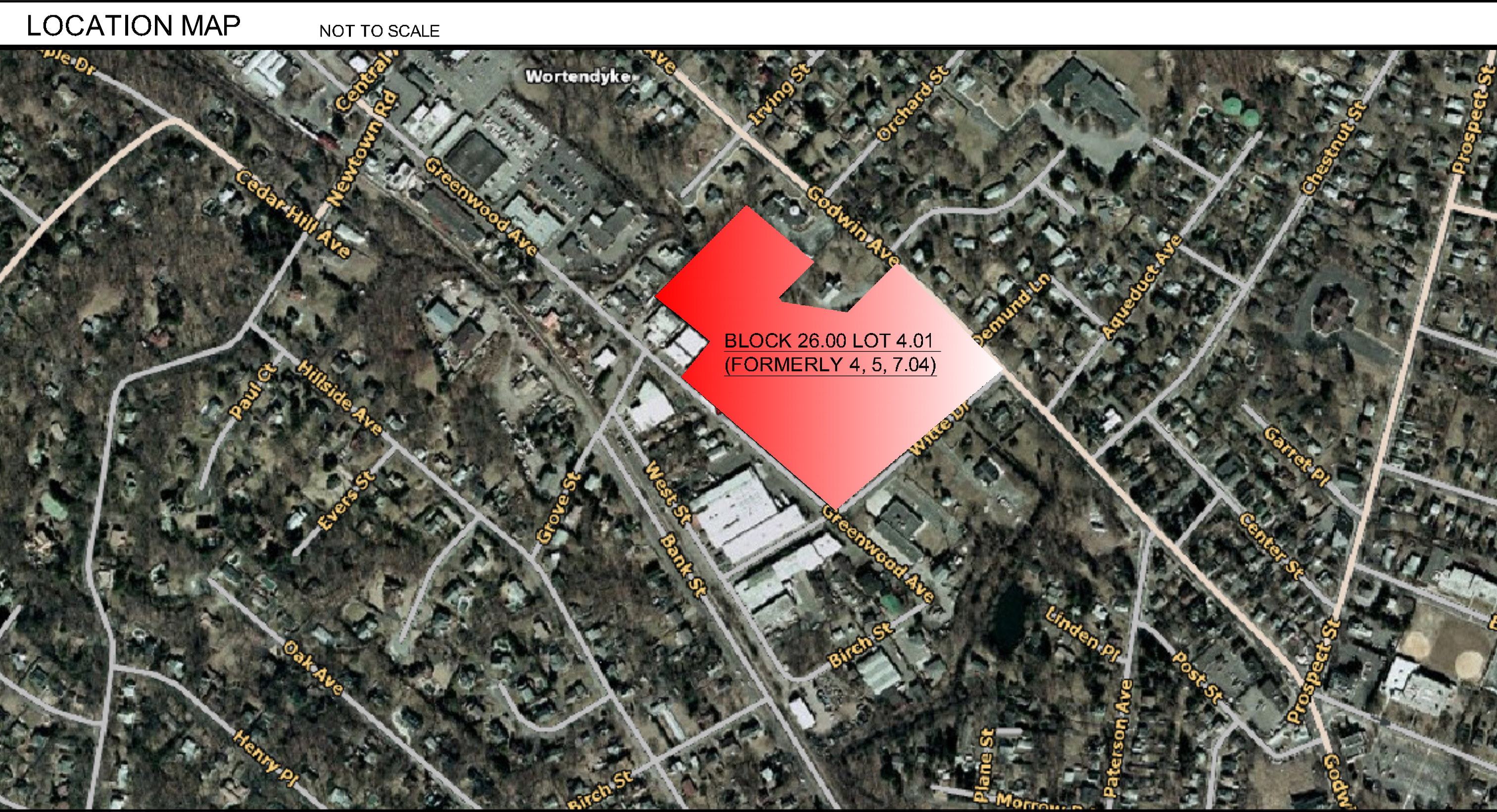
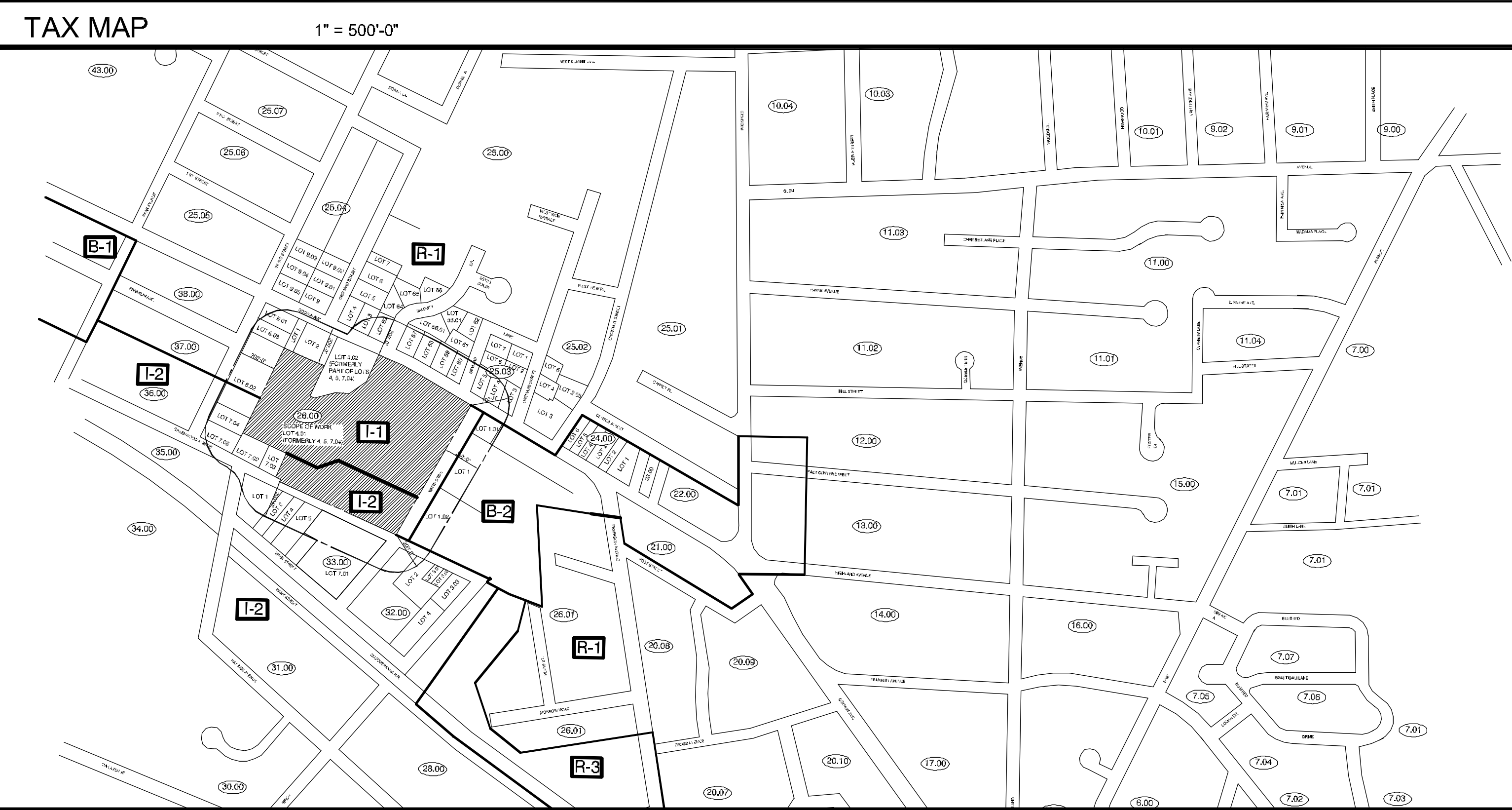
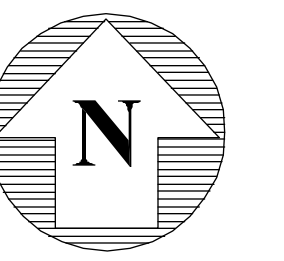


PARKING PLAN MARLOW PARK, LLC

BLOCK: 26.00 LOT 4.01 (FORMERLY LOTS: 4, 5, 7.04)
BOROUGH OF MIDLAND PARK BERGEN COUNTY, NEW JERSEY

NICK TSAPATSARIS P.E. R.A.
N.J. Architect Lic. 15195
N.J. Engineer Lic. 35446
N.Y. Engineer Lic. 67301



SITE DATA	
OWNER OF RECORD:	MARLOW PARK, L.L.C. 80 GREENWOOD AVENUE MIDLAND PARK, NJ 07432
CURRENT ZONING DISTRICT:	I-1 - INDUSTRIAL DISTRICT I-2 - INDUSTRIAL DISTRICT
PROPOSED SITE DEV'T:	INDUSTRIAL, WAREHOUSE, STORAGE, WHOLESALE AND OFFICE
APPLICANT:	MARLOW PARK, L.L.C. 80 GREENWOOD AVENUE MIDLAND PARK, NJ 07432
SITE AREA:	BLOCK 26.00 574,419 SQFT. (13.19 ACRES)
EXISTING SITE DEV'T:	INDUSTRIAL, WAREHOUSE, STORAGE, WHOLESALE, MANUFACTURING, OFFICE, PHYSICAL THERAPY
PARKING PLAN	BLOCK 26.00 LOT 4.01 (FORMERLY 4, 5, 7.04)
Date:	JANUARY 10, 2013
Scale:	1" = 50'-0"
Applicant:	Marlow Park, L.L.C.
I consent to the filing of this Site Plan with the Planning Board of the Borough of Midland Park, New Jersey. Owner: _____ Date: _____	

REVISIONS:
03-27-2013 - REV. AS PER NEW PARKING LAYOUT AND STRIPING PLAN
05-04-2013 - REVISED AS PER COMMENTS OF THE RESOLUTION 06-17-13
11-14-2013 - REVISED AS PER COMMENTS OF THE RESOLUTION 06-17-13

200 FEET PROPERTY OWNER LIST

Block	Lot	CLA	Property owner	Property Location
26	3	2	Mc Donald, John J & Joanne M	476 Godwin Ave. Midland Park, NJ 07432
25	4	2	Cooper, Kenneth & Mary Lou	484 Godwin Ave. Midland Park, NJ 07432
25	5	2	Campolo, Donati C & Maney, Marilyn	18 Orchard St Midland Park, NJ 07432
25	56.01	2	Henderson, Evelyn K	6 Baldin Dr Midland Park, NJ 07432
25	57	2	Capote, Victor & Susana	2 Baldin Dr Midland Park, NJ 07432
25	58	15D	Midland Park Methodist Church	452 Godwin Ave. 289 Godwin Ave. Midland Park, NJ 07432
25	59	2	O'Neill, Thomas E & Rosalie	444 Godwin Ave. Midland Park, NJ 07432
25	60	2	Winters, Melvin & Linda	5 Demund Ln Midland Park, NJ 07432
25	61	2	Haggopian, Marcello & Martha	15 Demund Ln Midland Park, NJ 07432
25	63	2	Hagadom, Patricia M	3 Baldin Dr Midland Park, NJ 07432
25	64	2	O'Donovan, Kathleen	7 Baldin Dr 18 Terquile Rd. Monmouth, NJ 07645
25.03	3	2	Richter, Thomas E	410 Godwin Ave. Midland Park, NJ 07432
25.03	4	2	Kapriyan, Kim & Mari	420 Godwin Ave. Midland Park, NJ 07432
25.03	5	2	Holm, Bradford N. II & Elisabeth A	426 Godwin Ave. Midland Park, NJ 07432
25.04	9	2	March, Arne & Linda H	7 Orchard St Midland Park, NJ 07432
25.04	9.01	2	Hubert, Vincent P & Sherrie Null	17 Orchard St Midland Park, NJ 07432
25.04	9.05	2	Patel, Rajan & Bindu	70 Invt St Midland Park, NJ 07432
26	1	15D	St. Stephens Malankara	503 Godwin Ave Allendale, NJ 07432
26	2	15D	St. Stephens Malankara	497 Godwin Ave Allendale, NJ 07432
26	6.01	2	Dallessio, Gerald T	30 Englishman Dr Midland Park, NJ 07432
26	6.02	2	Healy, Thomas M & Stephanie	20 Englishman Dr Midland Park, NJ 07432
26	6.03	2	Diam, Michael S & Lauren K	10 Englishman Dr Midland Park, NJ 07432
26	6.04	4B	Nydum, Frank	126 Greenwood Ave 1155 NE Tuxedo TER Ridgewood, NJ 07450
26	7.01	4B	Nydum, Frank	124 Greenwood Ave 1155 NE Tuxedo TER Ridgewood, NJ 07450

