

UVA TAPAS BAR

16230 SUMMERLIN RD.
UNIT 210 & 211
FORT MYERS, FL. 33908

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CASTELLANOS + TRAMONTE ARCHITECTS
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GENERAL NOTES: PROJECT DATA SUMMARY NOTES TO PLANS EXAMINER SHEET INDEX

INDUSTRY STANDARDS: INDUSTRY STANDARDS SHALL HAVE THE SAME FORCE AND EFFECT ON PERFORMANCE OF WORK AS IF COPIES DIRECTLY INTO THE CONTRACT DOCUMENTS OR BOUND AND PUBLISHED THERE WITH. COMPLY WITH STANDARDS IN EFFECT AS OF DATE OF CONTRACT DOCUMENTS, UNLESS OTHERWISE NOTED OR REQUIRED BY GOVERNING AUTHORITIES.

LOCAL CODES AND ORDINANCES WHERE APPLICABLE, FLOOD DAMAGE PREVENTION ORDINANCES.

SUPERVISION AND CONTROL:
THE ARCHITECT HAS NOT BEEN RETAINED, NOR IS RESPONSIBLE, FOR THE FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION OF THIS PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FIELD SUPERVISION, CONSTRUCTION ADMINISTRATION, REVIEW AND APPROVAL OF ALL SHOP DRAWINGS, VERIFICATION ON SITE OF ALL DIMENSIONS, AND STRICT COMPLIANCE WITH THESE CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF RECEIPT OF CONSTRUCTION DOCUMENTS OF ANY ERROR OR OMISSION OF THE ARCHITECT.

THE GENERAL CONTRACTOR AGREES TO ASSUME LIABILITY FOR CORRECTIVE MEASURES SHOULD THE ARCHITECT NOT BE INFORMED AS NOTED. THE GENERAL CONTRACTOR SHALL NOT DEVIATE FROM CONSTRUCTION DOCUMENTS, OR MAKE SUBSTITUTES WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT. THE GENERAL CONTRACTOR SHALL ASSIGN A QUALIFIED CONSTRUCTION SUPERVISOR TO THE PROJECT, THE GENERAL CONTRACTOR AND HIS SUPERVISION SHALL BE RESPONSIBLE FOR THE COORDINATION OF SURVEYING/RECORDING, INSPECTIONS AND TESTING, GENERAL INSTALLATION PROVISIONS, CUTTING AND PATCHING, AND CLEANING/PROTECTING.

GENERAL INSTALLATION PROVISIONS:
WELL IN ADVANCE OF EVERY MAJOR UNIT OF WORK WHICH REQUIRES COORDINATING AND INTERFACING WITH OTHER WORK, MEET AT PROJECT SITE WITH INSTALLER AND/OR REPRESENTATIVES OF MANUFACTURERS AND FABRICATORS WHO ARE INVOLVED IN OR EFFECTED BY THE UNIT OF WORK WHICH HAS PROCEEDED OR WILL FOLLOW, RECORD DISCUSSIONS. COMPLY WITH MANUFACTURER'S APPLICABLE INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION. INSPECT EACH ITEM OF MATERIAL OR EQUIPMENT IMMEDIATELY PRIOR TO INSTALLATION, AND REJECT DAMAGED OR DEFECTIVE ITEMS. PROVIDE ATTACHMENT AND CONNECTION DEVICES AND METHODS FOR SECURING WORK PROPERLY AS IT IS INSTALLED, TRUE TO LINE AND LEVEL/LAND WITHIN RECOGNIZED INDUSTRY TOLERANCE. ALLOW FOR EXPANSIONS AND BUILDING MOVEMENTS, PROVIDE UNIFORM JOINT WIDTHS IN EXPOSED WORK, ORGANIZE FOR BEST VISUAL EFFECT.

RECHECK MEASUREMENTS AND DIMENSIONS OF THE WORK, AS IN INTEGRAL STEP OF STARTING EACH INSTALLATION AND MAKING EACH PURCHASE OF EQUIPMENT.

INSTALL WORK DURING CONDITIONS OF TEMPERATURE, HUMIDITY, EXPOSURE, FORECASTED WEATHER, AND STATUS OF PROJECT COMPLETION WHICH WILL ENSURE BEST POSSIBLE RESULTS FOR EACH UNIT OF WORK, IN COORDINATION WITH THE ENTIRE WORK. ISOLATE EACH UNIT OF WORK FROM NON-COMPATIBLE WORK, AS REQUIRED TO PREVENT DETERIORATION. COORDINATE ENCLOSURE (CLOSING IN) OF WORK WITH REQUIRED INSPECTIONS AND TESTS, SO AS TO MINIMIZE THE NECESSITY OF UNCOVERING WORK FOR THAT PURPOSE. WHERE MOUNTING HEIGHTS AND LOCATIONS ARE NOT INDICATED, MOUNT INDIVIDUAL UNITS OF WORK AT INDUSTRY-RECOGNIZED STANDARDS MOUNTING HEIGHTS (LOCATIONS) FOR APPLICATIONS INDICATED. REFER QUESTIONABLE CHOICES TO ARCHITECT/ENGINEER.

TEMPORARY FACILITIES:
REFER TO THE "GENERAL CONDITIONS OF THE CONTRACT OF CONSTRUCTION" FOR BASIC COMMITMENTS TO PROVIDE THE FOLLOWING SERVICES AS REQUIRED TO PERFORM THE WORK.

TEMPORARY UTILITY SERVICES:
TEMPORARY CONSTRUCTION FACILITIES: WATER DISTRIBUTION, DEWATERING, ENCLOSURE, POWER DISTRIBUTION, TEMPORARY LIGHTING, TEMPORARY ROADS, TEMPORARY ELEVATOR/HOISTING, AND MISC. CONSTRUCTION FACILITIES.

TEMPORARY SUPPORT FACILITIES: CONTRACTOR'S FIELD OFFICE, DRINKING WATER, TOILETS, ECT. GENERAL CONTRACTOR SHALL PROVIDE PROJECT IDENTIFICATION SIGN (TO INCLUDE NAME OF PROJECT OWNER, CONTRACTOR, ARCHITECT, AND ADDITIONAL INFORMATION AS REQUESTED BY THE OWNER, CONTRACTOR SHALL SUBMIT LAYOUT FOR ARCHITECT'S APPROVAL PRIOR TO FABRICATION.

GENERAL: FIRE PROTECTION, BARRICADES, FENCING, LOCKUP AND SECURITY, SIDEWALK PROTECTION, WATCHMAN SERVICE (WHEN REQUIRED BY OWNER OR CONTRACTOR), ENVIRONMENTAL PROTECTION, REFER ALL PRODUCT SELECTIONS AND SUBSTITUTIONS TO THE OWNER FOR FINAL APPROVAL PRIOR TO ACTUAL PURCHASE OF MATERIALS.

WARRANTY AND GUARANTEE:
ONE YEAR WRITTEN GUARANTEE IS REQUIRED ON ALL WORK UNDER THIS CONTRACT. SPECIFIC PRODUCT WARRANTIES WHERE THEY APPLY SHALL ACCRUE TO THE OWNER. PROVIDE WRITTEN STATEMENTS AND/OR COPIES OF ALL WARRANTIES/GUARANTEE TO THE OWNER.

FINAL CLEANING:
AT PROJECT CLOSEOUT TIME, CLEAN OR RECLEAN ENTIRE WORK TO NORMAL LEVEL FOR "FIRST CLASS" MAINTENANCE/CLEANING OR BUILDING PROJECTS OF SIMILAR NATURE. REMOVE NON-PERMANENT PROTECTIONS AND LABELS, POLISH GLASS, CLEAN EXPOSED SURFACES, TOUCH-UP MINOR DAMAGE, REPLACE FILTERS, REMOVE DEBRIS, REPLACE BURNED OUT LIGHTS, SWEEP AND WASH PAVED AREAS, POLICE YARDS AND GROUNDS AND SANITIZE PLUMBING.

PROJECT NAME: UVA TAPAS BAR

PROJECT ADDRESS: 16230 SUMMERLIN RD., UNIT 210 & 211, FORT MYERS, FL. 33908

PROJECT USE: ASSEMBLY OCCUPANCY

CONTACT: ART CASTELLANOS PHONE: (239) 549-0997

BUILDING CODE: FLORIDA BUILDING CODE, 7TH ED. (2020)
FLORIDA BUILDING CODE, 7TH EDITION "EXISTING BUILDING" (2020)

MECHANICAL & PLUMBING CODE: FLORIDA BUILDING CODE, 7TH ED. (2020) - PLUMBING, MECHANICAL & FUEL GAS & FLORIDA BUILDING CODE, 7TH ED. (2020) "EXISTING BUILDING" SECTION 1009 & 1010

ELECTRICAL CODE: NATIONAL ELECTRICAL CODE, 2017 EDITION NFPA-70

FIRE CODE: FLORIDA FIRE PREVENTION CODE, 7TH ED.

ACCESSIBILITY CODE: FLORIDA BUILDING CODE, 7TH ED. (2020)

CLASSIFICATION OF REHABILITATION WORK NFPA 101 CHAPTER 43:
SECTION 43.2.2.1.3 - THE RECONFIGURATION OF ANY SPACE; THE ADDITION, RELOCATION, OR ELIMINATION OF ANY DOOR OR WINDOW; THE ADDITION OR ELIMINATION OF LOAD BEARING ELEMENTS; THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM; OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT.

CLASSIFICATION OF WORK CHAPTER 6 FBC EXISTING BUILDING:
SECTION 603 ALTERATION LEVEL 2 - ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT.

USE GROUP:
GROUP A-2 ASSEMBLY (SECTION 303.3)

TYPE OF EXISTING CONSTRUCTION (TABLE 601)
TYPE 1-A, PROTECTED, FULLY SPRINKLERED

OCCUPANT LOAD - EXISTING AREAS (TABLE 1004.5)

INTERIOR FINISH CLASSIFICATION (FLORIDA FIRE PREVENTION CODE, 2020 SECTION 20.1.3.3)

A-2 ASSEMBLY

EXITS & EXIT ACCESS CORRIDORS: A OR B

OTHER THAN EXITS: A, B OR C

	REQUIRED	PROPOSED
EXIT ACCESS TRAVEL DISTANCE (Table 1017.2):	250 FEET	< 250 FEET
COMMON PATH OF EGRESS TRAVEL (Table 1006.2.1):	75 FEET	< 75 FEET
MINIMUM CORRIDOR WIDTH (Table 1020.2):	36 INCHES	> 36 INCHES
MAX. DEAD END CORRIDOR (1020.4):	20 FEET	< 20 FEET
MIN. OPENING WIDTH (1010.1.1):	32 INCHES	36 INCHES

- THIS PROJECT IS FULLY ACCESSIBLE TO THE PHYSICALLY HANDICAPPED.
- FIRE EXTINGUISHERS PROVIDED PER NFPA 10, SEE LIFESAFETY PLAN.
- DOORS SHALL BE TO BE OPENED READILY FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED. LOCKS IF PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY TOOL, SPECIAL KNOWLEDGE OR EFFORT FOR OPERATIONS FROM THE EGRESS SIDE OF THE BUILDING.
- ALL EXTERIOR DOORS AND WINDOWS ARE EXISTING TO REMAIN, NONE ARE BEING REMOVED OR ADDED. NO EGRESS PATHS ARE CHANGING WITHIN THE IMPROVEMENTS.
- LP OR NATURAL GAS REQUIRES A SEPARATE SUBMISSION/REVIEW AND PERMIT.
- COMMERCIAL GREASE HOOD WITH MAKE-UP AIR REQUIRES A SEPARATE SUBMISSION/REVIEW AND PERMIT.
- WALK-IN COOLER AND/OR FREEZER OR ANY REFRIGERATION WITH A REMOTE CONDENSER REQUIRES A SEPARATE SUBMISSION/REVIEW AND PERMIT.

