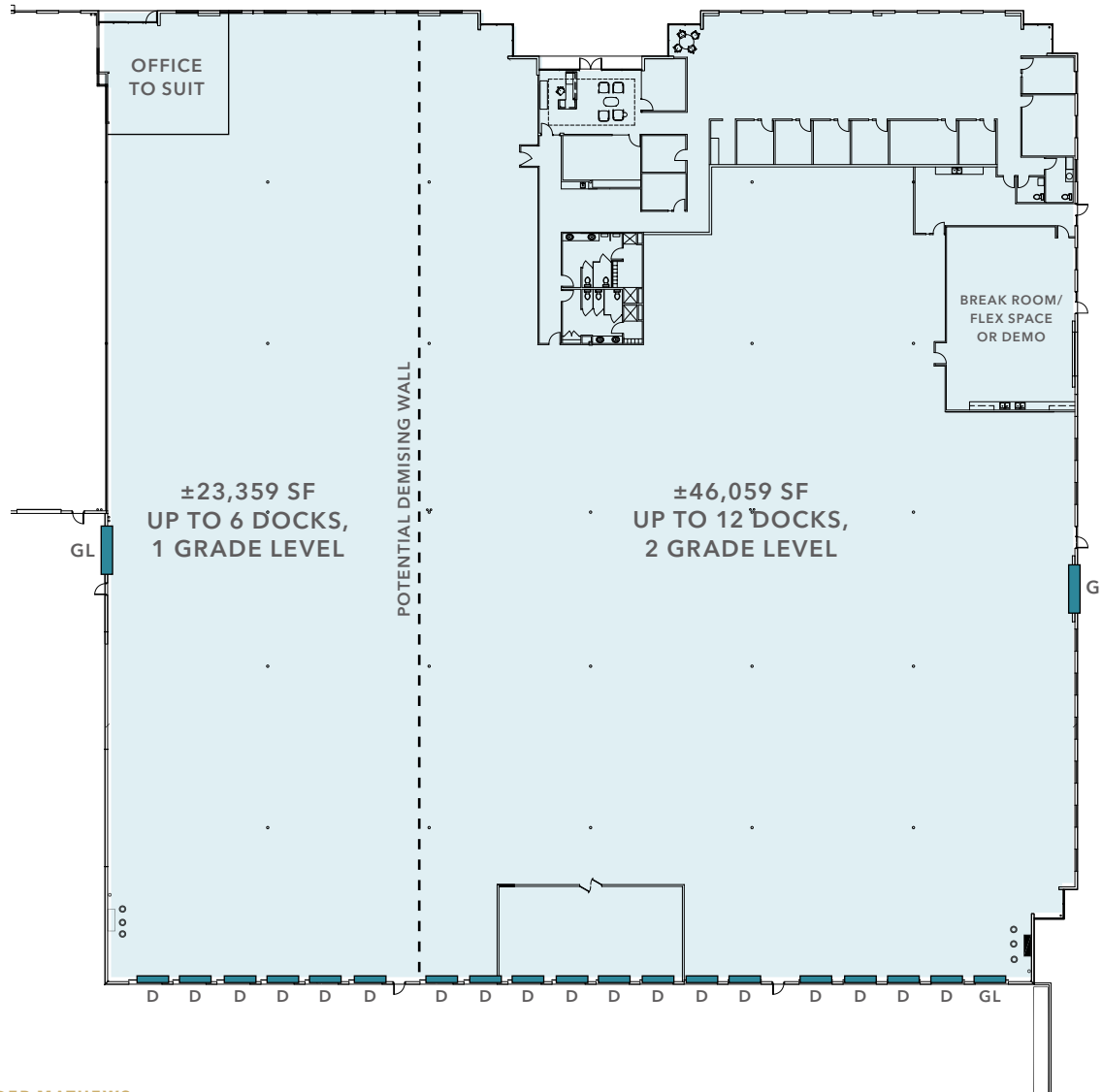
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FLOOR PLAN - CONCEPTUAL ±23,359 & 46,059 SF (DEMISING OPTIONS)



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HIGHLY- ACCESSIBLE LOCATION

Close to McClellan-Palomar Airport

Conveniently located near major
confluences Highway-78 and Interstate-5

Located in Vista's prime industrial area

Easy for visitors to locate

7 MIN

CALIFORNIA 78
VIA SYCAMORE AVE

10 MIN

MCCLELLAN-
PALOMAR AIRPORT



VISTA COMMERCE CENTER

*Exclusively
listed by*

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