ZONING ANALYSIS

ORDINANCE SECTION	DEFINITION	REQUIRED OR ALLOWED
I-1	I-2	I-1 INDUSTRIAL DISTRICT
I-1	I-2	I-2 INDUSTRIAL DISTRICT
I-1 & I-2	INDUSTRIAL ZONING DISTRICT	
34-101.1	34-111.1-1.0	PERMITTED USES
34-101.1.2.1	-	LOT AREA
34-2.2 (SCH) 34-3.1	34-2.2 (SCH) 34-3.1	LOT WIDTH
34-2.2 (SCH) 34-3.2	34-2.2 (SCH) 34-3.2	LOT DEPTH
34-101.1.2.7	34-111.2.1	BUILDING COVERAGE
34-2.2 (SCH) 34-3.1.1.1	34-111.2.1	IMPROVED LOT COVERAGE
326.8.9.a.g	326.8.9.a.g	LANDSCAPED PLANTED AREA
34-101.1.2.1	34-111.2.1	BUILDING HEIGHT
34-101.1.2.2	34-111.2.2	FRONT YARD SETBACK
34-101.1.2.2	34-111.2.2	GODWIN AVENUE
34-101.1.2.2	34-111.2.2	WITTE DRIVE
34-101.1.2.2	34-111.2.2	GREENWOOD AVENUE
34-101.1.2.3	34-111.2.3	SIDE YARD SETBACK
34-101.1.2.4	34-111.2.4	REAR YARD SETBACK
34-14.3	-	DESIGN STANDARDS / REQUIREMENTS
34-101.1	-	PRINCIPAL BUILDING
34-101.1	-	BUFFER ZONE REAR AND SIDE YARD ADJACENT TO RESIDENTIAL ZONES
34-15.2	-	BUFFER ZONE STREETS AND PARKING
328.2.3.1.1	-	PARKING LOCATION
328.2.3.1.2	-	PARKING AISLE WIDTH
328.2.3.1.3	-	PARKING SPACES
328.2.3.1.4	-	LOADING
34-18.2 (SCHEDULE B)	-	OFF-STREET PARKING
34-18.2 (SCHEDULE B)	-	OFFICE PARKING
34-18.2 (SCHEDULE B)	-	WHOLESALE ESTABLISHMENT
34-18.2 (SCHEDULE B)	-	WAREHOUSE / STORAGE
34-18.2 (SCHEDULE B)	-	INDUSTRIAL / MANUFACTURING
34-18.2 (SCHEDULE B)	-	PHYSICAL FITNESS THERAPY
34-18.2 (SCHEDULE B)	-	MOTOR VEHICLE SERVICE
34-18.2 (SCHEDULE B)	-	RETAIL
34-18.2 (SCHEDULE B)	-	VACANT
34-18.2 (SCHEDULE B)	-	PARKING NOTES

BLOCK 26.00 LOT 4.01 FORMERLY LOTS 4, 5, 7.04

EXISTING	PROPOSED	REMARKS
PROPERTY TOTALS LOT 4.01 BLOCK 26.00	PROPERTY TOTALS LOT 4.01 BLOCK 26.00	
48,916 S.F. OFFICE 11,410 S.F. WHOLESALE 88,182 S.F. WAREHOUSE/STORAGE 4,325 S.F. MANUFACTURING 3,518 S.F. PHYSICAL THERAPY	48,916 S.F. OFFICE 11,410 S.F. WHOLESALE 88,182 S.F. WAREHOUSE/STORAGE 4,325 S.F. MANUFACTURING 3,518 S.F. PHYSICAL THERAPY	COMPLIES
574,419 SQFT. (13.19 ACRES)	574,419 SQFT. (13.19 ACRES)	COMPLIES
717.10 FT.	717.10 FT.	COMPLIES
712.85 FT.	712.85 FT.	COMPLIES
13.9% (78,969 S.F. FAR)	10.6% (60,459 S.F. FAR)	COMPLIES
397.173 SQFT. 69.14 % LOT COVERAGE	397.173 SQFT. 69.14 % LOT COVERAGE	COMPLIES
177,246 SQFT. 30.8% PLANTED AREA	177,246 SQFT. 30.8% PLANTED AREA	COMPLIES
3 STORIES 40 FT. +/-	3 STORIES 40 FT. +/-	EXISTING NON-COMPLIANCE
473.63 FT.	21.84 FT.	EXISTING NON-COMPLIANCE
286.35 FT.	73.19 FT.	COMPLIES
418.50 FT.	3.44 FT.	EXISTING NON-COMPLIANCE
61.78 FT.	MINIMUM OF 6.58 FT.	EXISTING NON-COMPLIANCE
543.29 FT.	MINIMUM OF 246.71 FT.	COMPLIES
MULTIPLE PRINCIPAL BUILDINGS	MULTIPLE PRINCIPAL BUILDINGS	EXISTING NON-COMPLIANCE
MINIMUM OF 81.72 FT.	MINIMUM OF 81.72 FT.	COMPLIES
MINIMUM OF 79.18 FT.	MINIMUM OF 79.18 FT.	COMPLIES
MINIMUM OF 1.06 FT.	MINIMUM OF 1.06 FT.	EXISTING NON-COMPLIANCE
MINIMUM OF 0.75 FT.	MINIMUM OF 0.75 FT.	EXISTING NON-COMPLIANCE
MINIMUM OF 0.00 FT.	MINIMUM OF 0.00 FT.	EXISTING NON-COMPLIANCE
MINIMUM OF 2.00 FT.	MINIMUM OF 2.00 FT.	EXISTING NON-COMPLIANCE
PARKING LOCATED IN FRONT YARD AND BUFFER ZONES	PARKING LOCATED IN FRONT YARD AND BUFFER ZONES	COMPLIES
24 FT. FOR PERPENDICULAR PARKING	24 FT. FOR PERPENDICULAR PARKING	COMPLIES
NINE (9) FEET WIDE AND EIGHTEEN (18) FEET LONG NINE (9) FEET WIDE AND EIGHTEEN (18) FEET DEEP	NINE (9) FEET WIDE AND EIGHTEEN (18) FEET LONG NINE (9) FEET WIDE AND EIGHTEEN (18) FEET DEEP	COMPLIES
TWELVE (12) FEET WIDE AND FORTY (40) FEET DEEP (10 LOADING BERTHS)	TWELVE (12) FEET WIDE AND FORTY (40) FEET DEEP (10 LOADING BERTHS)	COMPLIES
1 SPACE PER 250 SQUARE FEET (GROSS FLOOR AREA)	42,938 S.F. / 250 S.F. 27.91 SPACES	
1 SPACE PER 600 SQUARE FEET (GROSS FLOOR AREA)	11,410 S.F. / 600 S.F. 19.02 SPACES	
1 PER EMPLOYEE (GROSS FLOOR AREA)	11,410 S.F. / 600 S.F. 19.02 SPACES	
1 SPACE PER 400 SQUARE FEET (GROSS FLOOR AREA)	13,955 S.F. (9 EMPLOYEES) 10.00 SPACES	
1 SPACE PER 50 SQUARE FEET (GROSS FLOOR AREA)	4,325 S.F. / 400 S.F. 10.81 SPACES	
4 PER SERVICE STATION (GROSS FLOOR AREA)	3,518 S.F. / 50 S.F. 70.32 SPACES	
1 SPACE PER 175 SQUARE FEET (FIRST 2,000 S.F.) 1 SPACE PER 250 SQUARE FEET (EVERY 2,000 S.F. ABOVE 2,000)	-	
VACANT	-	
314 SPACES REQUIRED 234 SPACES PROVIDED	314 SPACES REQUIRED 234 SPACES PROVIDED	NON-COMPLIANCE (60 SPACE VARIANCE) UP TO 90 SPACES ALL LOCATED TO 90 GREENWOOD AVENUE AS PER CROSS ACCESS PARKING AGREEMENT

SIGNATURE BLOCK

APPROVED BY THE BOROUGH CLERK Borough of Midland Park, New Jersey	Attested to by: _____ Title: _____ Date: _____
APPROVED BY THE MAYOR Borough of Midland Park, New Jersey	Attested to by: _____ Title: _____ Date: _____
APPROVED BY THE CHAIRMAN OF THE PLANNING BOARD Borough of Midland Park, New Jersey	Attested to by: _____ Title: _____ Date: _____
APPROVED BY THE SECRETARY OF THE PLANNING BOARD Borough of Midland Park, New Jersey	Attested to by: _____ Title: _____ Date: _____
APPROVED BY PLANNING BOARD BOROUGH ENGINEER Borough of Midland Park, New Jersey	Attested to by: _____ Title: _____ Date: _____

DESIGNED & DRAWN BY: M.S.
CHECKED BY: N.T.
DATE: JANUARY 10, 2013
SCALE: AS NOTED

Nick Tsapatsaris & Associates
Architects - Engineers
20 WILSEY SQUARE
RIDGEWOOD, NJ 07450
Phone: (201) 447-7044 Fax: 447-8074
email: nick@tsapatsaris.com

APPROVED BY THE COUNTY PLANNING BOARD
COUNTY OF BERGEN, NEW JERSEY

ATTESTED TO BY: _____ DATE: _____
Director of Planning & Economic Development

SCHEDULE OF DRAWINGS

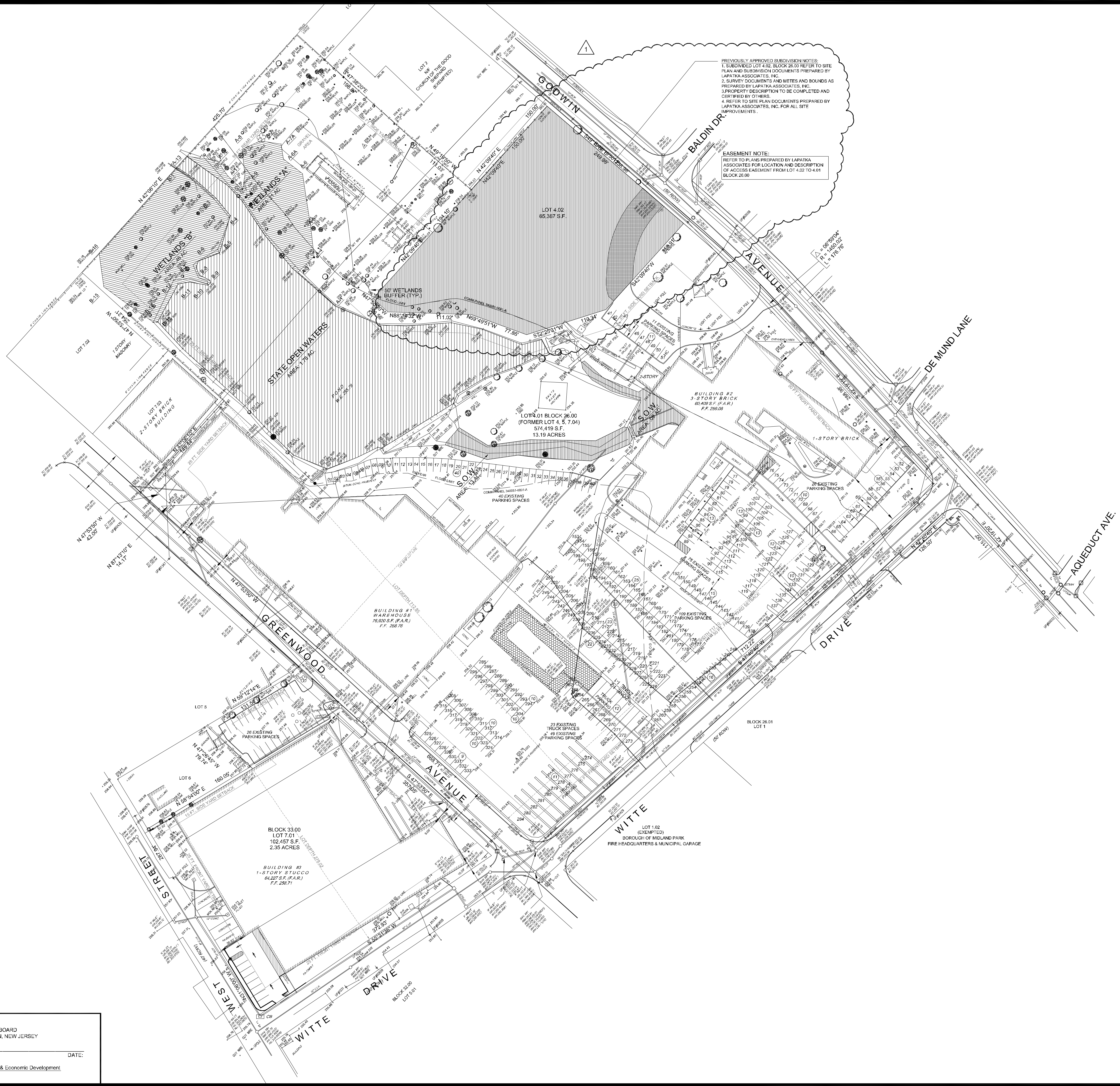
T-1	TITLE SHEET
SP-1	EXISTING SITE PARKING PLAN
SP-2	PROPOSED PARKING PLAN
SP-3	PROPOSED STRIPING PLAN
PA-1	80 GREENWOOD USE DIAGRAM
PA-2	445 GODWIN AVENUE USE DIAGRAM

PARKING PLAN
MARLOW PARK, L.L.C.
BLOCK 26.00 LOT 4.01 (FORMERLY LOTS 4, 5, 7.04)
MIDLAND PARK, NJ

TITLE SHEET

JOB NUMBER
0431203

DRAWING NUMBER
T-1



PREVIOUSLY APPROVED SUBDIVISION NOTES:
 1. SUBDIVIDED LOT 4.02, BLOCK 26.00 REFER TO SITE PLAN AND SUBDIVISION DOCUMENTS PREPARED BY LAPATKA ASSOCIATES, INC.
 2. SURVEY DOCUMENTS AND METES AND BOUNDS AS PREPARED BY LAPATKA ASSOCIATES, INC.
 3. PROPERTY DESCRIPTION TO BE COMPLETED AND CERTIFIED BY OTHERS.
 4. REFER TO SITE PLAN DOCUMENTS PREPARED BY LAPATKA ASSOCIATES, INC. FOR ALL SITE IMPROVEMENTS.