SHEET INDEX

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P-1	PLUMBING PLAN
P-2	PLUMBING SPECIFICATIONS AND DETAILS
E-1	LIGHTING PLAN, POWER PLAN AND ELECTRICAL PANEL

PLUMBING CALCULATIONS SITE MAP (N.T.S.)

USE GROUP A-2 ASSEMBLY OCCUPANT LOAD: 124 PERSONS (62 MEN, 62 WOMEN)

	REQUIRED	PROPOSED
WATER CLOSETS:		
MEN: 1 PER 75	1 FIXTURES	2 FIXTURES
WOMEN: 1 PER 75	1 FIXTURES	2 FIXTURES
LAVATORIES:		
1 PER 200	2 FIXTURE	4 FIXTURES
DRINKING FOUNTAINS:		
1 PER 500 PERSONS	**PER SECTION 410.4 SUBSTITUTION, FBC 2020-PLUMBING, DRINKING FOUNTAINS ARE NOT REQUIRED.	
SERVICE SINK:		
	1 FIXTURE	1 FIXTURE

VICINITY MAP (N.T.S.)

CALCULATED OCCUPANCY LOAD - UNIT #210 (1,747 SF)

ASSEMBLY AREAS	FLOOR AREA SF / SF PER OCCUP.	OCCUP. LOAD BY AREA
DINNING	772 / 15 = 51.5	52
BACK OF BAR, RESTROOM	213 / 150 = 1.4	1
BAR SEATING (ACTUAL)		17
TOTAL INTERIOR OCCUPANTS		70

CALCULATED OCCUPANCY LOAD - UNIT #211 (1,897 SF)

ASSEMBLY AREAS	FLOOR AREA SF / SF PER OCCUP.	OCCUP. LOAD BY AREA
KITCHEN	496 / 200 = 2.5	3
DINNING	698 / 15 = 46	47
RESTROOM, STORAGE	163 / 150 = .8	1
BAR SEATING (ACTUAL)		3
TOTAL INTERIOR OCCUPANTS		54

TOTAL OCCUPANT LOAD = 70 (UNIT 210) + 54 (UNIT 211) = 124 PERSONS
OCCUPANT LOAD IS BASED ON A-2 ASSEMBLY AS PER F.B.C. 2020, TABLE 1004.5

FIRE RESISTANT PARTITIONS (TABLE 508.4) (ASSEMBLY - EXISTING)

TENANT SEPARATIONS:	HOURS REQUIRED	DESIGN NO.	OPENING PROTECT
	1 HR.	EXISTING (GA FILE NO. WP 1052 PER SHELL DWGS)	N/A
EXIT ACCESS CORRIDOR: FBC TABLE 1020.1	0 HR.	N/A	N/A

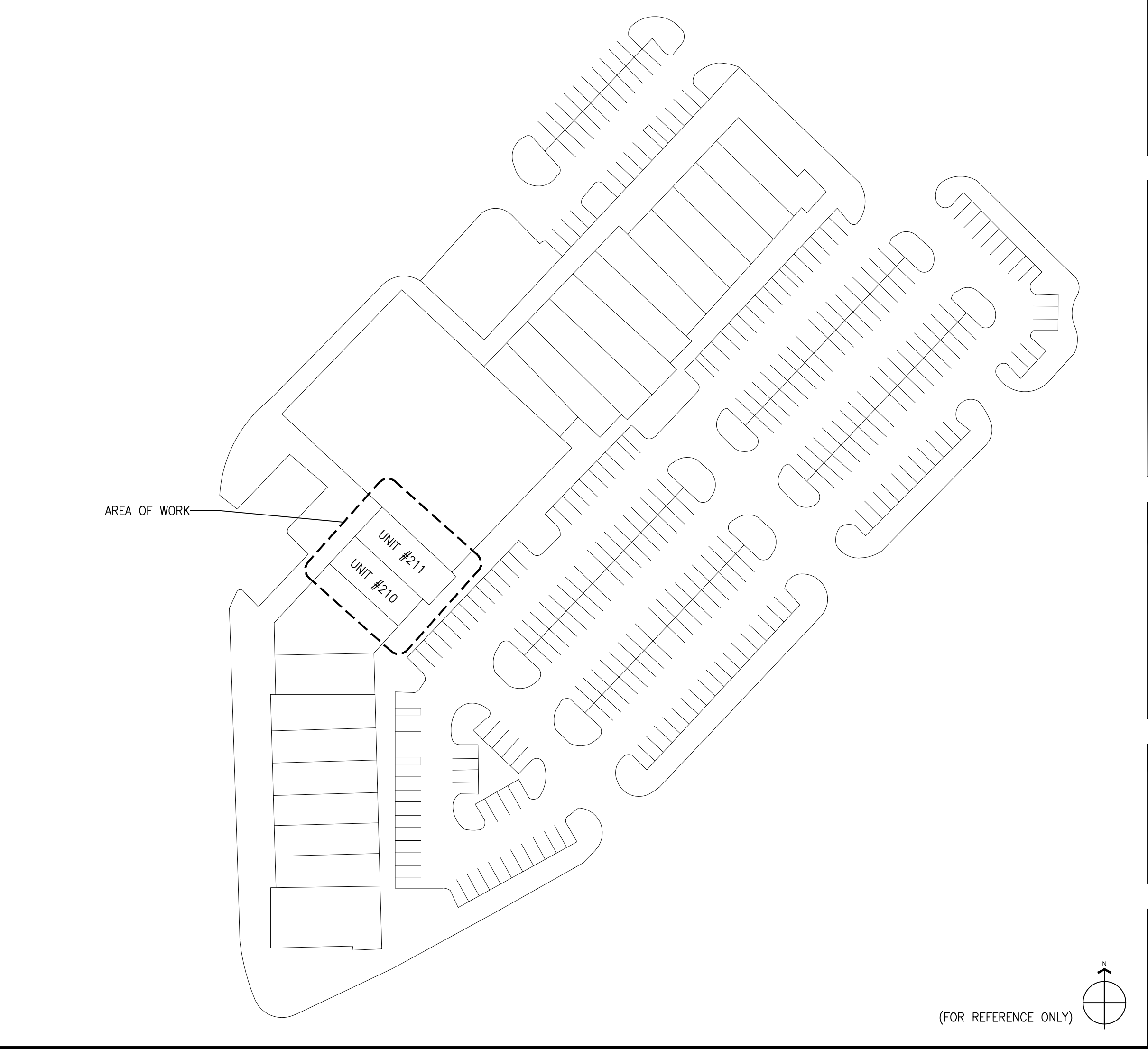
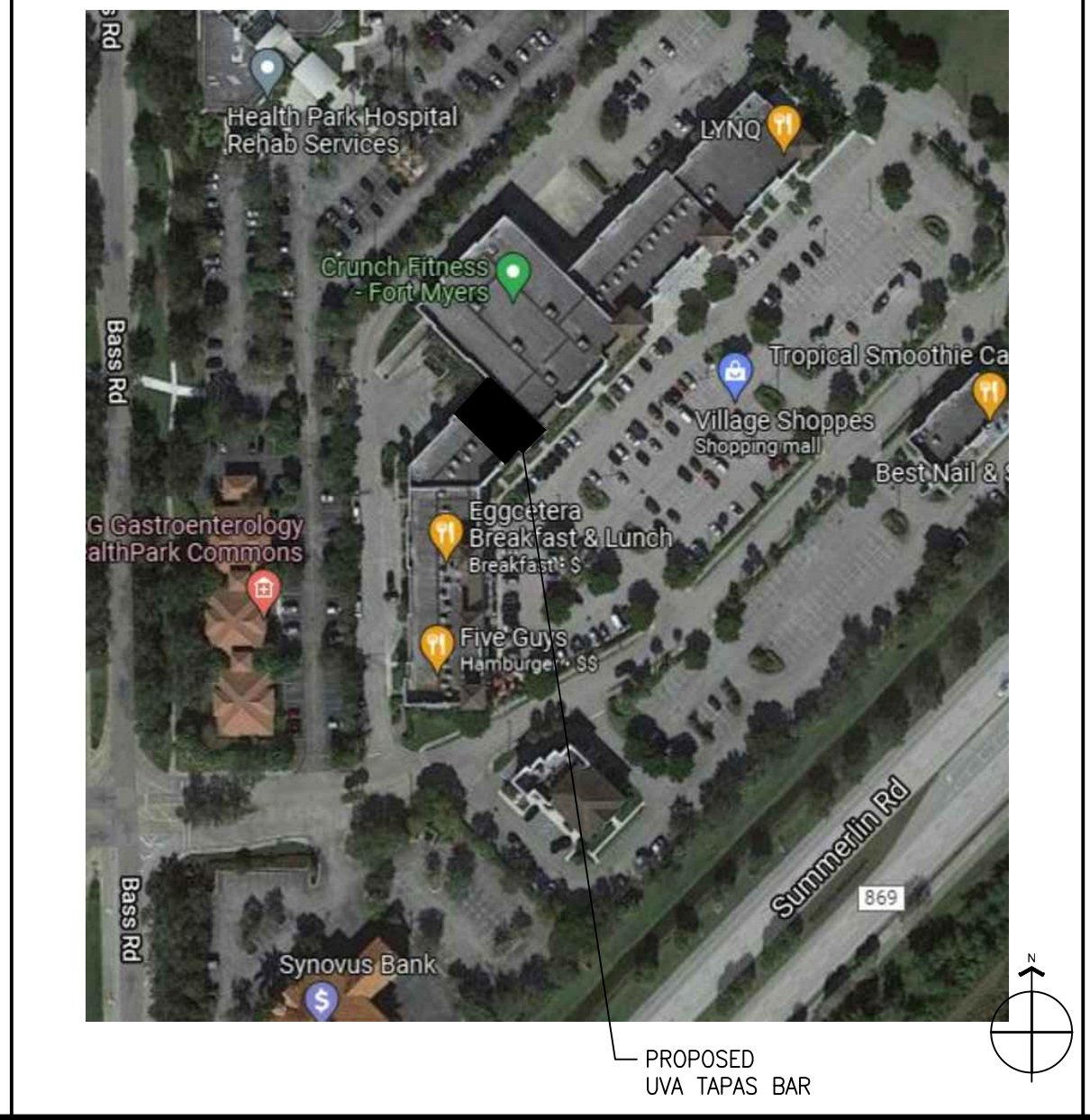
INTERIOR FINISH CLASSIFICATION (FBC 2020 TABLE 803.11)