EASEMENT NOTE:
 REFER TO PLANS PREPARED BY LAPATKA ASSOCIATES FOR LOCATION AND DESCRIPTION OF ACCESS EASEMENT FROM LOT 4.02 TO 4.01 BLOCK 26.00

LEGEND	
— TV —	CABLE TV LINE
— E —	ELECTRIC LINE
— S —	SEWER LINE
— T —	STORM DRAIN LINE
— T —	TELEPHONE LINE
— G —	GAS LINE
— W —	WATER LINE
— P.B. —	PROJECT BOUNDARY LINE
— O.H.W. —	OVERHEAD WIRES
— C.L. —	CURB LINE
ASPHALT	ASPHALT
CONCRETE	CONCRETE
---	ITEMS TO BE DEMOLISHED OR REMOVED
X-X-X	CHAIN LINK FENCE
□	WOOD FENCE
■	METAL FENCE
	WIRE FENCE
—	EDGE OF PAVEMENT
—	DROP CURB
○	HYDRANT
○	SEWER MANHOLE
○	STORM DRAIN MANHOLE
○	TELEPHONE COMPANY MANHOLE
○	PUBLIC SERVICE MANHOLE
⊗	TYPE 'A' INLET
⊗	TYPE 'B' INLET
⊗	UTILITY POLE
⊗	WATER VALVE
⊗	GAS VALVE
⊗	LIGHT POLE
⊗	PARKING METER
⊗	SIGN
⊗	STREET SIGN / SIGNAL
⊗	EXISTING SPOT ELEVATION
100	EXISTING CONTOUR LINE
100	PROPOSED SPOT ELEVATION AND TOP OF CURB (TC) ELEVATION
LP	LIGHT POLE
ST	STREET SIGN
TV	GATE VALVE
GF	FILTER FABRIC/GRAVEL DRAINAGE FILTER
S.F.	SILT FENCE
---	PROPERTY BOUNDARIES
---	EASEMENT BOUNDARIES
---	ITEM TO BE REMOVED
---	EDGE OF PAVEMENT
---	CURBS
---	EXISTING BUILDING TO REMAIN
⊗	UTILITY POLE
⊗	FIRE HYDRANT
⊗	TREE (TREE DIAMETER)

NICK TSAPATSARIS P.E. R.A.
 N.J. Architect Lic. 15195
 N.Y. Engineer Lic. 36446
 N.Y. Engineer Lic. 67301

REVISION:
 03/27/2013 - REV. AS PER NEW PARKING LAYOUT AND STRIPING PLAN
 05/01/2013 - REVISED AS PER BIFURCATION OF PROPERTIES
 10/26/2014 - REVISED AS PER PLAN ASSOCIATED COMMENT LETTER

ALTERNATION OF THIS DRAWING, EXCEPT BY A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT, MUST BE INDICATED AND BEAT WITH A SEAL. THE USER OF THIS DRAWING SHALL VERIFY ALL DIMENSIONS SHOWN HEREON AND SCALE OF THIS DRAWING.
 THIS LINE IS TYPING

DESIGNED & DRAWN BY:	M.S.
CHECKED BY:	N.T.
DATE:	JANUARY 10, 2013
SCALE:	1" = 50'-0"

NOTES
 - ELEVATIONS BASED ON U.S.G.S. DATUM
REFERENCE MAPS
 COUNTY ROAD MAPS ENTITLED "STORM DRAIN CONSTRUCTION, GODWIN AVENUE FROM BALDIN DRIVE TO MIDLAND AVENUE, BOROUGH OF MIDLAND PARK, ENGINEERING DEPARTMENT, BERGEN COUNTY, NEW JERSEY", SHEET NUMBERS 2 & 3 OF 6 DRAWING NO. 35-S-16-2-6, 35-S-16-3-6 AND PLAN AND PROFILE SHEET 35-R-15-4, SHEET 1 OF 6 DATED AUGUST 1973.
 SURVEY ENTITLED "SURVEY, LOTS 4, 5, & 7.04 BLOCK 26, BOROUGH OF MIDLAND PARK, BERGEN COUNTY, NEW JERSEY DATED 6-24-83, KAST REVISED 1-18-95 & PREPARED BY THE RBA GROUP. BENCHMARK MONUMENT # 9831
 ELEVATIONS BASED ON A STANDARD N.J. G.C.S. DISK SET ON CONCRETE FLUSH WITH THE GROUND HAVING AN ELEVATION OF 250.695 AND N. J. PLANE COORDINATES OF N 717.450, S. E. 2, 144.029, 30. MONUMENT IS LOCATED ON GODWIN AVENUE ABOUT 25' NORTH OF CHESTNUT STREET IN FRONT OF CHURCH. "BM# 1" SET AT ARROW TIP OF HYDRANT ON THE SOUTH SIDE OF GODWIN AVENUE.

REFERENCE NOTES
 THESE DRAWINGS REFERENCE THE SITE PLAN PREPARED BY BOSWELL ENGINEERING AND LAND SURVEYOR, LIC # 303979 AND ROBERT WEISSMAN, P.E., L.S., LIC. # 29624
 SURVEY UPDATE COMPLETED ON MARCH 26, 2011 BY ERNEST MYHREN, P.E., L.S., LIC # 13455
 NICK TSAPATSARIS & ASSOCIATES ARE ARCHITECTS AND ENGINEERS OF RECORD AND ASSUME TECHNICAL RESPONSIBILITY FOR ALL PROPOSED IMPROVEMENTS SHOWN HEREON.
 WEISMAN ENGINEERING CO., P.C. IS LIMITED TO WETLAND DELINEATION ONLY. BOSWELL ENGINEERING IS LIMITED TO TOPOGRAPHIC AND BOUNDARY SURVEY AS WELL AS CERTAIN PRIOR APPROVALS.

DATE	REVISION
	BLOCK 26.00, LOT 4.01
BORO. of MIDLAND PARK BERGEN COUNTY, NEW JERSEY	
N.J.LIC. NO. 24090194600	
ERNEST M. MYHREN Professional Engineer & Land Surveyor 265 ATLANTIC ST., ORADELL, N.J.	
SURVEYED BY: EMM	SCALE:
DRAWN BY: CADD	
CHECKED BY: RRR	DATE: 03/26/11

Nick Tsapatsaris & Associates
 Architects - Engineers
 20 W. SEYDLITZ
 RIDGEWOOD, NJ 07070
 Phone: (201) 417-7044 Fax: 447-6074
 email: ntd@tsapatsaris.com

PARKING PLAN
MARLOW PARK, L.L.C.
 BLOCK 26.00, LOT 4.01 (FORMERLY 4, 5, 7.04)
 MIDLAND PARK, NJ

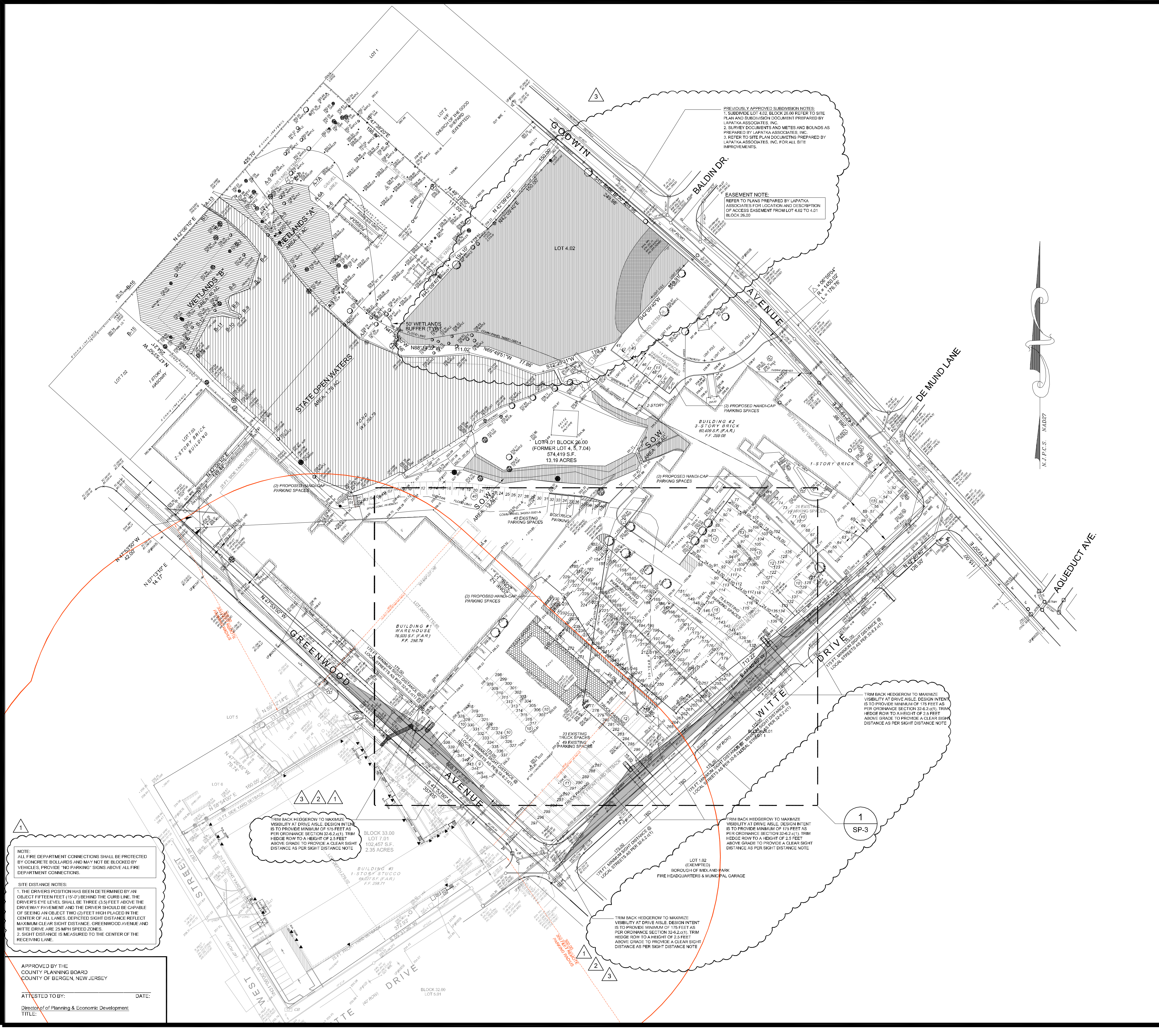
EXISTING SITE PARKING PLAN

JOB NUMBER
0431203

DRAWING NUMBER
SP-1

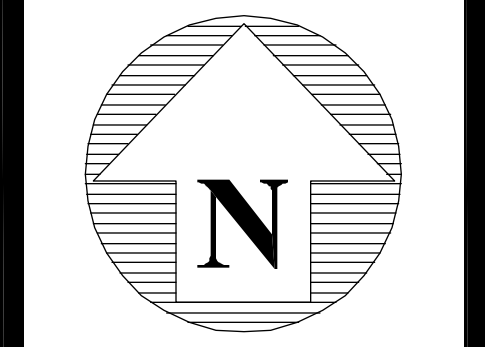
APPROVED BY THE
 COUNTY PLANNING BOARD
 COUNTY OF BERGEN, NEW JERSEY

ATTESTED TO BY: _____ DATE: _____
 Director of Planning & Economic Development
 TITLE:



LEGEND	
— TV —	CABLE TV LINE
— E —	ELECTRIC LINE
— S —	SEWER LINE
— T —	TELEPHONE LINE
— G —	GAS LINE
— W —	WATER LINE
—	PROJECT BOUNDARY LINE
—	OVERHEAD WIRES
—	CURB LINE
—	ASPHALT
— X —	FENCE
—	CONCRETE
—	ITEMS TO BE DEMOLISHED OR REMOVED
— X —	CHAIN LINK FENCE
—	WOOD FENCE
—	METAL FENCE
—	WIRE FENCE
—	EDGE OF PAVEMENT
—	DROP CURB
○	HYDRANT
○	SEWER MANHOLE
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⊗	LIGHT POLE
⊗	PARKING METER
⊗	SIGN
⊗	STREET SIGN / SIGNAL
⊗	EXISTING SPOT ELEVATION
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⊗	STREET SIGN
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⊗	EXISTING BUILDING TO REMAIN
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⊗	TREE (TREE DIAMETER)

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 N.Y. Engineer Lic. 67301



REVISIONS:
 03/27/2014 - REV. AS PER NEW PARKING LAYOUT AND STRIPING PLAN
 05/01/2013 - REVISED AS PER BURIAL LOCATION OF PROPERTIES
 10/10/2013 - REVISED AS PER CONDITIONS OF THE RESOLUTION 06-17-13
 02/26/2014 - REVISED AS PER PLAN ASSOCIATED COMMENT LETTER
 02/26/2014 - REVISED AS PER PLAN ASSOCIATED COMMENT LETTER

ALTERNATION OF THIS DRAWING, EXCEPT BY A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT, MUST BE INDICATED AND BEAT-WHISKEY SEAL. THE USER OF THIS DRAWING SHALL VERIFY ALL DIMENSIONS SHOWN HEREON AND SCALE OF THIS DRAWING.
 THIS LINE IS TYPING

DESIGNED & DRAWN BY:	M.S.
CHECKED BY:	N.T.
DATE:	JANUARY 10, 2013
SCALE:	1" = 60'-0"

NOTES
 - ELEVATIONS BASED ON U.S.G.S. DATUM
REFERENCE MAPS
 COUNTY ROAD MAPS ENTITLED "STORM DRAIN CONSTRUCTION, GODWIN AVENUE FROM BALDIN DRIVE TO MIDLAND AVENUE, BOROUGH OF MIDLAND PARK, NEW JERSEY DATED 6-24-85, KAST REVISED 1-16-95 AND PREPARED BY THE REA GROUP. BENCHMARK MONUMENT # 9831
 ELEVATIONS BASED ON A STANDARD N.J.G.C.S. DISK SET ON CONCRETE FLUSH WITH THE GROUND HAVING AN ELEVATION OF 250.695 AND N. 1 PLANE COORDINATES OF N 177 450.55 E 2,144.029.30. MONUMENT IS LOCATED ON GODWIN AVENUE ABOUT 25' NORTH OF CHESTNUT STREET IN FRONT OF CHURCH. "BM# 1" SET AT APPROX TIP OF HYDRANT ON THE SOUTH SIDE OF GODWIN AVENUE.