A-2 ASSEMBLY

EXIT ENCLOSURES:	
INTERIOR EXIT PASSAGEWAYS:	B
CORRIDORS:	B
ROOMS & ENCLOSED SPACES:	C

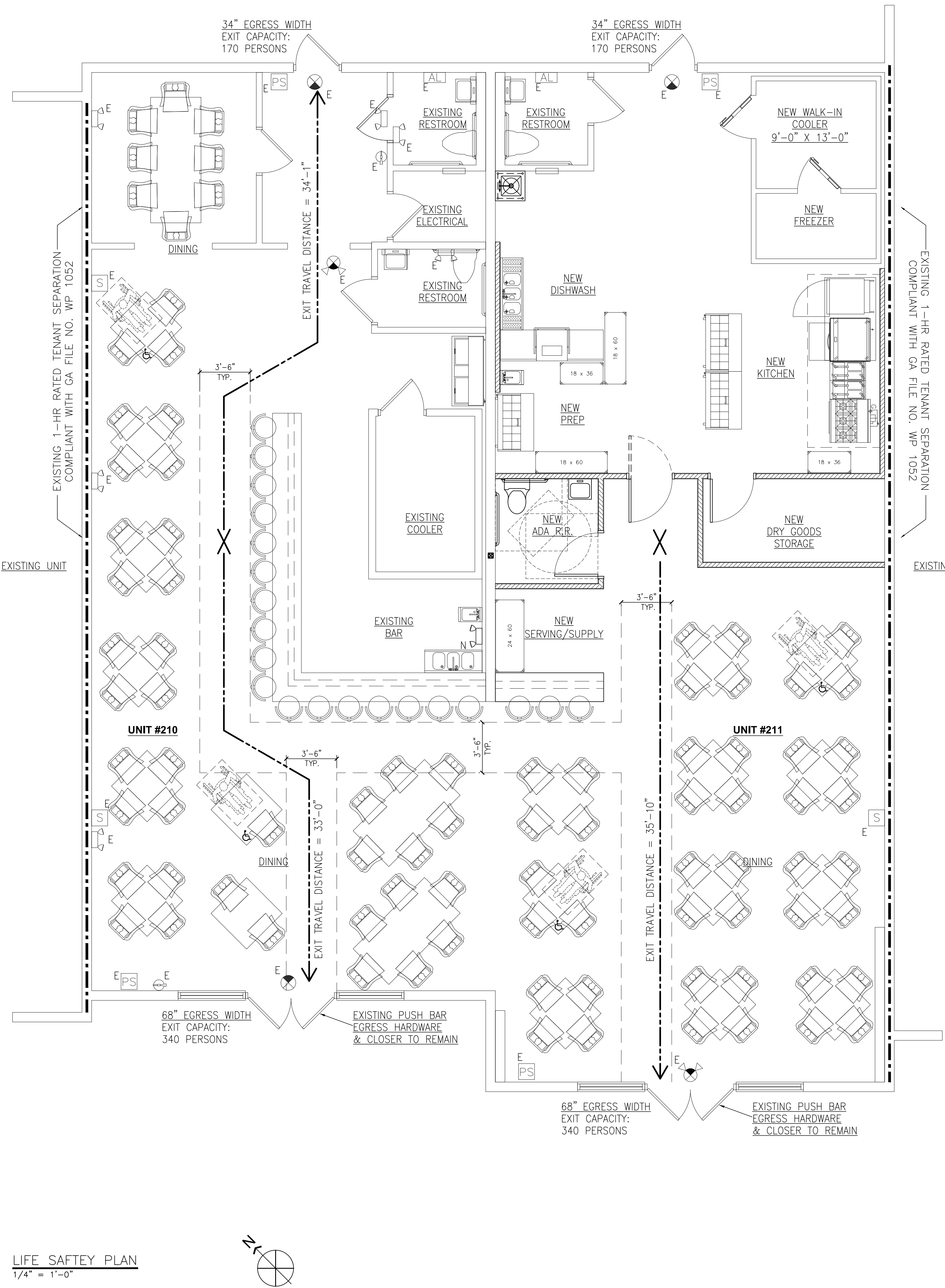
DRAWING REVISIONS LEGEND

#	REVISION - ADDENDUM
#	REVISION - ASI/CONSTRUCTION BULLETIN



(FOR REFERENCE ONLY)

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LEGEND	
	EMERGENCY LIGHTS WITH BATTERY BACKUP, REF. ELEC.
	EMERGENCY EXIT SIGN WITH LIGHTS AND BATTERY BACKUP, REF. ELEC.
	EMERGENCY EXIT SIGN, REF. ELEC.
	FIRE ALARM, REF. ELEC.
	MANUAL PULL STATION
	STROBE LIGHT, REF. ELEC.
	INDICATES LONGEST PATH OF EGRESS TRAVEL (200'-0" MAX. ALLOWED)
	FIRE EXTINGUISHER ON HOOK - 2A:10BC
	INDICATES EXISTING 1 HR FIRE RATED WALL

- "E" DENOTES EXISTING
"N" DENOTES NEW
- GENERAL NOTES**
- DO NOT SCALE DRAWINGS.
 - ALL DOORS IN THE MEAN OF EGRESS SHALL BE SINGLE ACTION RELEASE AND SHALL NOT REQUIRE THE USE OF A KEY, TOOL, OR SPECIAL KNOWLEDGE TO OPEN FROM EGRESS SIDE.
 - EXIT AND EMERGENCY LIGHTS SHALL BE FULLY OPERABLE AT THE TIME OF THE FIRE FINAL INSPECTION.
 - PLANS SHALL COMPLY WITH ALL REQUIREMENTS OF THE FLORIDA FIRE PREVENTION CODE, CURRENT EDITION, NFPA 101 (LIFE SAFETY CODE), CURRENT EDITION, AND NFPA 1 (UNIFORM FIRE CODE), CURRENT EDITION.
 - ALL EMERGENCY LIGHTS AND EXIT SIGNS HAVE BATTERY BACK-UP.
 - PROVIDE HAND HELD FIRE EXTINGUISHERS ACCORDING TO THE LOCAL FIRE MARSHALL REQUIREMENTS - PROVIDE 2A:10BC FIRE EXTINGUISHERS EVERY 3,000 SF AS PER NFPA 10 TABLE 6.2.1.1 (LIGHT HAZARD)

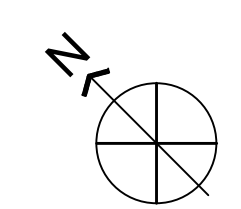
ACCESSIBLE SEATING AREAS:

SYMBOL INDICATES A 30" X 48" CLEAR FLOOR SPACE, HANDICAP ACCESSIBLE SEATING AREA, AT TABLES.

WALLS AND PARTITIONS, NONCOMBUSTIBLE			
GA FILE NO. WP 1052	GENERIC	1 HOUR FIRE	50 to 54 STC SOUND
GYPSON WALLBOARD, STEEL STUDS			
One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of 3/8" steel studs 24" o.c. with 1" Type S drywall screws 8" o.c. at vertical joints and 12" o.c. at wall perimeter and intermediate studs. Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to ONE SIDE with 1 5/8" Type S drywall screws 12" o.c.			
Joints staggered 24" each layer and side. Sound tested with 3 1/2" glass fiber friction fit in stud space. (NLR)		Thickness: 5 1/2"	Limiting Height: Refer to Section IV
		Approx. Weight: 8 pcf	Fire Test: See WP 1200
			(FM WP-45, 6-19-88; OSU 1-1770, 8-81; ULC 79T484, 79T500, 79T497, 8-21-81; ULC Design W415)
		Sound Test: NRCC 817-NV, 2-3-81	

FIRE RATED 1 HR. ASSEMBLY
N.T.S.

LIFE SAFETY PLAN
1/4" = 1'-0"



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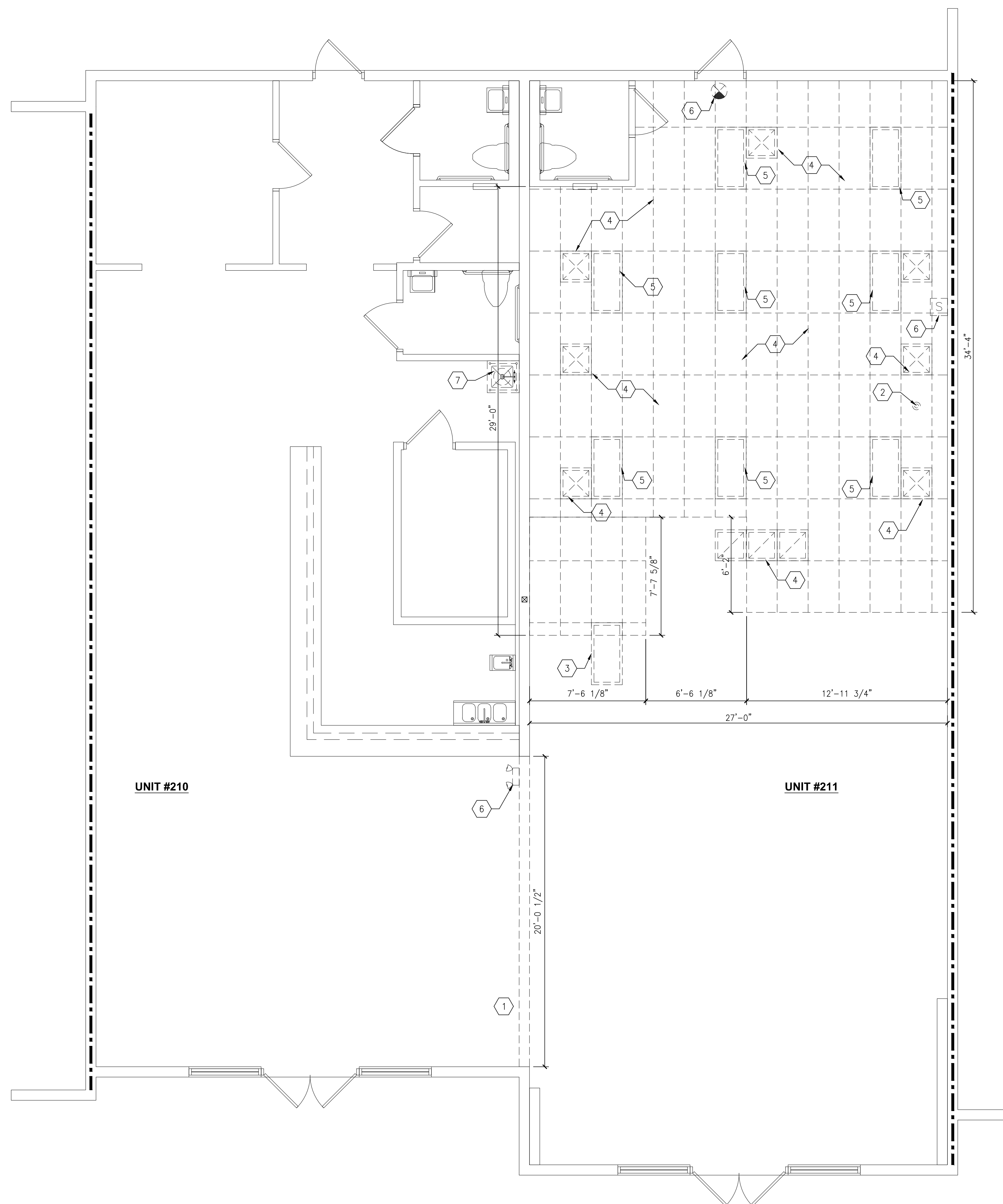
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LIFE SAFETY PLAN