REFERENCE NOTES
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 SURVEY UPDATE COMPLETED ON MARCH 26, 2011 BY ERNEST MYHREN, P.E., L.S., LIC # 13455
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DATE	REVISION
	BLOCK 26.00, LOT 4.01

BORO. of MIDLAND PARK
 BERGEN COUNTY, NEW JERSEY

N.J.LIC. NO. 24090194600

ERNEST M. MYHREN
 Professional Engineer & Land Surveyor
 265 ATLANTIC ST., ORADELL, N.J.

SURVEYED BY: EMM SCALE: _____
 DRAWN BY: CADD
 CHECKED BY: RRR DATE: 03/26/11

Nick Tsapatsaris & Associates
 Architects - Engineers
 201 W. SEYDLER AVE.
 RIDGEWOOD, NJ 07070
 Phone: (201) 412-7044 Fax: 447-6074
 email: nic@tsapatsaris.com

PARKING PLAN
MARLOW PARK, L.L.C.
 BLOCK 26.00, LOT 4.01 (FORMERLY 4, 5, 7, 04)
 MIDLAND PARK, NJ

445 GODWIN / 80 GREENWOOD
PROPOSED PARKING PLAN

JOB NUMBER
0431203

DRAWING NUMBER
SP-2

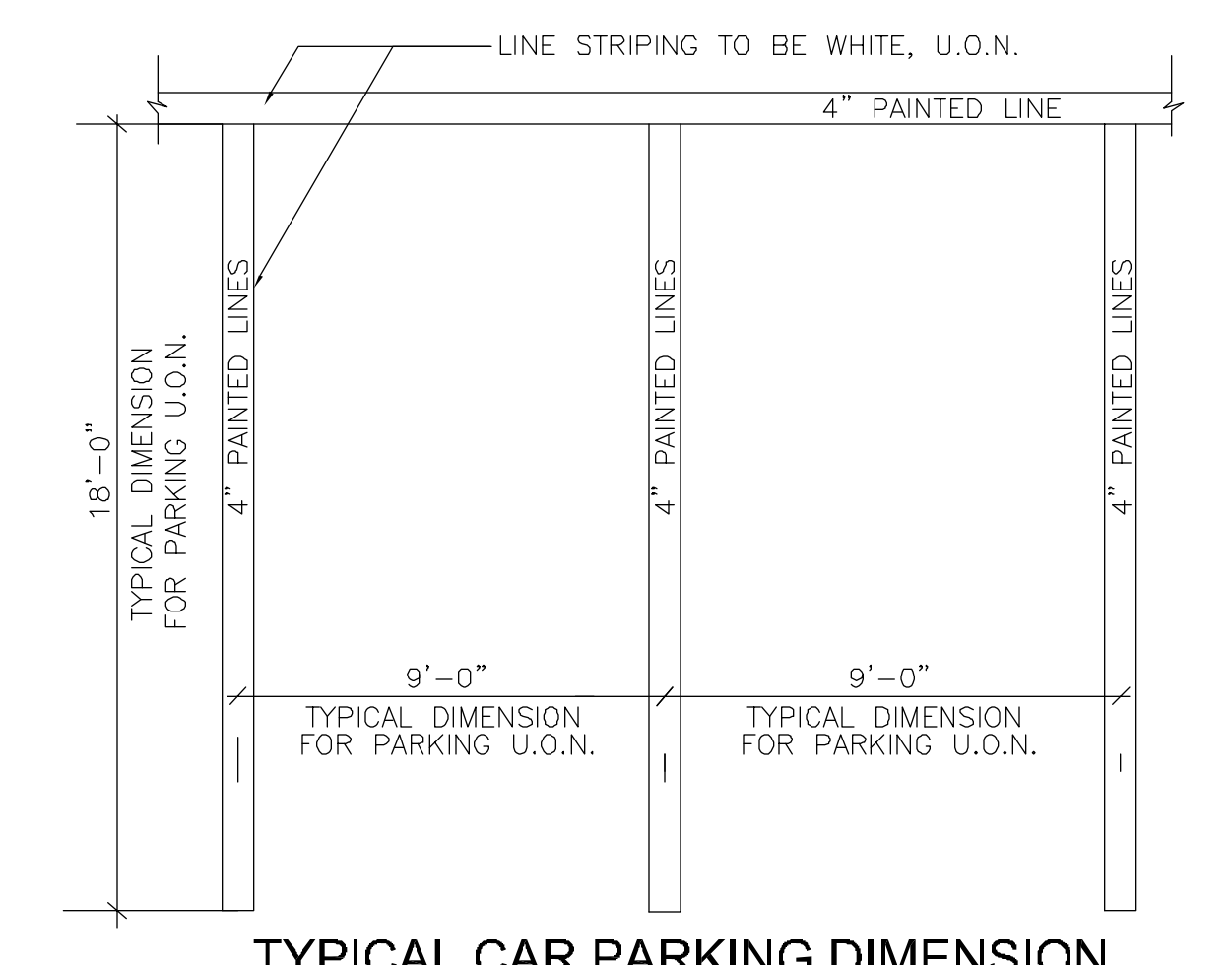
NOTE:
 ALL FIRE DEPARTMENT CONNECTIONS SHALL BE PROTECTED BY CONCRETE BOLLARDS AND MAY NOT BE BLOCKED BY VEHICLES. PROVIDE "NO PARKING" SIGNS ABOVE ALL FIRE DEPARTMENT CONNECTIONS.

SITE DISTANCE NOTES:
 1. THE DRIVER'S POSITION HAS BEEN DETERMINED BY AN OBJECT FIFTEEN FEET (15'-0") BEHIND THE CURB LINE. THE DRIVER'S EYE LEVEL SHALL BE THREE (3) FEET ABOVE THE DRIVEWAY PAVEMENT AND THE DRIVER SHOULD BE CAPABLE OF SEEING AN OBJECT TWO (2) FEET HIGH PLACED IN THE CENTER OF ALL LANES. DEPICTED SIGHT DISTANCE REFLECTS MAXIMUM CLEAR SIGHT DISTANCE. GREENWOOD AVENUE AND WITTE DRIVE ARE 25 MPH SPEED ZONES.
 2. SIGHT DISTANCE IS MEASURED TO THE CENTER OF THE RECEIVING LANE.

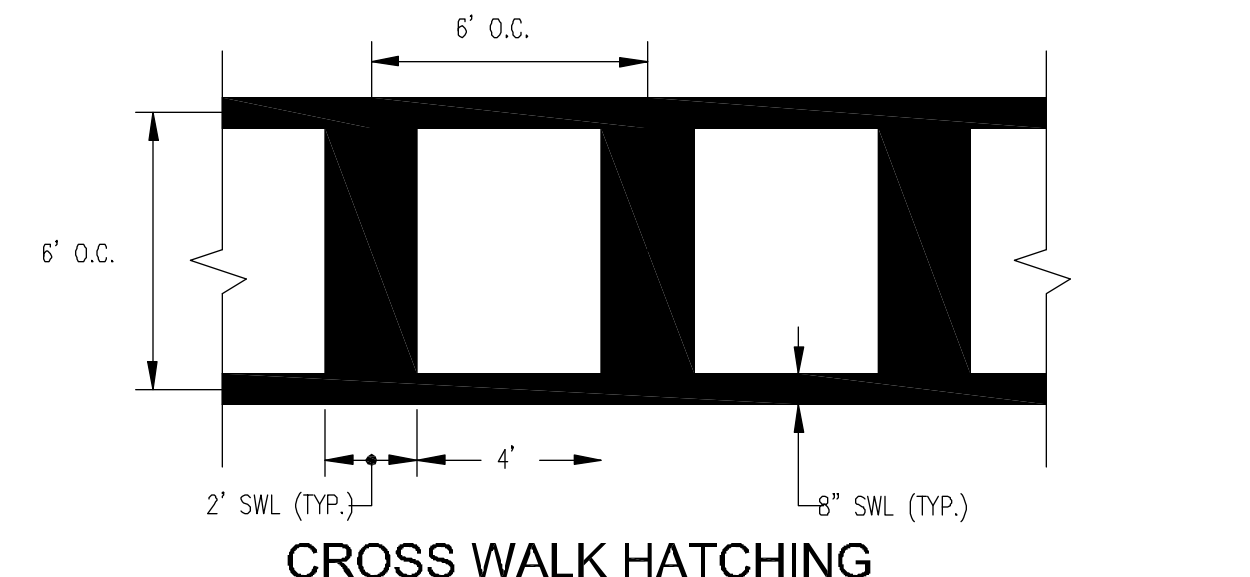
APPROVED BY THE COUNTY PLANNING BOARD COUNTY OF BERGEN, NEW JERSEY

ATTESTED TO BY: _____ DATE: _____
 Director of Planning & Economic Development
 TITLE: _____

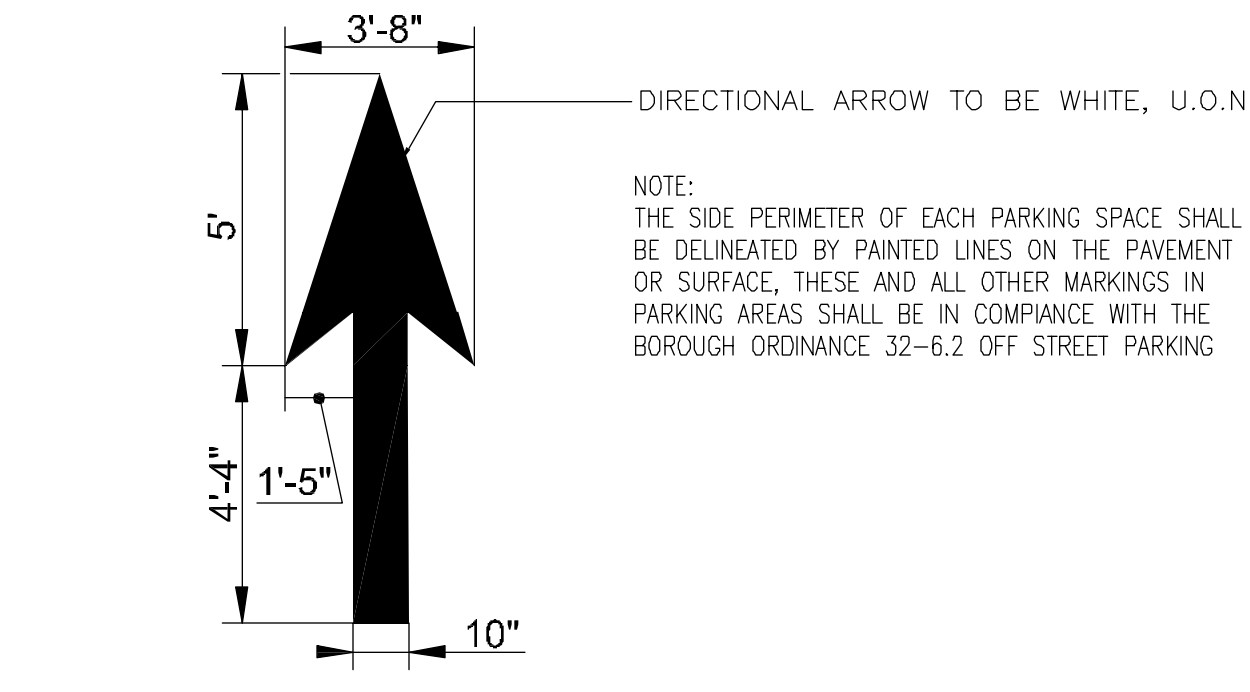
STRIPING NOTE:
 1) TRAFFIC STRIPE, & TRAFFIC MARKINGS (LINE & SYMBOL) SHALL CONFORM TO CURRENT N.J.D.O.T. STANDARD SPECIFICATIONS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 LANE LINE: "TRAFFIC MARKINGS, SYMBOLS, LONG LIFE, REFLECTIVE THERMOPLASTIC"