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LS-1

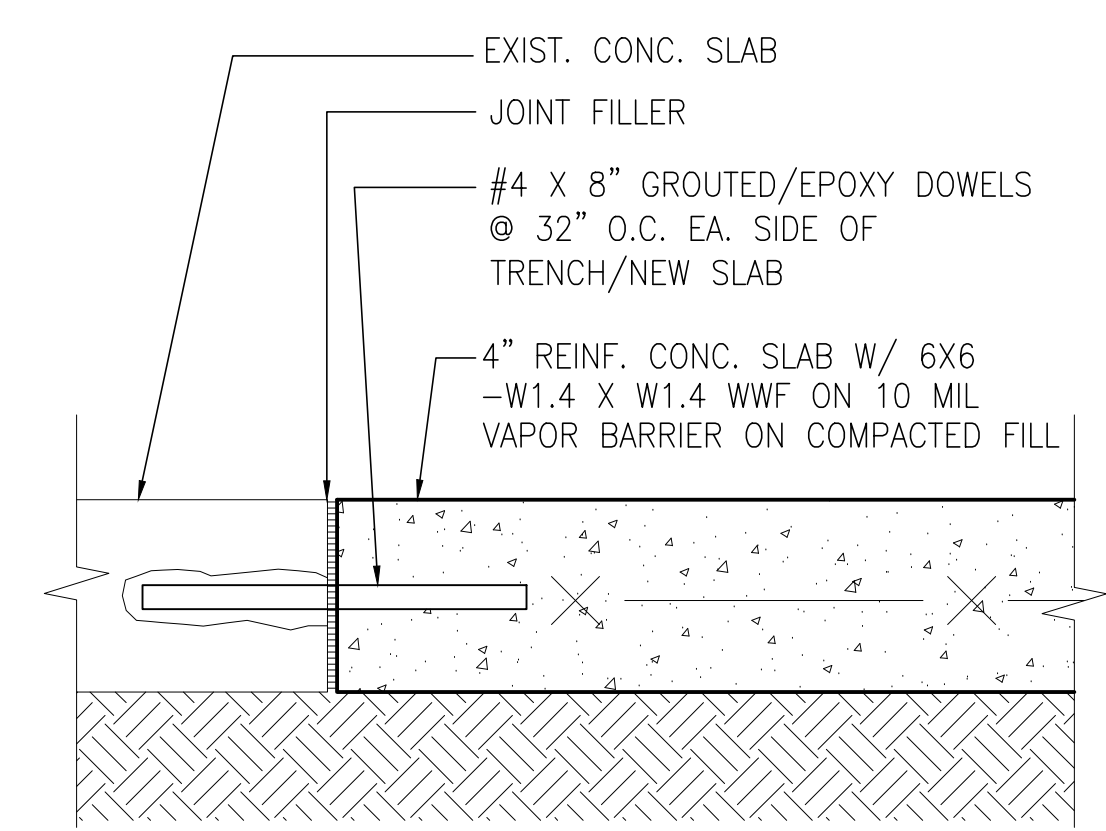
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PLAN LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	EXISTING DOOR

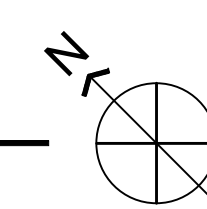
- GENERAL DEMOLITION NOTES:**
- DEMOLITION PLANS SHOW APPROXIMATE LAYOUT OF EXISTING BUILDING AND ARE NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK, PRIOR TO THE START OF CONSTRUCTION.
 - WALLS, PARTITIONS, DOORS, FRAMES, AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES WITHIN WALLS AND PARTITIONS SHALL REMAIN AND RELOCATED PER NEW FLOOR PLANS. EDGES OF WALLS SHOWN TO REMAIN SHALL BE SAW CUT OR CLEANLY TOOTHED TO ACCEPT NEW CONSTRUCTION. REPAIR AND PATCH EXISTING WALLS SHOWN TO REMAIN WHERE INTERSECTING WALLS, DOORS, FRAMES, ETC. ARE SHOWN TO BE REMOVED AND WHERE EXISTING CONSTRUCTION WILL NOW BE EXPOSED IN THE NEW CONSTRUCTION.
 - ALL EXISTING GYPSUM BOARD WALLS SHALL BE PATCHED, REPAIRED AND MADE SMOOTH TO ACCEPT NEW COAT OF PAINT THROUGHOUT TENANT SPACE.
 - EXISTING CONSTRUCTION SHOWN TO REMAIN INCLUDING BUT NOT LIMITED TO WALLS, PARTITIONS, DOORS, FRAMES, ETC. SHALL BE PROTECTED DURING DEMOLITION. DAMAGE TO EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE RESTORED TO MATCH PRE-DAMAGED CONDITION AT NO ADDITIONAL COST.
 - PROTECT FROM DAMAGE ALL EXISTING FINISH WORK TO REMAIN IN PLACE AND WHICH BECOMES EXPOSED DURING DEMOLITION OPERATION.
 - PROVIDE ALL NECESSARY SHORING, BRACING, AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURE OR ELEMENT TO BE DEMOLISHED, AND ADJACENT STRUCTURE OR ELEMENT SHOWN TO REMAIN.
 - PROVIDE SECURITY BARRIERS DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION AND INSTALLATION OF NEW CONSTRUCTION.
 - WHERE FINISHES ARE SHOWN TO BE REMOVED FROM EXISTING CONSTRUCTION, REPAIR AND PATCH REMAINING SUBSTRATE AND PREPARE FOR NEW FINISH. CAREFULLY REPAIR AND PATCH ALL REMAINING SUBSTRATES THAT WERE ORIGINALLY CONCEALED BY EXISTING FINISHES, BUT WILL NOW BE EXPOSED IN THE NEW CONSTRUCTION.
 - ALL INFILL OR REPLACEMENT WORK IS TO MATCH EXISTING CONDITIONS IN MATERIALS, CONSTRUCTION AND FINISH, UNLESS SPECIFICALLY NOTED ELSEWHERE IN THE CONSTRUCTION DOCUMENTS.
 - ALL ELECTRICAL AND MECHANICAL DEVICES SUCH AS LIGHTS, RECEPTACLES, SWITCHES, DIFFUSERS, ETC., CALLED OUT AS RE-USED SHALL BE CLEANED AND SERVICED TO ENSURE THAT THEY ARE IN GOOD WORKING CONDITION. IF A DEVICE IS DEEMED UNACCEPTABLE FOR RE-USE, A NEW DEVICE SHALL BE PROVIDED THAT MATCHES THE EXISTING.

DEMOLITION KEYNOTES	
	EXISTING WALL & DOORS TO BE REMOVED TO OPEN FOR NEW CONSTRUCTION. REPAIR, PATCH, & PAINT ALL ADJACENT WALL, FLOOR, & CEILING SURFACES. SEE PROPOSED FLOOR PLAN FOR FURTHER DETAILS.
	REMOVE AND RELOCATE EXISTING FIRE SPRINKLER HEAD TO ACCOMMODATE NEW KITCHEN HOOD.
	REMOVE AND RELOCATE EXISTING LIGHTING FIXTURE. SEE PROPOSED CEILING PLAN FOR NEW LOCATION. LIGHTING FIXTURE MAY BE RE-USED IF IN GOOD WORKING CONDITION.
	REMOVE EXISTING CEILING TILES, CROWN MOLDING, GRID, & MECHANICAL DEVICES IN THEIR ENTIRETY. MECHANICAL DEVICES MAY BE RE-USED IF IN GOOD WORKING CONDITION.
	REMOVE EXISTING LIGHT FIXTURES. LIGHT FIXTURE MAY BE RE-USED IF IN GOOD WORKING CONDITION.
	REMOVE AND RELOCATE EXISTING EMERGENCY AND FIRE SAFETY DEVICES. MAY BE RE-USED IF IN GOOD WORKING CONDITION.
	EXISTING PLUMBING FIXTURE AND ASSOCIATED ITEMS TO BE REMOVED IN ITS ENTIRETY, RELOCATE ALL LINES AS PER NEW FLOOR PLAN. ALL UNUSED LINES SHALL BE CUT BACK, CAPPED AND CONCEALED AS REQ'D.



1 NEW SLAB TO EXISTING
3" = 1'-0"

DEMOLITION PLAN
1/4" = 1'-0"



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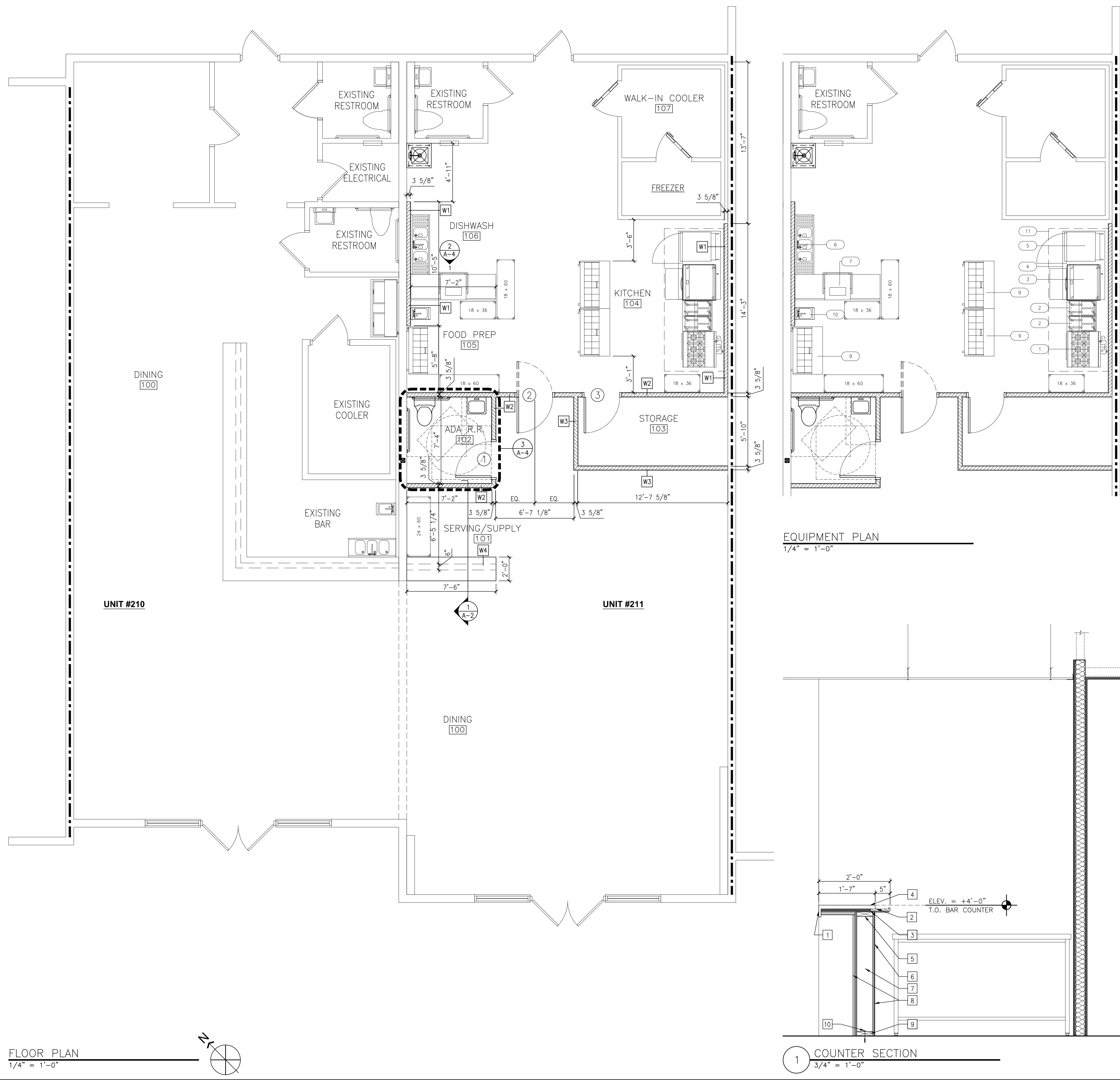
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DEMOLITION FLOOR PLAN

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LEGEND

- NEW DOOR, REF. DOOR SCHEDULE A-4
- EXISTING DOOR
- METAL STUD PARTITION, SEE WALL TYPES
- EXISTING TO REMAIN
- INDICATES EXISTING 1 HR FIRE RATED WALL REF. TO SHEET LS-1 FOR DETAILS

EQUIPMENT SCHEDULE

MARK	EQUIPMENT
1	SIX BURNER RANGE
2	GAS FRYERS ON CASTERS
3	COUNTER TOP GRIDDLE
4	REFRIGERATED EQUIPMENT STAND (BELOW)
5	CONVECTION OVEN
6	3 COMPARTMENT SINK
7	DISHWASHER
8	REACH-IN REFRIGERATOR
9	REFRIGERATED SANDWICH PREP UNIT
10	HAND SINK
11	EXHAUST HOOD

WALL TYPES

- W1** 3 5/8" X 20 GA. METAL STUDS @ 24" O.C. W/ 5/8" GYP. BD. ON ONE SIDE TO 6" ABV. ACOUSTIC CEILING.
- W2** 3 5/8" X 20 GA. METAL STUDS @ 24" O.C. W/ 5/8" GYP. BD. EACH SIDE TO 6" ABV. ACOUSTIC CEILING. (GYP. BD. TO UNDERSIDE OF FIN. CLG. WHERE GYP. BD. CEILINGS ARE LOCATED) PROVIDE 3 1/2" SOUND BATT INSULATION FULL HEIGHT.
- W3** SAME AS WALL TYPE W2 WITH THE EXCEPTION OF: NO BATT INSULATION
- W4** LOW WALL: 2 X 6 WOOD STUDS @ 16" O.C. W/ 5/8" GYP. BD. ON EACH SIDE HEIGHT TO BE 48" A.F.F.

GENERAL NOTES

- PROVIDE ALL WOOD BLOCKING NECESSARY FOR THE ATTACHMENT OF MISCELLANEOUS EQUIPMENT INCLUDING BUT LIMITED TO TOILET ACCESSORIES, DOOR HARDWARE, ELECTRICAL DEVICES, GRAB BARS, HANDRAILS, CASEWORK AND MILLWORK.
- THE TRANSITION OF DIFFERENT FLOORING MATERIALS AT A DOORWAY SHALL OCCUR AT THE CENTERLINE OF DOOR UNLESS INDICATED OTHERWISE.
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DO NOT SCALE DRAWINGS.
- PROVIDE MOISTURE RESISTANT GYPSUM WALLBOARD AT WALLS AT ALL DAMP LOCATIONS (RESTROOMS, DISHWASH)
- UNLESS OTHERWISE NOTED ON THE PLAN OR AS CLEAR DIMENSIONS, ALL PLAN DIMENSIONS ARE TAKEN FROM FACE OF CMU OR CONCRETE TO FACE OF STUD OR FACE OF STUD TO FACE OF STUD.
- DOORS NOT OTHERWISE DIMENSIONED SHALL BE 4" FROM FACE OF ADJACENT CMU OR CONCRETE WALL TO ROUGH DOOR OPENING AND 4" FROM FACE OF ADJACENT STUD WALL TO ROUGH DOOR OPENING.

SECTION KEYNOTES

1	3/4" THICK GRANITE FASCIA
2	STAINLESS STEEL DRINK RAIL
3	STEEL BAR SUPPORTS @ 24" O.C. SECURED TO P.T. WD. BLOCKING
4	1-1/4" THICK GRANITE BAR TOP SECURED TO 3/4" PLYWD.
5	WOOD BLOCKING AS REQUIRED
6	PAINTED EPOXY PT.
7	2 X 6 FRAMING @ 16" O.C.
8	5/8" GYP. BD.
9	2 X 6 P.T.
10	1/4" TAPCONS @ 32" O.C., 4" MIN. EMBED. TO EXISTING CONCRETE SLAB

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16230 SUMMERLIN RD.
UNIT 210 & 211
FORT MYERS, FL. 33908

CASTELLANOS + TRAMONTE ARCHITECTS

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(239) 549-0997

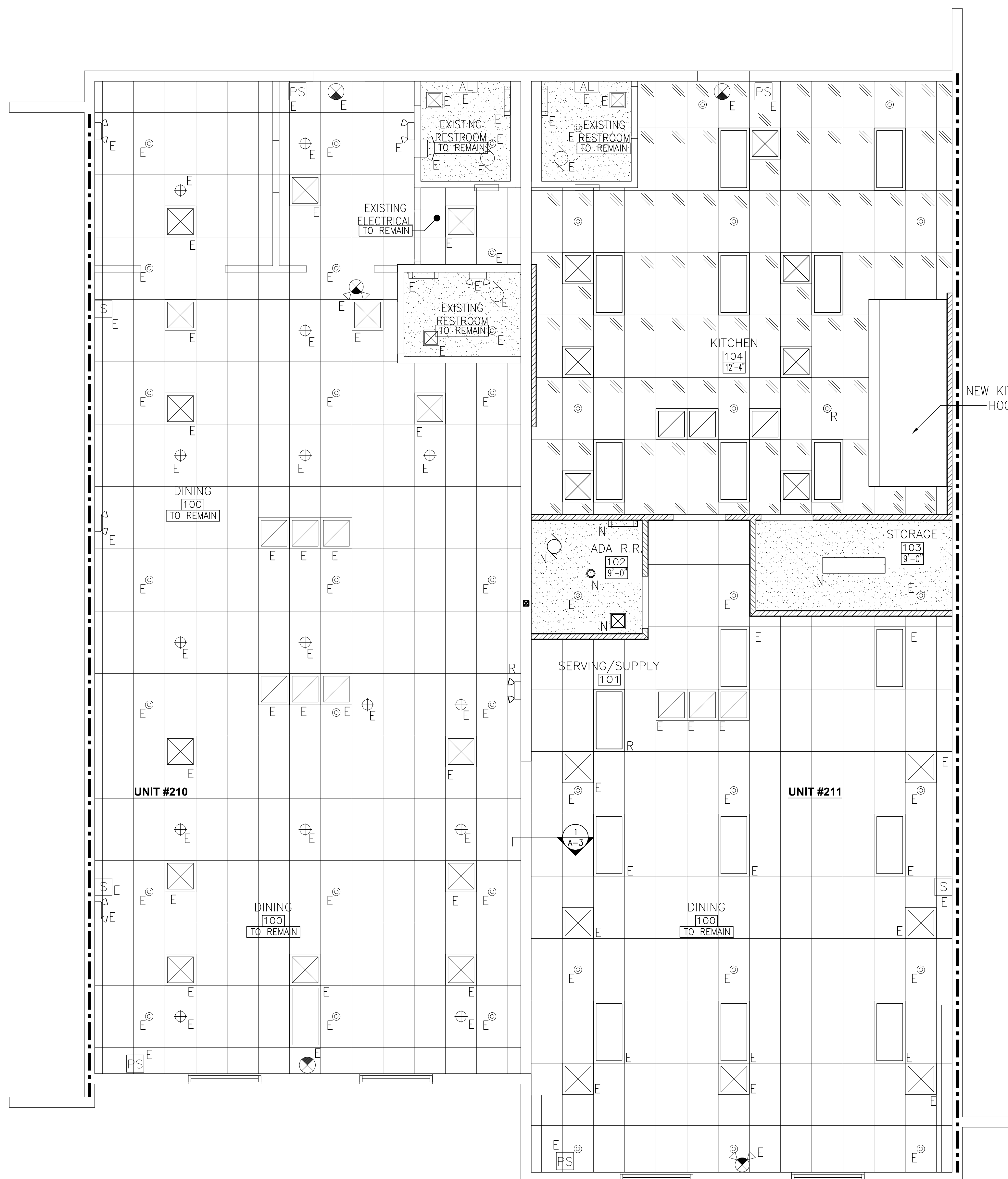
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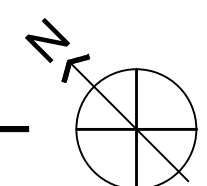
DRAWING NAME:
FLOOR PLAN,
EQUIPMENT PLAN,
& SECTION