1 LINE STRIPING DETAIL
N.T.S.

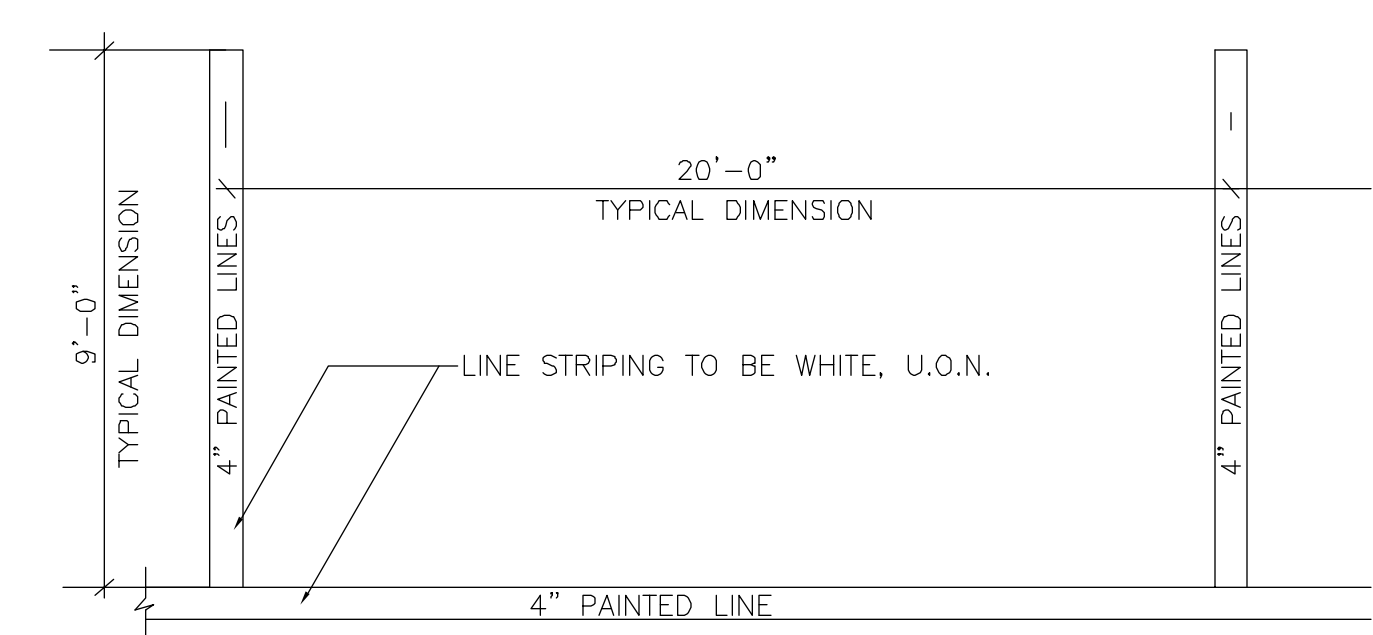


CROSS WALK HATCHING

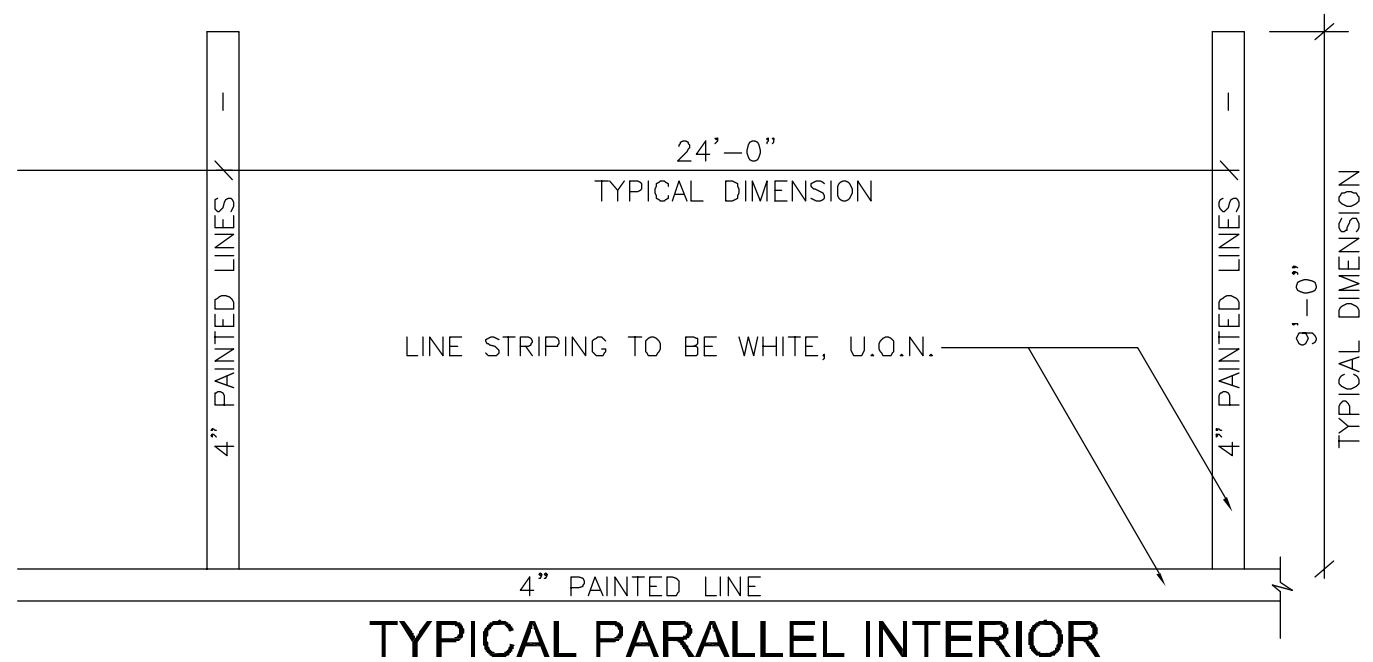


DIRECTIONAL ARROW

2 CONTROL AND DIRECTIONAL STRIPING
N.T.S.

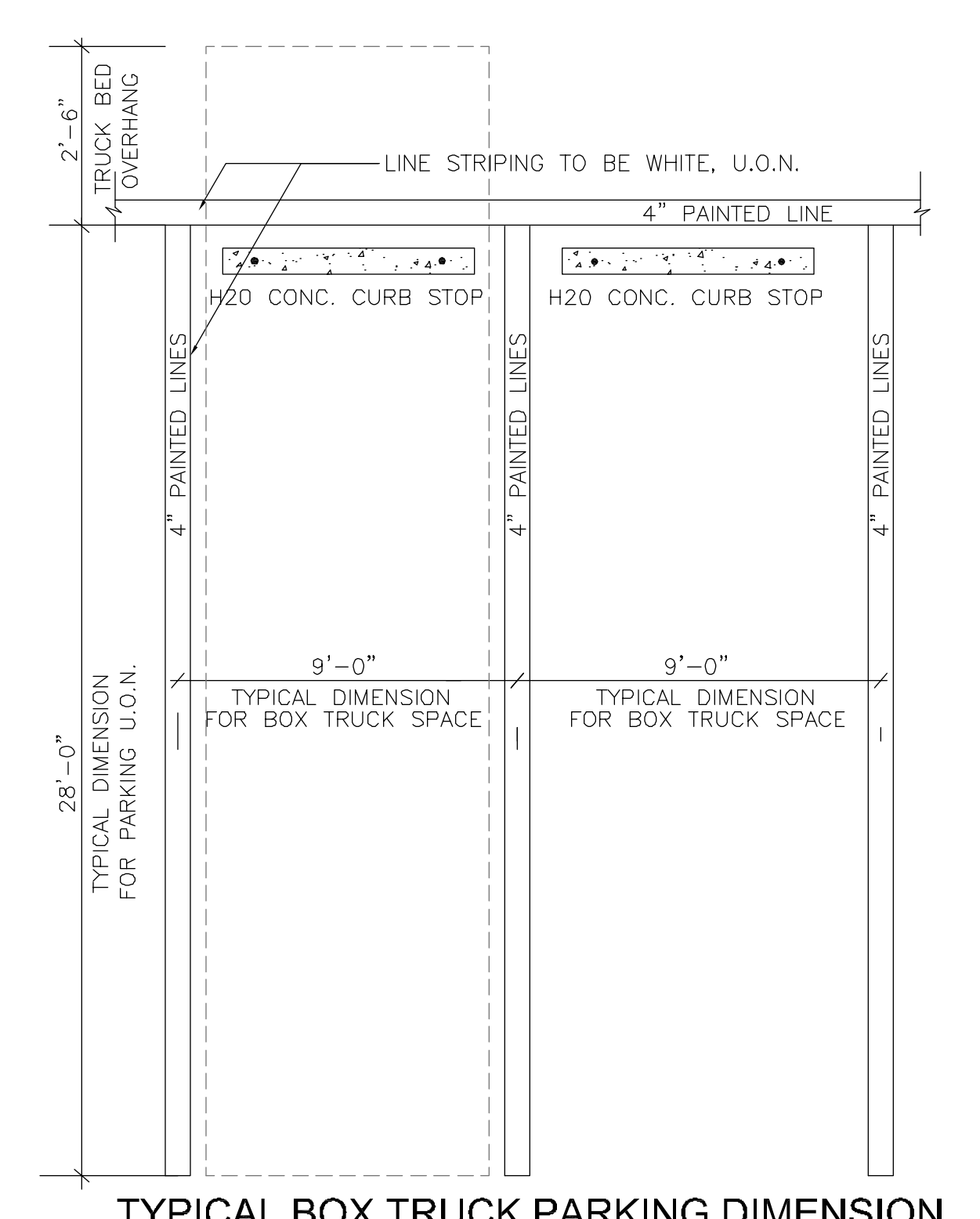


TYPICAL PARALLEL END PARKING DIMENSION



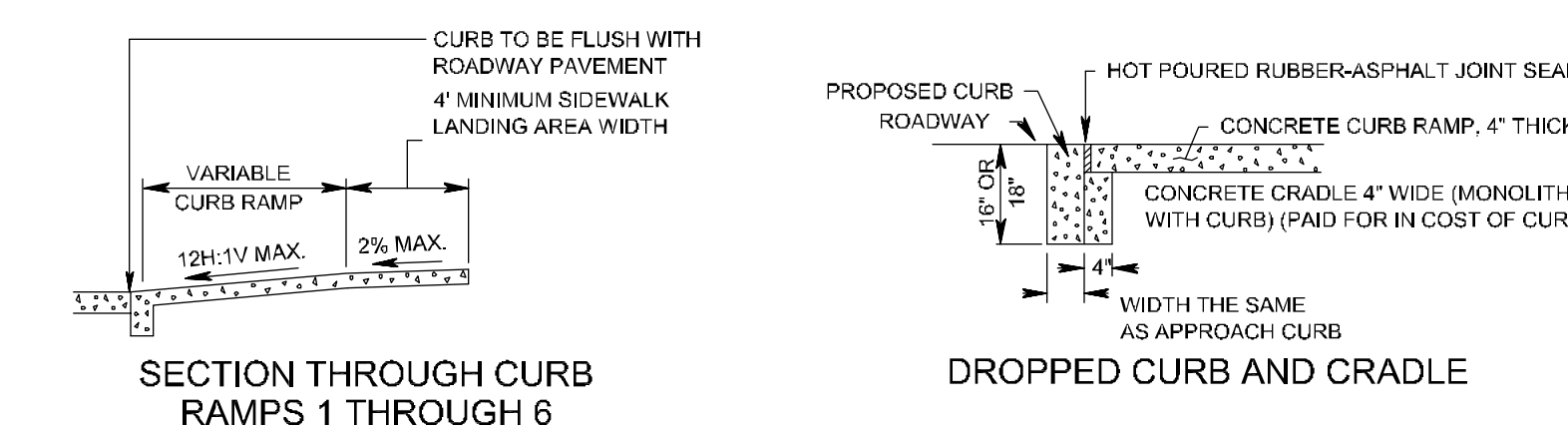
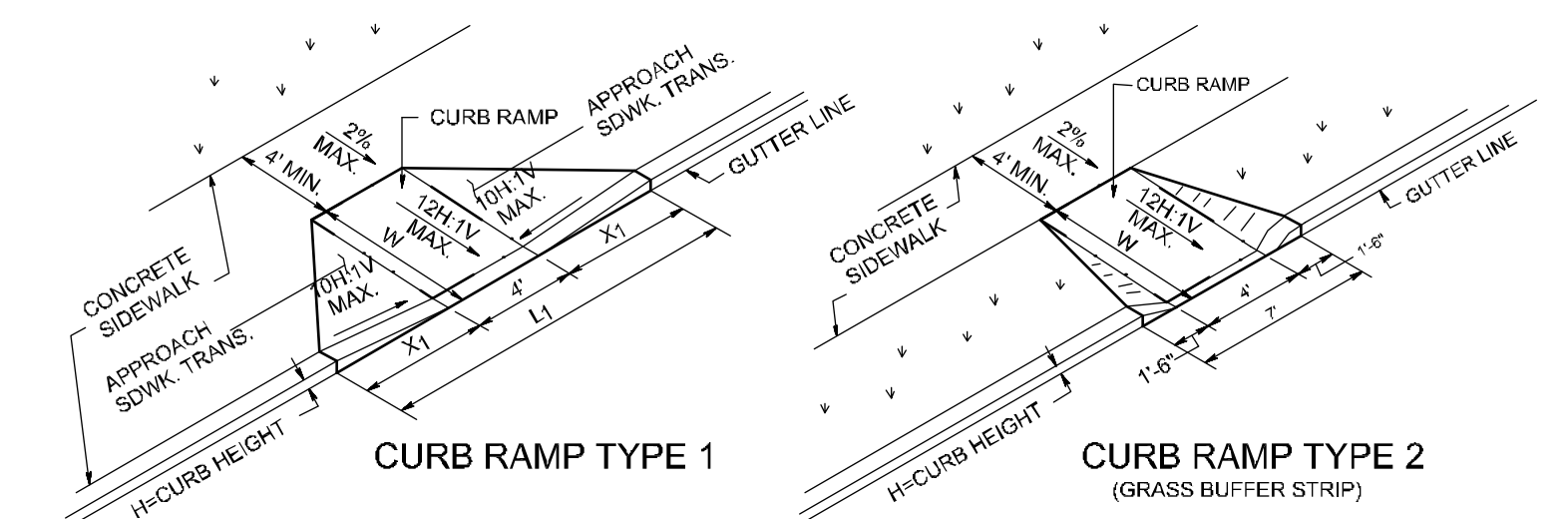
TYPICAL PARALLEL INTERIOR PARKING DIMENSION