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A-2

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REFLECTED CEILING PLAN
1/4" = 1'-0"



LEGEND

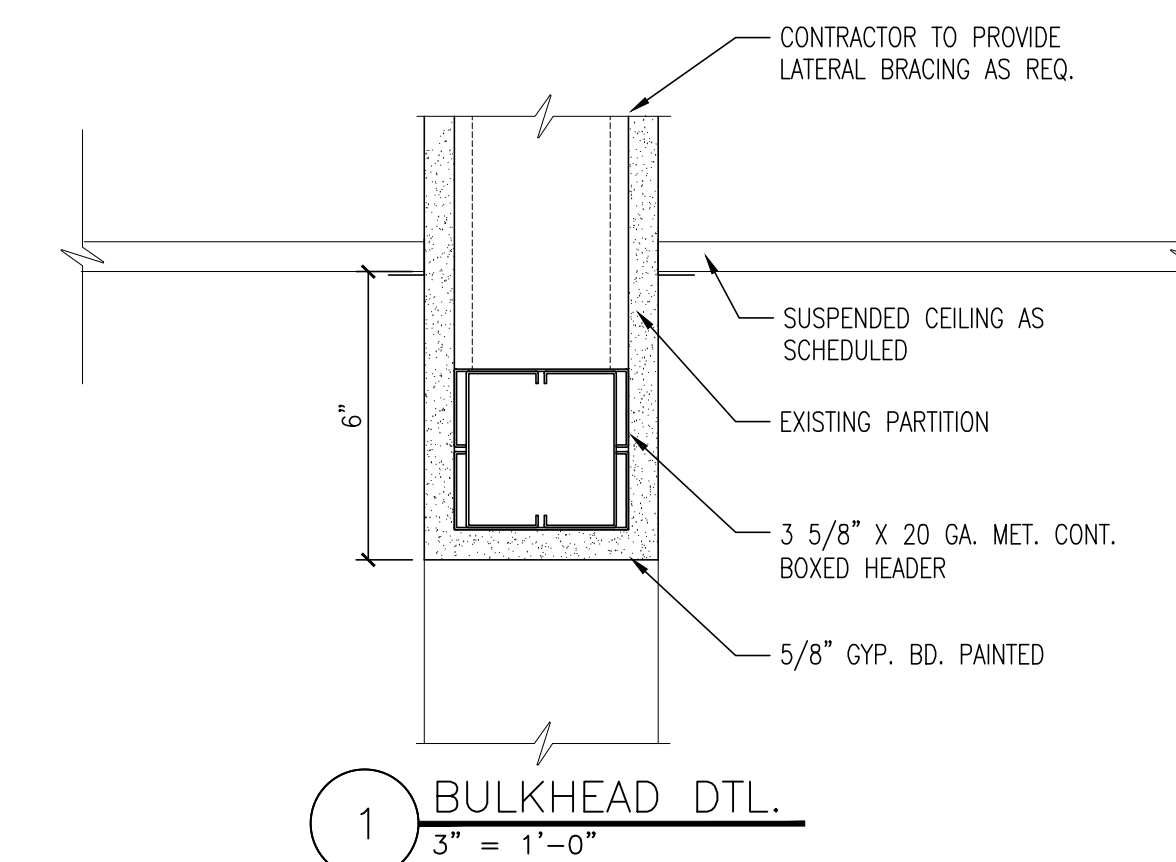
- 24" x 48" LED LIGHT FIXTURE
- 12" x 48" LED LIGHT FIXTURE SURFACE MOUNTED
- WALL MOUNTED LIGHT FIXTURE
- RECESSED LED CAN FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- SPRINKLER HEAD
- EMERGENCY EXIT SIGN/LIGHTS COMBO
- EMERGENCY LIGHTS
- FIRE ALARM
- ARMSTRONG CEILINGS 24" X 24" ACOUSTIC CEILING: OPTIMA SQUARE TEGULAR 9/16" #3251
- WASHABLE LAY IN CEILING TILE & ALUMINUM GRID AT PREP & KITCHEN 12'-4" CEILING HEIGHT
- ARMSTRONG SHORTSPAN DRYWALL FRAMING SYSTEM OR METAL STUDS. PROVIDE 5/8" GYP. BD. CEILING, PAINTED (OWNER TO SELECT COLOR)
- SUPPLY AIR DIFFUSER
- RETURN AIR DIFFUSER
- CEILING EXHAUST FAN

"E" DENOTES EXISTING
 "N" DENOTES NEW
 "R" DENOTES RELOCATED

LIGHTING CIRCUIT NOTE:
 ALL LIGHTING CIRCUITS TO REMAIN

EMERGENCY LIGHTING NOTE:
 EMERGENCY LIGHTS WITH BATTERY BACKUP. CONNECT TO LOCAL LIGHTING CIRCUIT AHEAD OF ANY SWITCHING PER NEC 700.12(F)

HVAC NOTE:
 ALL DUCTWORK IS EXISTING TO REMAIN. SUPPLY AND RETURN DIFFUSERS TO BE RE-INSTALLED AFTER NEW CEILING GRID. IF DEEMED ACCEPTABLE BY THE OWNER, REPLACE W/NEW AS NEEDED.



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DRAWING NAME:
 REFLECTED CEILING PLAN

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DOOR AND FRAME SCHEDULE										ROOM FINISH SCHEDULE													
DOOR									FRAMES				DOOR/ FRAME RATING	REMARKS	IMPACT RESISTANT GLASS	FL PRODUCT APPROVAL NO.	WALLS				CEILING		REMARKS
MARK	ROOM NAME	ROOM #	WIDTH	HEIGHT	THICKNESS	TYPE	DESCRIPTION	HARDWARE SET	HEAD	MATERIAL	FINISH	TYPE					1	2	3	4	MATERIAL	HEIGHT	
1	ADA R.R.	102	3'-0"	7'-0"	1 3/4"	A	SOLID CORE WOOD	1	STD.	HOLLOW METAL	PTD. WHITE	F-1	-	-	-	-	ACT	12'-4"	-				
2	KITCHEN	104	3'-0"	7'-0"	-	B	ELIASON DOUBLE ACTING	2	-	-	MFR. PREFIN. WHITE	-	-	-	-	-	ACT	12'-4"	-				
3	STORAGE	103	3'-0"	7'-0"	1 3/4"	A	SOLID CORE WOOD	3	STD.	HOLLOW METAL	PTD. WHITE	F-1	-	-	-	-	GYP. BD.	9'-0"	-				
																	ACT	12'-4"	-				
																	ACT	12'-4"	-				
																	ACT	12'-4"	-				
																	ACT	12'-4"	-				
																	ACT	12'-4"	-				

HARDWARE SCHEDULE: BASIS OF DESIGN BELOW IS SCHLAGE ND SERIES LEVERS RHODES (RHO)
EACH TO HAVE:
HARDWARE LISTED BELOW.
1. 1 1/2 PAIR HINGES, BATH PRIVACY LOCK (ND40S), SILENCERS AND WALL STOP.
2. HARDWARE PROVIDED BY MFR. - ELIASON DOOR HARDWARE
3. 1 1/2 PAIR HINGES, OFFICE LOCK (ND50PD), SILENCERS AND WALL STOP.

HARDWARE SPECIFICATIONS:
CLOSER - LCN 4040 XP SERIES
HINGES - HAGER BB1279
PANIC HARDWARE - HAGER SERIES 4700 RIM-47NL EXIT DEVICE
DRIP - NGP 16A
WEATHER SEAL - NGP 5050CL
DOOR SWEEP - NGP 200NA
KICK PLATE - HAGER 190S 12"H. X 34"W. (US28)
THRESHOLD - NGP 425E-LAR
WALL STOP - ROCKWOOD 409
SILENCERS - IVES SR64

HARDWARE GENERAL NOTE:
1. ALL HARDWARE FINISHES SHALL BE US26D UNLESS OTHERWISE NOTED OR AS DIRECTED BY THE OWNER.
2. SUBSTITUTIONS WILL BE PERMITTED WITH ARCHITECT'S APPROVAL.

INTERIOR AND EXTERIOR ACCESSIBILITY NOTES:
1. ALL DOORS SHALL BE OPERABLE BY A SINGLE EFFORT, THE DOORS AND CLOSERS SHALL BE ADJUSTED SUCH THAT EXTERIOR SWINGING DOORS CAN BE OPERATED BY NOT MORE THAN 5.0 POUNDS OF FORCE.
2. PUSH BARS, HANDRAILS, PULLS, LOCKSETS AND OTHER OPERATING MECHANISM ON ALL DOORS AND OTHER MECHANISMS OR U-SHAPED HANDLES SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE, THIS REQUIREMENT SHOULD BE SATISFIED BY THE 5 POUND FEET STANDARD. ALL DOORS SHALL MEET ACCESSIBILITY REQUIREMENTS AS PER CODES STATED ON THE COVER SHEET

ROOM FINISH SCHEDULE										
ROOM NAME	ROOM #	WALL BASE	FLOOR	WALLS				CEILING		REMARKS
				1	2	3	4	MATERIAL	HEIGHT	
DINING	100	SC	SC	P-1	P-1	P-1	P-1	ACT	12'-4"	-
SERVING/SUPPLY	101	SC	SC	P-1	P-1	P-1	P-1	ACT	12'-4"	-
ADA R.R.	102	CT	PC	CT	CT	CT	CT	GYP. BD.	9'-0"	-
STORAGE	103	SC	SC	P-1	P-1	P-1	P-1	GYP. BD.	9'-0"	-
KITCHEN	104	SC	SC	P-1	P-1	P-1	P-1	ACT	12'-4"	-
FOOD PREP	105	SC	SC	P-1	P-1	P-1	P-1	ACT	12'-4"	-
DISHWASH	106	SC	SC	P-1	P-1	P-1	P-1	ACT	12'-4"	-
WALK-IN COOLER	107	SC	SC	P-1	P-1	P-1	P-1	ACT	12'-4"	-