3 PARALLEL PARKING STRIPING
N.T.S.



TYPICAL BOX TRUCK PARKING DIMENSION

4 LOADING SPACE STRIPING DETAIL
N.T.S.

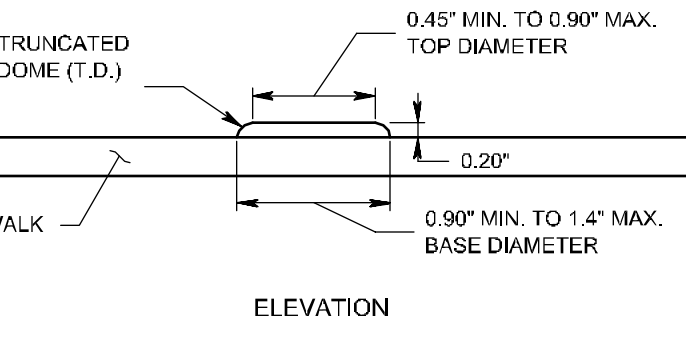
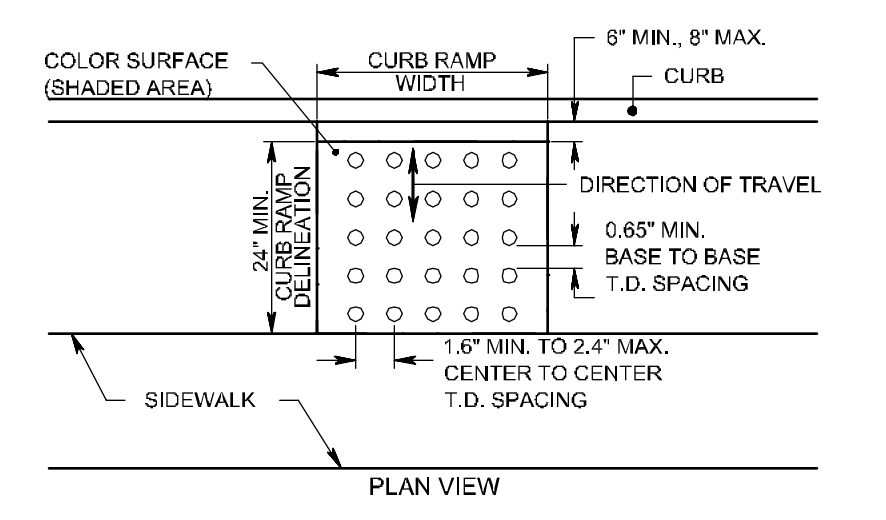


GENERAL NOTES:

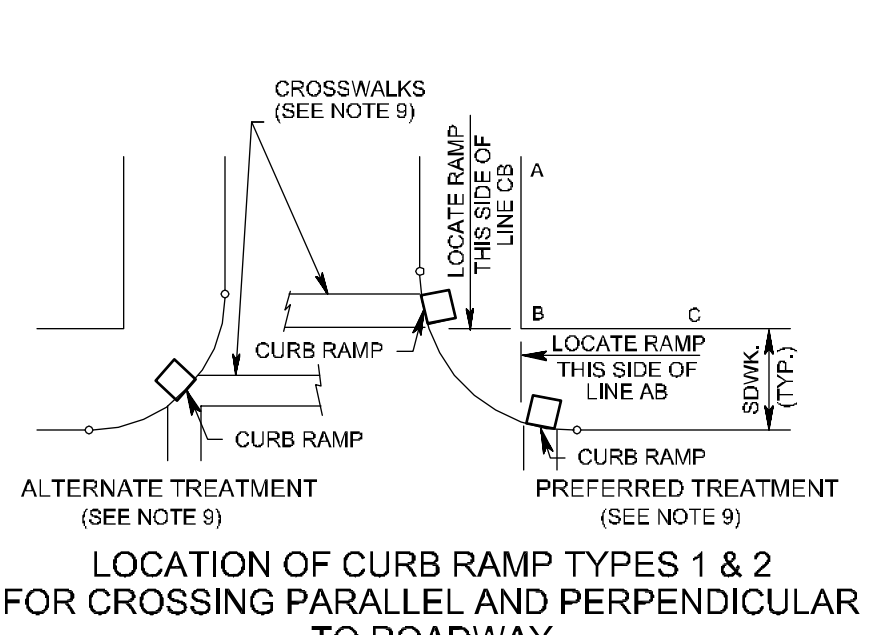
- LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
- DIMENSIONS SHOWN IN TABLES ARE FOR RELATIVELY FLAT SIDEWALK AREAS. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE BASED ON CURB HEIGHT (H) WHERE ELEVATION OF CURB AND SIDEWALK VARY DRAMATICALLY IN AREA OF PROPOSED CURB RAMP.
- CURB (CROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FEET AT ALL CURB RAMPS.
- FOR CURB RAMP TYPES 5 AND 6, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
- SIDEWALK AND CURB RAMP WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS CONCRETE SIDEWALK OF THE APPROPRIATE ADJACENT THICKNESS.
- CURB AND HEADER WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS VERTICAL CURB OR SLOPING CURB OF THE APPROPRIATE ADJACENT SIZE AND KIND.
- WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, CURB RAMP TYPE 7 SHOULD BE USED. INSTEAD OF CURB RAMP TYPE 1 THROUGH 4.
- CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED. SEE PLANS.
- PREFERRED AND ALTERNATE TREATMENTS SHOULD NOT BE INTERFERED WITHIN THE SAME INTERSECTION.
- DIMENSIONS SHOWN IN TABLES ARE FOR 3 INCH TO 9 INCH CURB HEIGHTS, WHERE THE CURB HEIGHTS ARE OTHER THAN WHAT IS PROVIDED IN THE TABLES, THE DIMENSIONS OF THE RAMPS WILL HAVE TO BE CALCULATED BASED ON CROSS SLOPES SHOWN.

CURB RAMP TYPE 1		
INCHES	FEET	FEET
3	2.5	0.9
4	2.5	1.0
5	2.5	1.1
6	3.0	1.2
7	3.5	1.3
8	4.0	1.4
9	4.5	1.5

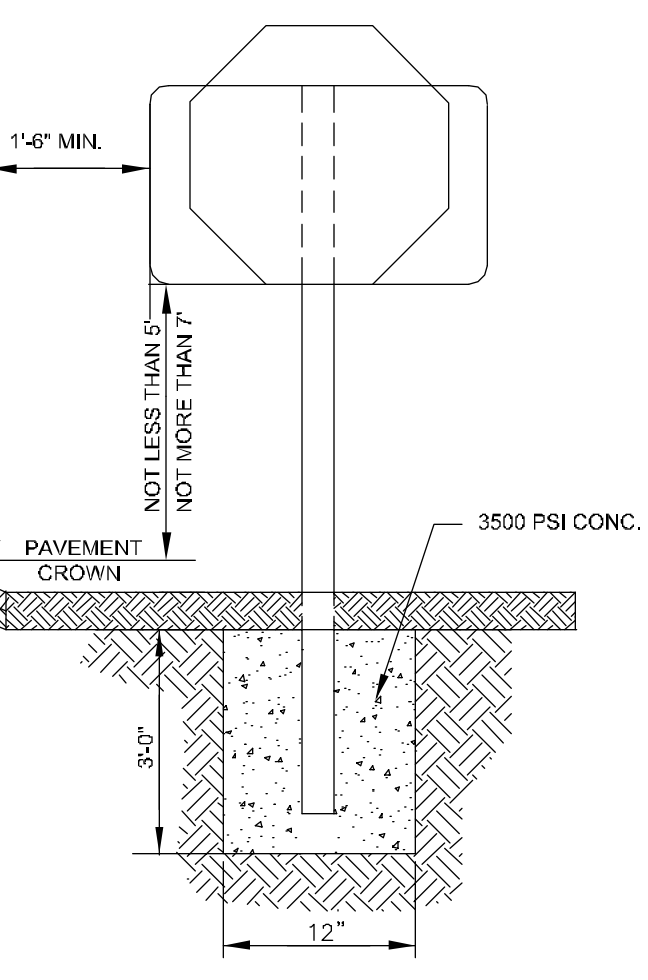
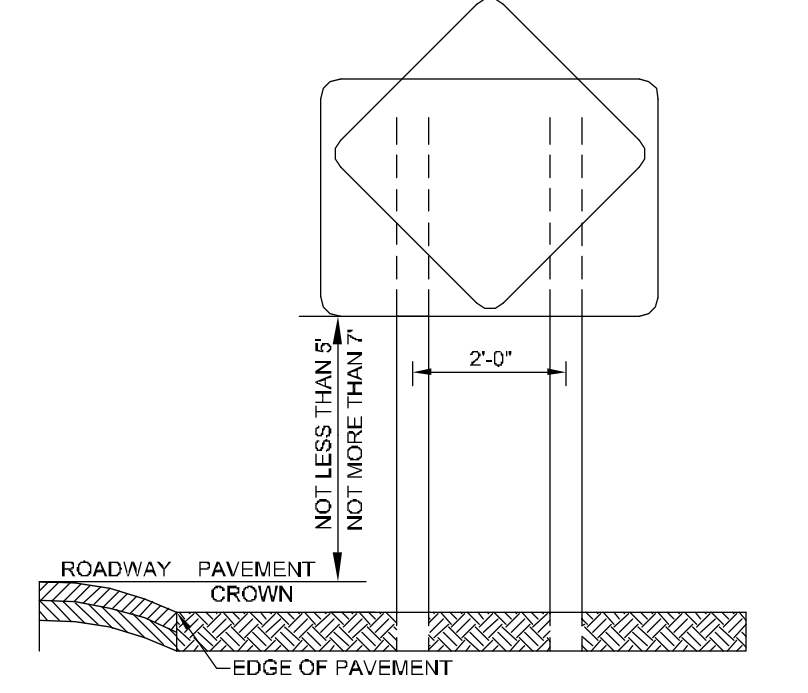
CURB RAMP TYPE 2		
INCHES	FEET	FEET
3	3	1
4	3	1
5	3	1
6	3	1
7	3	1
8	3	1
9	3	1



DETECTABLE WARNING SURFACE



LOCATION OF CURB RAMP TYPES 1 & 2 FOR CROSSING PARALLEL AND PERPENDICULAR TO ROADWAY



5 SIGN & MOUNTING DETAIL
N.T.S.

STANDARD SIGNS			
SIGN DESIGN	SIGN TYPE	SIGN SIZE	MOUNT TYPE
	W11-2	30"x30"	1 POST
	W16-9	24"x12"	1 POST
	R1-5a	18"x24"	1 POST
	R7-1	12"x18"	1 POST

GENERAL NOTES:

- ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS.
- TWO PIECE STEEL POSTS SHALL BE EMBEDDED 3'-0" MIN. ONE PIECE STEEL POST SHALL BE EMBEDDED 3'-6" MAX.
- ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATIONS 8-12L.
- POSTS MAY BE STEEL OR 2 PIECE STEEL U-POST IN CONFORMANCE WITH THE NOTES BELOW.
- SIGN PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBER AS SHOWN ON THIS DETAIL.
- BOLTS SHALL NOT PROTRUDE MORE THAN 1/2" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.
- THE MINIMUM VERTICAL CLEARANCE REQUIREMENTS FOR SIGNS ARE: EDGE OF THE PAVEMENT TO BOTTOM OF SIGNS PER SECTION 2A-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS; GROUNDLINE TO BOTTOM OF SIGN SHALL BE 7 FEET MINIMUM FOR SINGLE POST INSTALLATIONS, THE MINIMUM DISTANCE FROM GROUNDLINE TO THE TOP OF SIGN MUST BE 9 FEET.
- PERMANENT SIGN SUPPORTS SHALL NOT BE INSTALLED ON SLOPES GREATER THAN 10% UNLESS BEHIND A TRAFFIC BARRIER, AND THE SLOPE SHALL EXTEND A MINIMUM OF 3'-0" BEYOND THE OUTSIDE EDGE OF SIGN (SEE GRADING DETAIL FOR SLOPE TREATMENT).
- EXTRUDED ALUMINUM SIGN PANELS ARE NOT PERMITTED FOR USE WITH U-POST SIGN SUPPORTS.
- LARGE SIGN SUPPORTS SHALL NOT BE PLACED IN FRONT OF GUIDE RAIL AND THE POSTS MUST NOT STRADDLE GUIDE RAIL.
- TO EXTEND THE HEIGHT OF A SIGN POST, A MAXIMUM OF ONE SPLICE MAY BE MADE AND MUST BE A MINIMUM OF 9 FEET FROM THE GROUNDLINE TO CENTER LINE OF SPLICE.

CURB CONSTRUCTION STANDARDS
 1. CONSTRUCTION SPECIFICATIONS FOR ACCEPTABLE CURB TYPES OF GRANITE BLOCK AND CONCRETE ARE SHOWN ON DETAIL DRAWING.
 2. THE STANDARD CONCRETE CURB SECTION USED SHALL BE A MAXIMUM OF TWENTY (20) FEET IN LENGTH, WITH A SCORED JOINT EVERY TEN (10) FEET. ALL CONCRETE USED FOR CURBS OR COMBINATION CURBS AND GUTTERS SHALL BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS, BY CLASS OF CONCRETE, OF THE N.J.D.O.T., "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" EFFECTIVE AT TIME OF PREPARATION. WHERE BITUMINOUS CONCRETE PAVEMENT IS USED FOR THE ROAD SURFACE, THE CURB AND/OR GUTTER SHALL BE CONSTRUCTED FIRST.
 3. WHERE DRAINAGE INLETS ARE CONSTRUCTED BUT CURBS ARE NOT REQUIRED, CURBING MUST BE PROVIDED AT LEAST TEN (10) FEET ON EACH SIDE OF THE INLET, SET BACK ONE (1) FOOT FROM THE EXTENSION OF THE PAVEMENT EDGE.

STREET AND TRAFFIC SIGNS
 1. ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., FEDERAL HIGHWAY ADMINISTRATION. SPECIFICALLY REGULATORY & WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH DIAMOND GRADE REFLECTIVE SHEETINGS, SERIES 4000 TYPE XI DESIGNATION PER ASTM.

SIDEWALK CONSTRUCTION STANDARDS
 1. THE FOLLOWING SHALL APPLY TO SIDEWALKS AND GRADED AREAS:
 A) SIDEWALKS OF CONCRETE SHALL BE FIVE (5) INCHES THICK EXCEPT AT POINTS OF VEHICULAR CROSSING, WHERE THEY SHALL BE AT LEAST SIX (6) INCHES THICK. AT VEHICULAR CROSSINGS, CONCRETE SIDEWALKS SHALL BE REINFORCED WITH WELDED WIRE FABRIC MESH OR AN EQUIVALENT.
 B) CONCRETE AIR ENTRAINED SIDEWALKS SHALL BE CLASS C CONCRETE, HAVING A 28-DAY VERIFICATION STRENGTH OF 4000 P.S.I. OTHER MATERIALS MAY BE PERMITTED, DEPENDING ON THE DESIGN OF THE DEVELOPER.
 C) GRADED AREAS SHALL BE PLANTED WITH GRASS OR TREATED WITH OTHER SUITABLE GROUND COVER, AND THEIR WIDTH AND CROSS SLOPE SHALL CORRESPOND TO THAT OF SIDEWALKS.
 D) ALL PROPOSED SIDEWALKS WITHIN THE COUNTY RIGHT-OF-WAY / ROAD WIDENING EASEMENT SHALL HAVE A MAXIMUM CROSS-SLOPE OF TWO (2%) PERCENT.

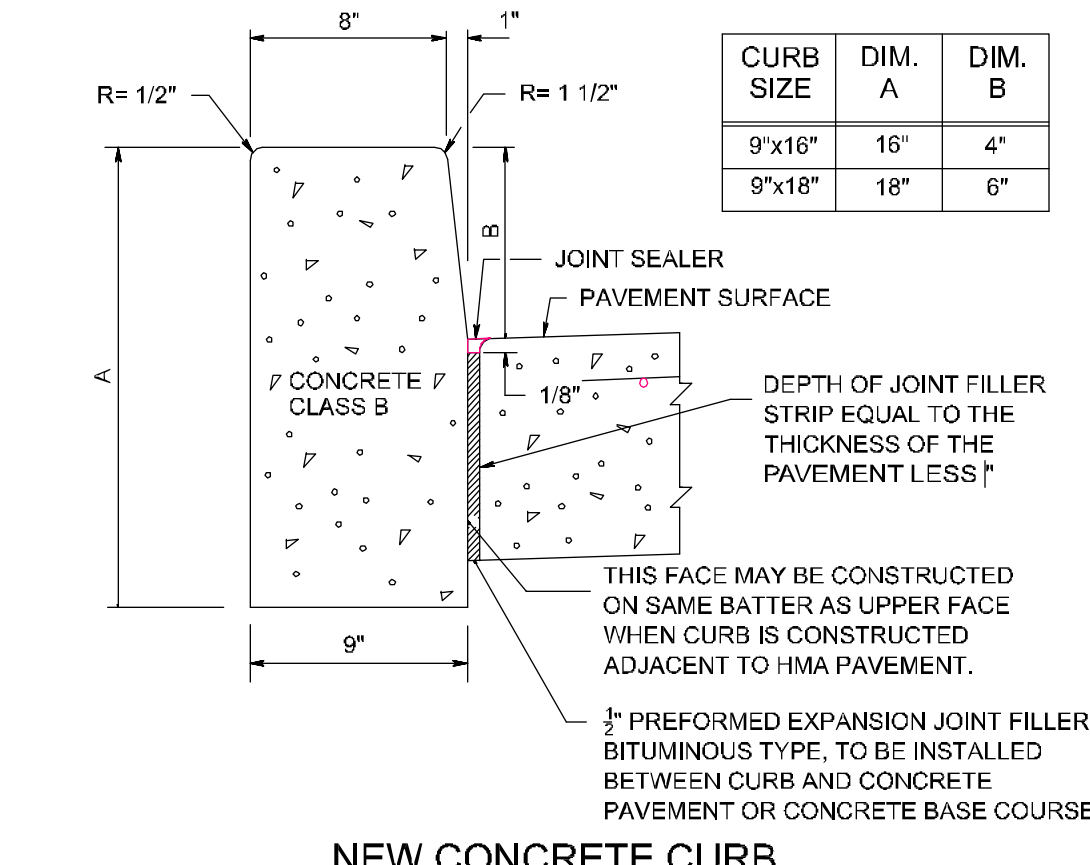
STANDARDS FOR THE DELINEATION OF FIRE ZONES
 ALL FIRE ZONES LOCATED WITHIN THE TOWNSHIP OF TEANECK, SHALL BE STRIPED AND HAVE SIGNS POSTED IN THE FOLLOWING MANNER:

- ALL SIGNS SHALL BE 12" X 18" IN SIZE.
- LIGHT REFLECTIVE MATERIAL SHALL BE USED FOR THE SIGN BACKGROUND AND LETTERING.
- ALL SIGNS, WHETHER WALL OR POST MOUNTED, SHALL BE PLACED 10' CENTER TO CENTER. WHENEVER THE FIRE ZONE CHANGES ANGLE OR DIRECTION MORE THAN 60°, A SIGN IS TO BE PLACED AT THE POINT OF CHANGE AND A SIGN IS REQUIRED AT THE BEGINNING AND END OF THE ZONE. IN ALL CIRCUMSTANCES A SIGN SHALL BE VISIBLE FROM ANY OTHER SIGN. ADDITIONAL SIGNS MAY BE REQUIRED AT THE DISCRETION OF THE FIRE PREVENTION BUREAU.
- THE SIGN SHALL BE PLACED AT A HEIGHT OF 7 AS MEASURED FROM THE GROUND SURFACE TO THE BOTTOM OF THE SIGN AT A 45 DEGREE ANGLE FACING THE DIRECTION OF FLOW.
- THE FIRE ZONE SIGN SHALL STATE "NO PARKING FIRE ZONE".

- STRIPING STRIPE SHALL BE 4" WIDE.
- ALL FIRE ZONES SHALL BE STRIPED AT A WIDTH OF 4' AS SPECIFIED BY THE FIRE PREVENTION BUREAU.
- LIGHT REFLECTIVE MATERIAL SHALL BE USED FOR THE SIGN BACKGROUND AND LETTERING.
- ALL SIGNS, WHETHER WALL OR POST MOUNTED, SHALL BE PLACED 10' CENTER TO CENTER. WHENEVER THE FIRE ZONE CHANGES ANGLE OR DIRECTION MORE THAN 60°, A SIGN IS TO BE PLACED AT THE POINT OF CHANGE AND A SIGN IS REQUIRED AT THE BEGINNING AND END OF THE ZONE. IN ALL CIRCUMSTANCES A SIGN SHALL BE VISIBLE FROM ANY OTHER SIGN. ADDITIONAL SIGNS MAY BE REQUIRED AT THE DISCRETION OF THE FIRE PREVENTION BUREAU.
- THE SIGN SHALL BE PLACED AT A HEIGHT OF 7 AS MEASURED FROM THE GROUND SURFACE TO THE BOTTOM OF THE SIGN AT A 45 DEGREE ANGLE FACING THE DIRECTION OF FLOW.
- THE FIRE ZONE SIGN SHALL STATE "NO PARKING FIRE ZONE".

GENERAL NOTES APPLYING TO ALL TYPES OF DOWELLED CURBS

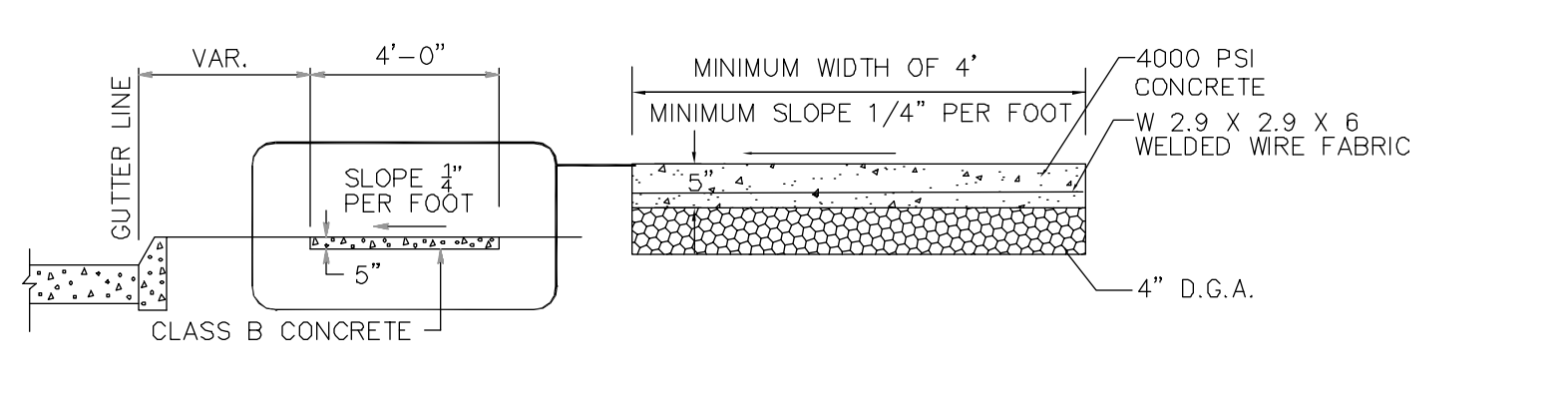
THE TRANSVERSE JOINTS SHALL BE CONSTRUCTED AS SPECIFIED FOR THE CURB, EXCEPT THAT THE THICKNESS OF THE JOINT FILLER IN THE CURB SHALL BE AS FOLLOWS:
 1/2 INCH FOR INTERMEDIATE JOINTS AND JOINTS OVER DEFINITE CRACKS.
 1 INCH OVER PAVEMENT JOINTS WHERE SLAB LENGTH IS 50 FEET OR LESS.
 1 INCH OVER PAVEMENT JOINTS WHERE SLAB LENGTH IS MORE THAN 50 FEET VARIABLE IN MULTIPLES OF 10 INCH BUT NOT LESS THAN THE EXISTING WIDTH OF THE TRANSVERSE JOINTS IN BRIDGES AND THE JOINTS BETWEEN THE APPROACH SLABS AND BRIDGES.
 FOR THICKNESS OF 1 INCH OR MORE, LAYERS OF INCH MATERIAL MAY BE GLUED OR OTHERWISE FASTENED TOGETHER BY A MEANS SATISFACTORY TO THE R.E., WHERE THE REQUIRED JOINT OPENING EXCEEDS 1 INCH, THE CONTRACTOR MAY CONSTRUCT OPEN JOINTS, IF DESIRED.
 WHERE DOWELLED CURB IS TO BE CONSTRUCTED ACROSS A LONGITUDINAL JOINT IN THE EXISTING PAVEMENT, THE DOWELS IN THE SHORTER PORTION OF THE CURB PANEL SHALL BE OMITTED AND THE CURB IN THE PORTION OF THE PANEL SHALL BE CONSTRUCTED WITH 48# SMOOTH ROLL ROOFING BETWEEN IT AND THE EXISTING PAVEMENT.



NEW CONCRETE CURB

7 CONCRETE CURB DETAIL
N.T.S.

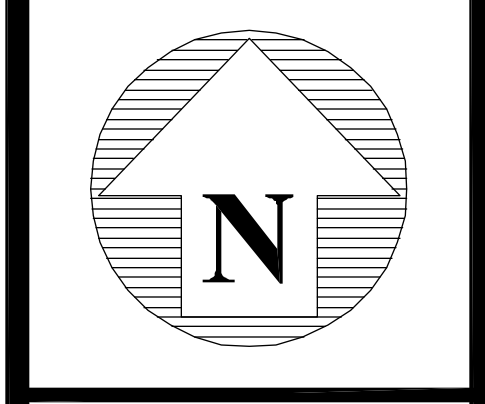
5 HANDI-CAP CURB CUT DETAILS
N.T.S.



8 CONCRETE SIDEWALK DETAIL
N.T.S.



NICK TSAPATSARIS P.E. R.A.
 N.J. Architect Lic. 15195
 N.Y. Engineer Lic. 36446
 N.Y. Engineer Lic. 67301



REVISION: 10/14/2013 - REVISED AS PER CONDITIONS OF THE RESOLUTION 06-17-13

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DESIGNED & DRAWN BY: M.S.
 CHECKED BY: N.T.
 DATE: JANUARY 10, 2013
 SCALE: 1" = 50'-0"

Nick Tsapatsaris & Associates
 Architects - Engineers
 20 WILSON SQUARE
 FLOOR 200
 PHOENIX, AZ 85004
 PHONE: 602.447.7044 FAX: 602.447.6074
 EMAIL: nick@tsapatsaris.com

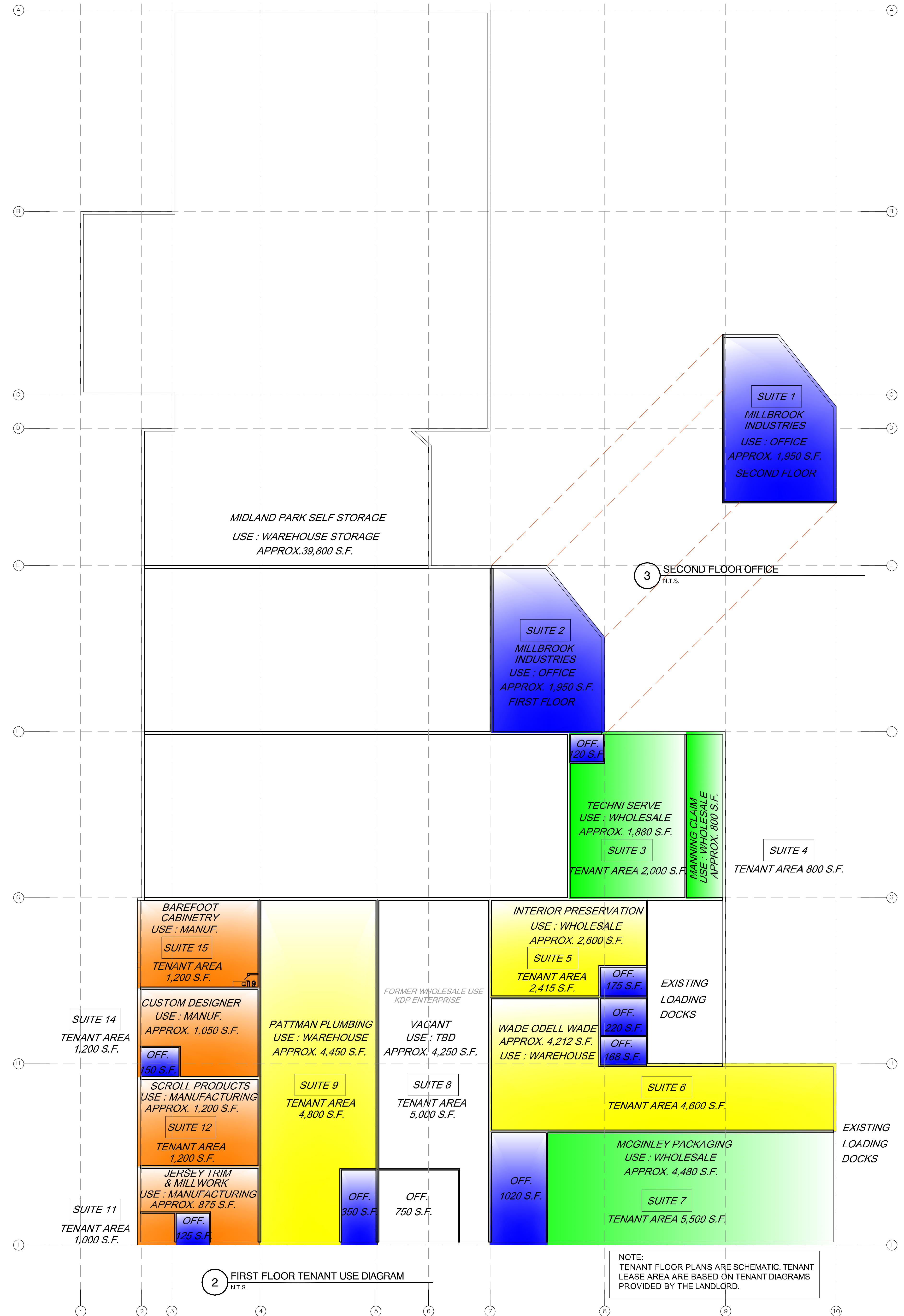
PARKING PLAN
MARLOW PARK, L.L.C.
 BLOCK 26.00 LOT 4.01 (FORMERLY 4.5, 7.04)
 MIDLAND PARK, NJ

SITE CONSTRUCTION DETAILS

JOB NUMBER
0431203
 DRAWING NUMBER
SP-4



1 KEY SITE PLAN
1" = 100'-0"



2 FIRST FLOOR TENANT USE DIAGRAM
N.T.S.

NOTE:
TENANT FLOOR PLANS ARE SCHEMATIC. TENANT LEASE AREA ARE BASED ON TENANT DIAGRAMS PROVIDED BY THE LANDLORD.

NICK TSAPATSARIS P.E. R.A.
N.J. Architect Lic. 15195
N.J. Engineer Lic. 35446
N.Y. Engineer Lic. 67301

REVISION:
12-16-2013 - REVISED AS PER TENANT LEASING UPDATE

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CHECKED BY: N.T.
DATE: DECEMBER 16, 2013
SCALE: 1" = 50'-0"

Nick Tsapatsaris & Associates
Architects - Engineers
20 WILKEY SQUARE
RIDGEWOOD, NJ 07450
Phone: (201) 447-7044 Fax: 447-6074
email: nick@tsapatsaris.com

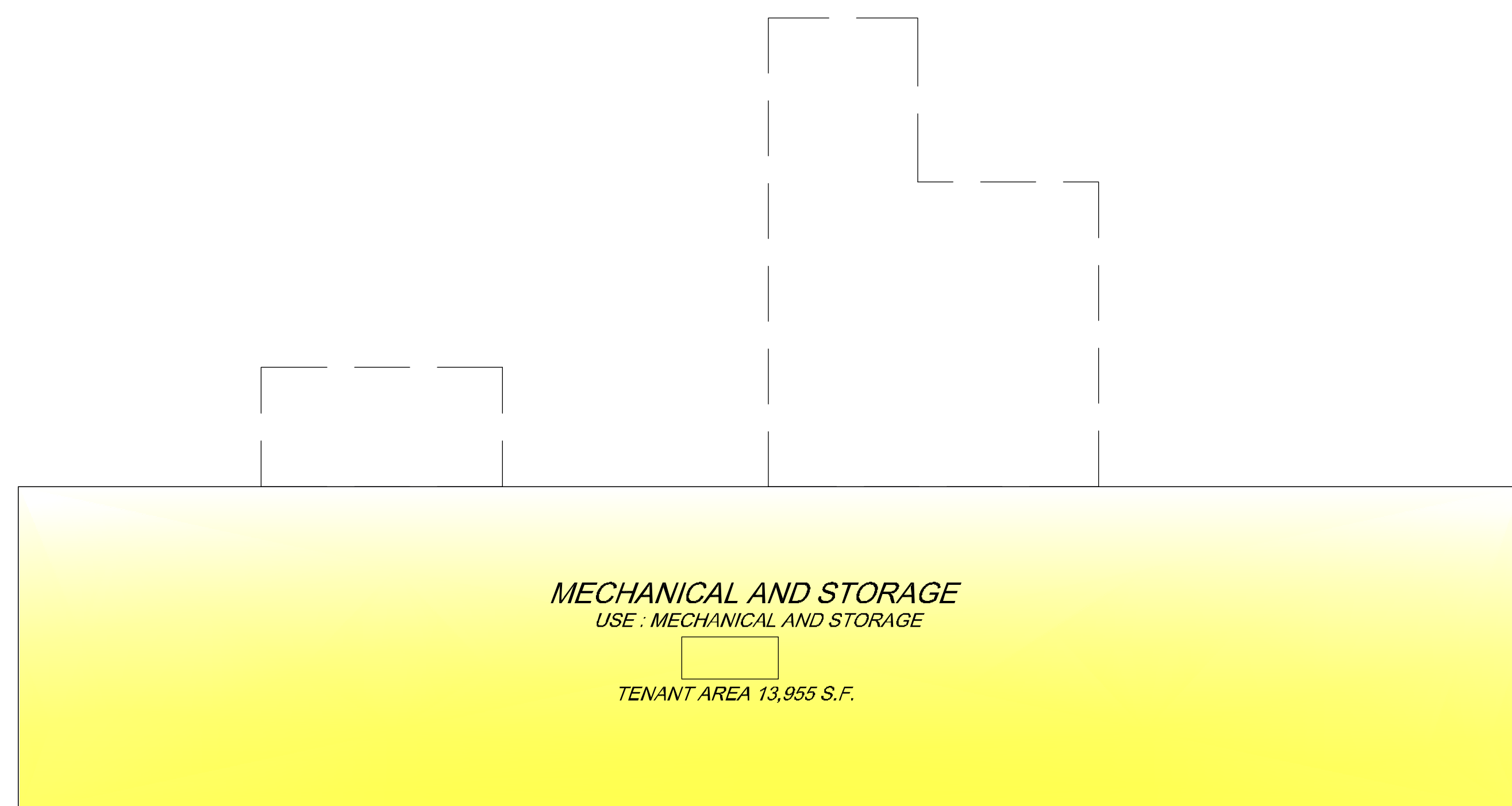
PROPOSED COMMERCIAL BUILDING
MARLOW PARK, L.L.C.
LOT 7.01, BLOCK 33.0 MIDLAND PARK, NJ
80 GREENWOOD
USE DIAGRAM

JOB NUMBER
0431203

DRAWING NUMBER
PA-1

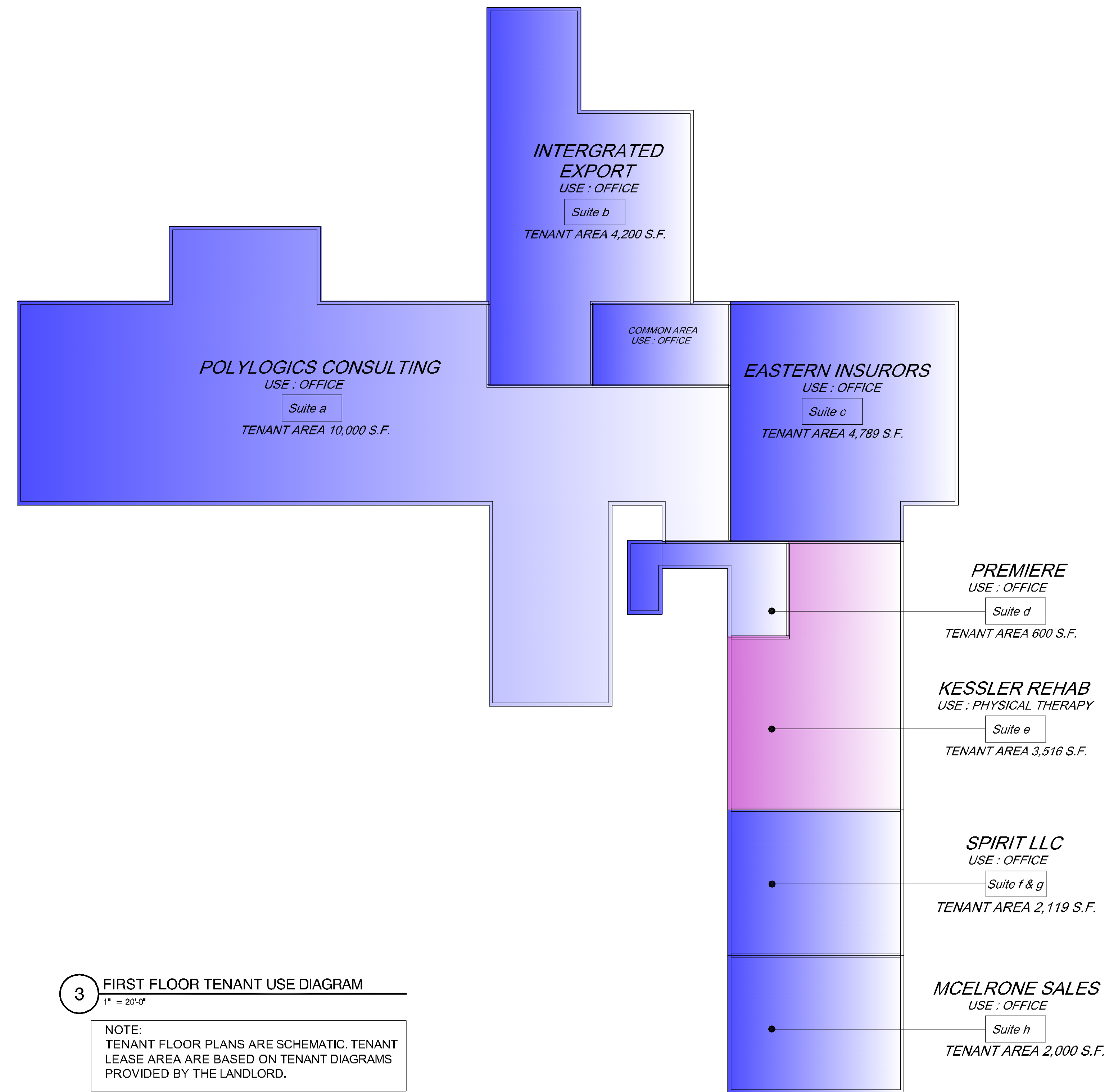


1 KEY SITE PLAN
1" = 100'-0"



2 BASEMENT TENANT USE DIAGRAM
1" = 20'-0"

NOTE:
TENANT FLOOR PLANS ARE SCHEMATIC. TENANT LEASE AREA ARE BASED ON TENANT DIAGRAMS PROVIDED BY THE LANDLORD.



3 FIRST FLOOR TENANT USE DIAGRAM
1" = 20'-0"

NOTE:
TENANT FLOOR PLANS ARE SCHEMATIC. TENANT LEASE AREA ARE BASED ON TENANT DIAGRAMS PROVIDED BY THE LANDLORD.



4 SECOND FLOOR TENANT USE DIAGRAM
1" = 20'-0"

NOTE:
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NICK TSAPATSARIS P.E. R.A.
N.J. Architect Lic. 15195
N.J. Engineer Lic. 36446
N.Y. Engineer Lic. 67301

REVISION:
12-16-2013 - REVISED AS PER TENANT LEASING UPDATE

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DESIGNED & DRAWN BY: M.S.
CHECKED BY: N.T.
DATE: DECEMBER 16, 2013
SCALE: 1" = 50'-0"

Nick Tsapatsaris & Associates
Architects - Engineers
20 WILSEY SQUARE
RIDGEWOOD, NJ 07450
Phone: (201) 447-7044 Fax: 447-6074
email: nick@tsapatsaris.com

PROPOSED COMMERCIAL BUILDING
MARLOW PARK, L.L.C.
LOT 7.01 BLOCK 33.0 MIDLAND PARK, NJ
445 GODWIN AVENUE
USE DIAGRAM

JOB NUMBER
0431203

DRAWING NUMBER
PA-2