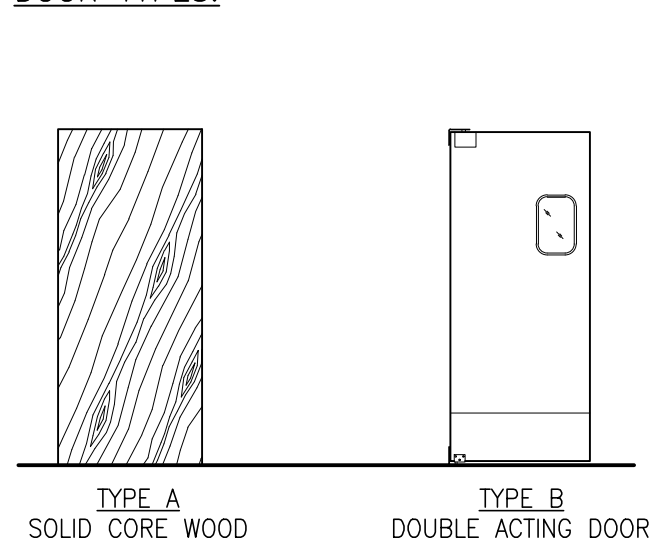
ROOM FINISH NOTES:
1. TAPE, FLOAT, SAND, SKIP TROWEL, TEXTURE & PAINT ALL GYP. BD. WALLS.
2. PAINT ALL SURFACES AS DIRECTED BY OWNER.
3. OWNER SHALL SELECT ALL COLORS, PATTERNS, TRIM & OTHER ITEMS REQUIRED FOR A COMPLETE PROJECT.
4. ALL FINISHES TO BE SELECTED BY OWNER

ROOM FINISH LEGEND:
CT CERAMIC TILE
ACT ACOUSTIC CEILING TILE
SC SEALED CONCRETE
PC POLISHED CONCRETE

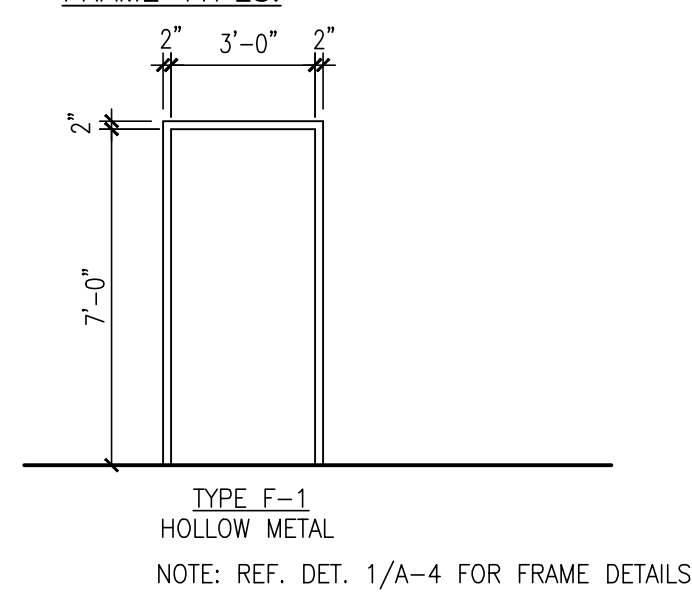
ROOM FINISH NOTES:
COLORS SELECTED BY OWNER
INSTALL ALL PRODUCTS ACCORDING TO MANUFACTURERS WRITTEN SPECIFICATIONS
FLOORS:
COMMERCIAL CERAMIC TILE: GENERAL CONTRACTOR TO PROVIDE COMMERCIAL TILE ALLOWANCE PER SQ. FT. AT AREAS SPECIFIED.

WALLS:
PAINT: 2 COATS WASHABLE, SHERWIN WILLIAMS EMERALD INTERIOR ACRYLIC LATEX "FLAT FINISH" DRYWALL TO HAVE SMOOTH (LEVEL 4) FINISH.
EPOXY PAINT: 2 COATS INSL-TILE LOW VOC, LOW ODOR EA-7010 (BATHROOM)
CEILING:
GYP. BD: 5/8" GYP. BOARD
ACT: ACOUSTICAL CEILING TILE, WASHABLE FOR KITCHENS. SQUARE LAY-IN CEILING TILE AND GRID
NOTE: ALL COLORS TO BE SELECTED BY OWNER

DOOR TYPES:

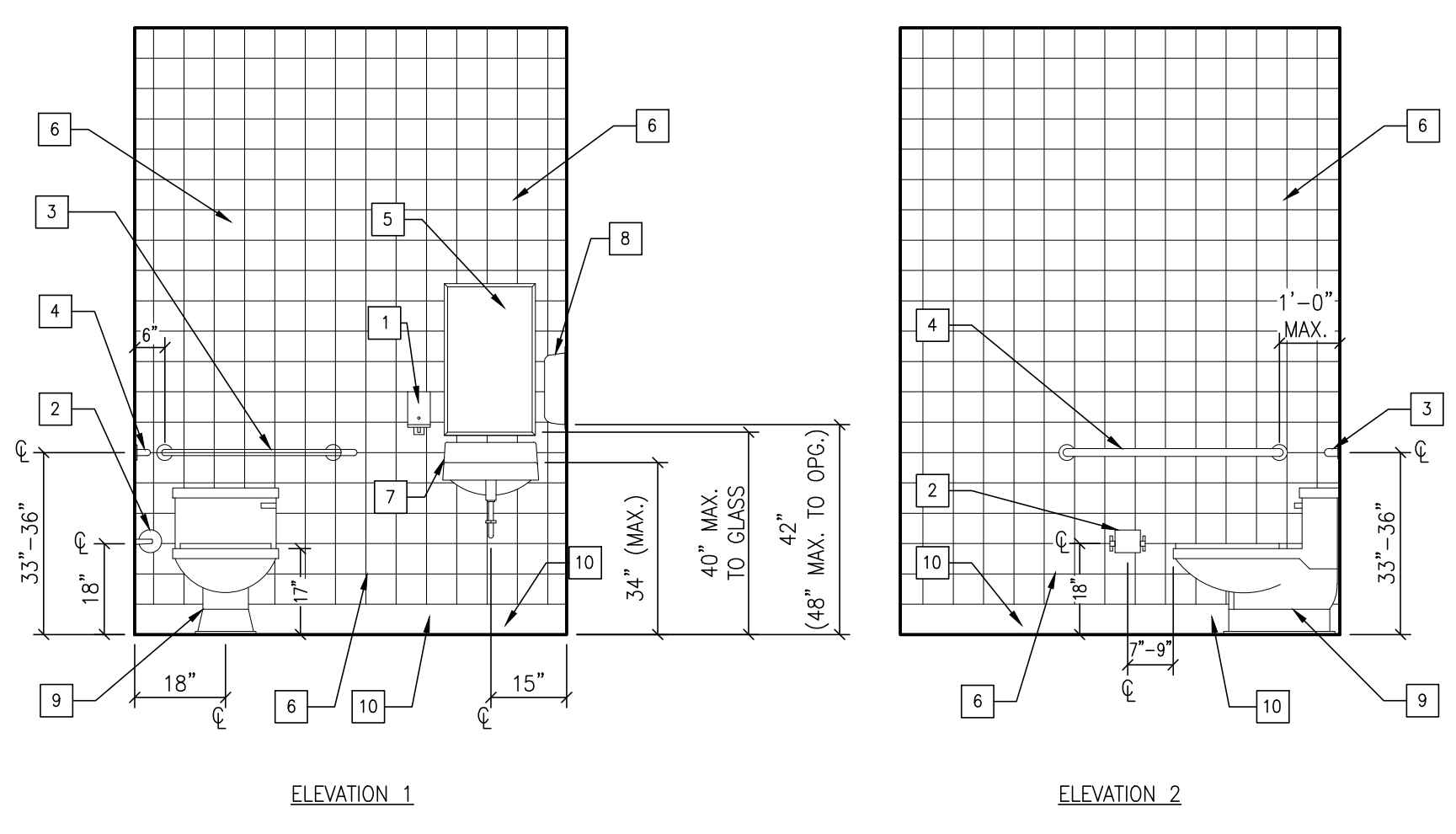


FRAME TYPES:

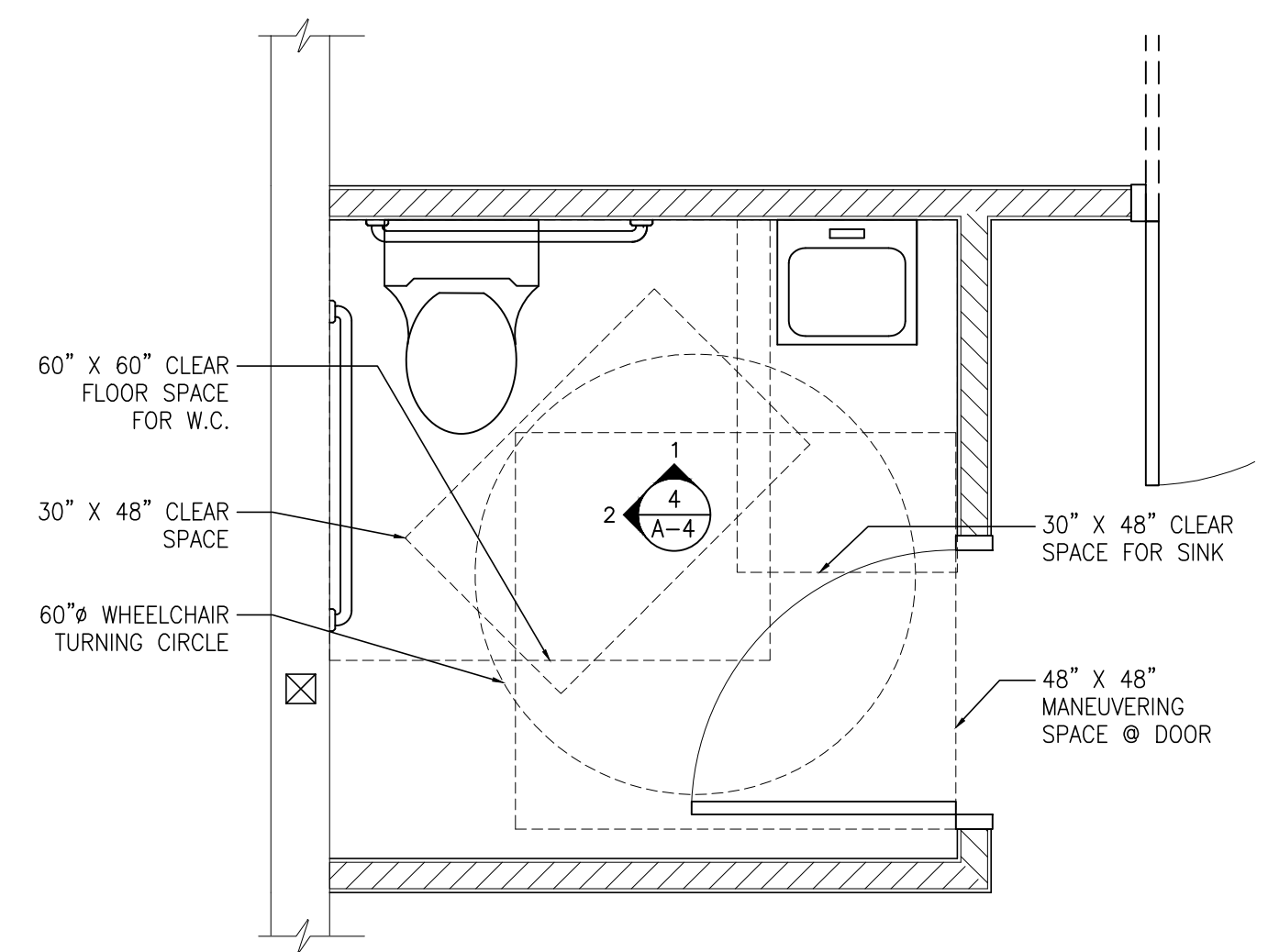


INTERIOR ELEVATION & DETAIL KEYNOTES

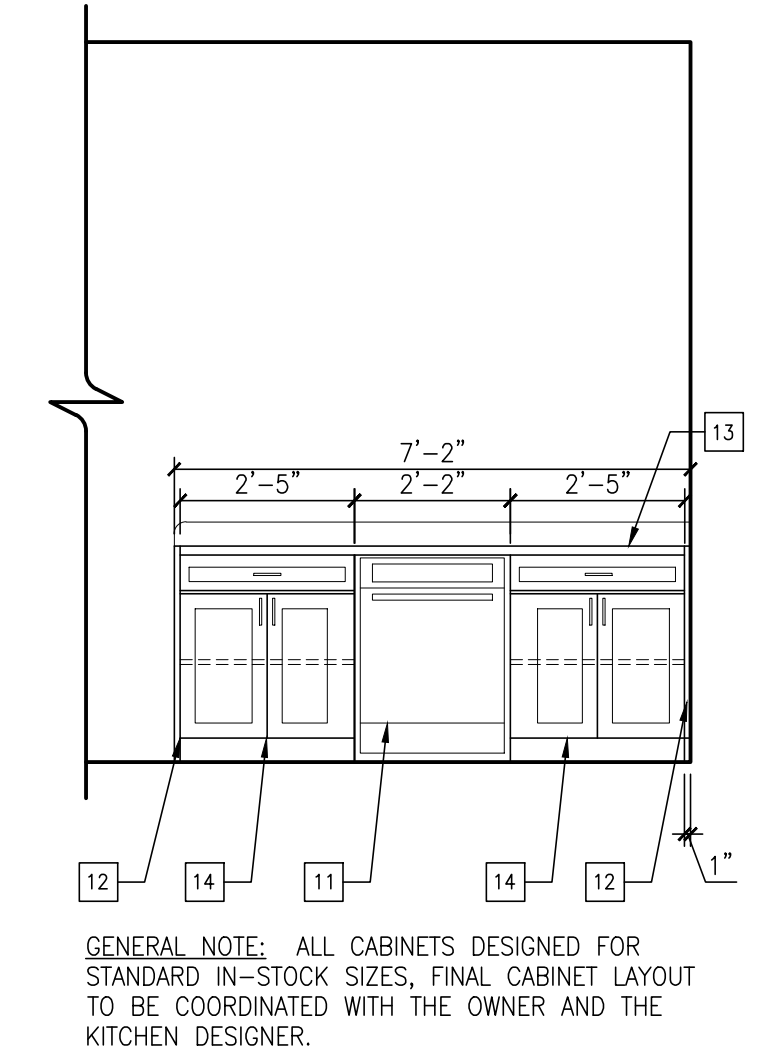
1	SOAP DISPENSER
2	TOILET TISSUE DISPENSER
3	1-1/2" X 36" STAINLESS STEEL GRAB BAR WITH SNAP FLANGE
4	1-1/2" X 42" STAINLESS STEEL GRAB BAR WITH SNAP FLANGE
5	18" X 30" MIRROR
6	CERAMIC WALL TILE
7	ADA ACCESSIBLE WALL HUNG LAVATORY, REF. PLUMBING DWGS.
8	PAPER TOWEL DISPENSER
9	ADA ACCESSIBLE WATER CLOSET, REF. PLUMBING DWGS.
10	6" LUXURY VINYL TILE WALL BASE
11	APPLIANCE AS SELECTED BY THE OWNER
12	P.LAM FILLER AS NEEDED
13	SOLID SURFACE COUNTER WITH RADIUS EDGES & 4" INTEGRAL BACKSPASH
14	24" D. P. LAM. BASE CABINET W/ ADJUSTABLE SHELVES



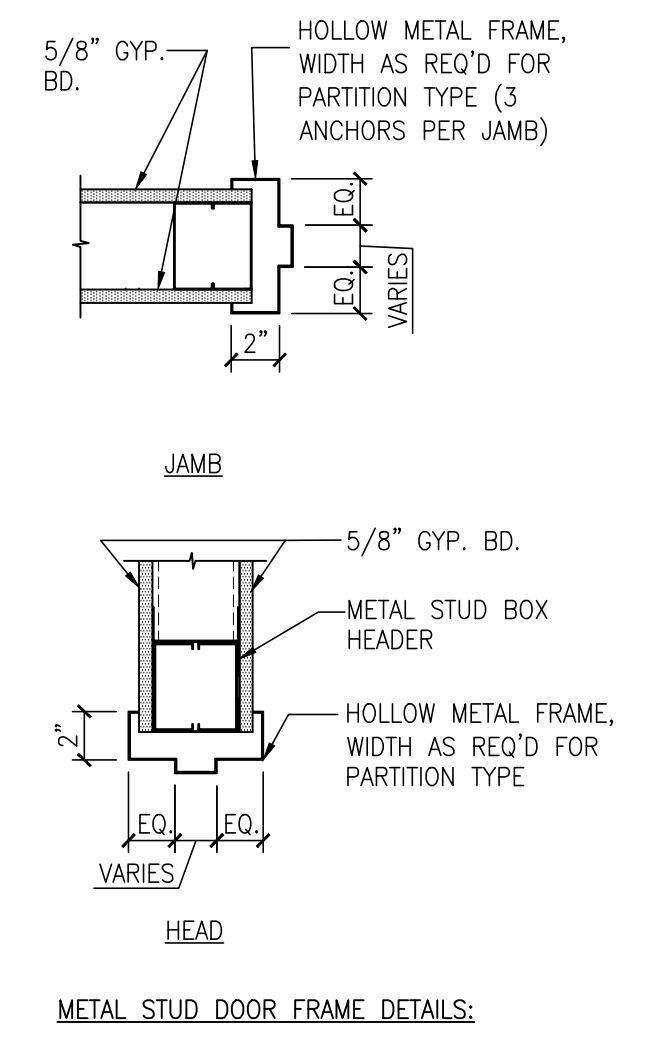
4 ELEVATIONS
3/8" = 1'-0"



2 DISHWASH 106
3/8" = 1'-0"



1 DOOR FRAME DETAILS
1 1/2" = 1'-0"



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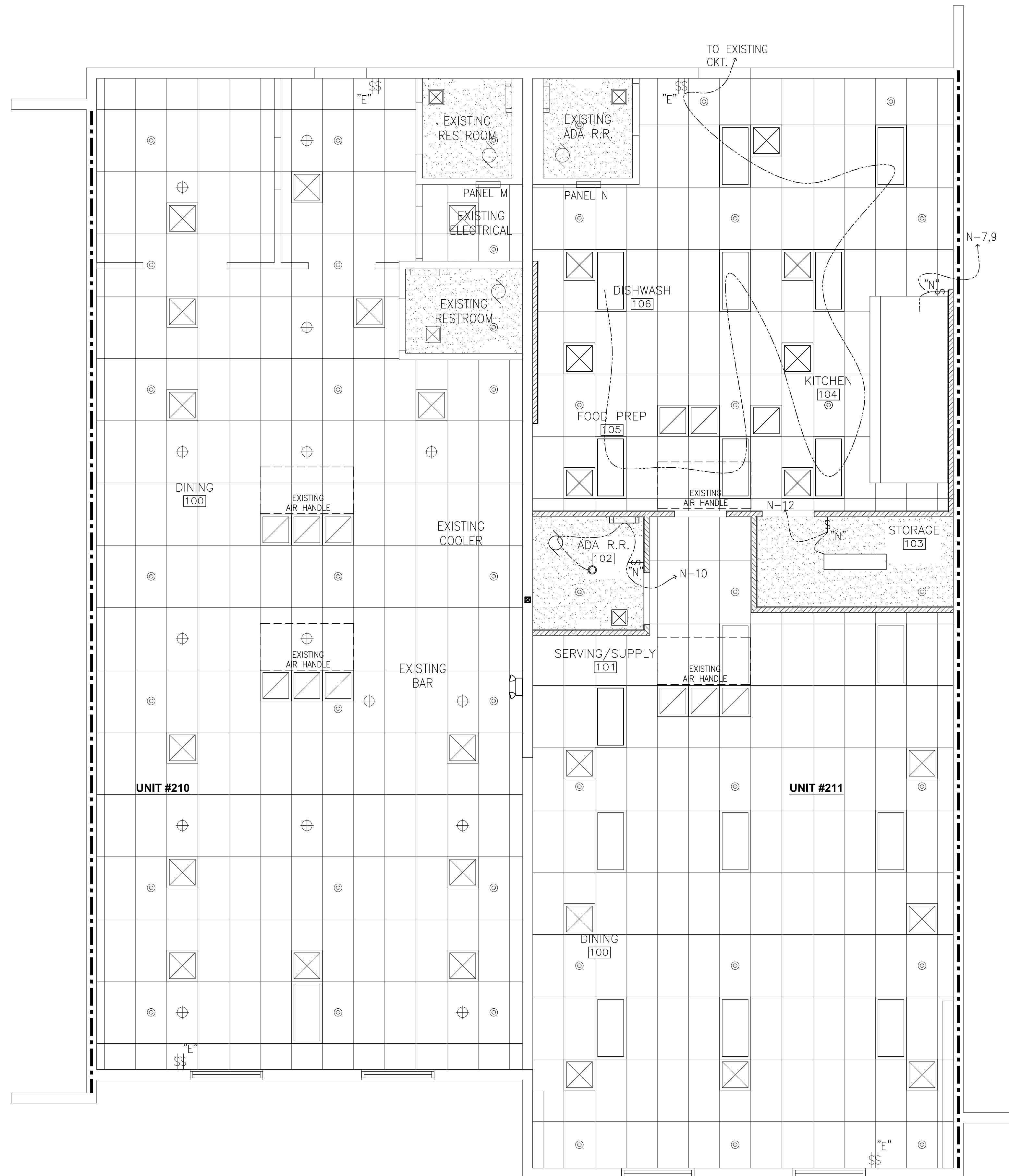
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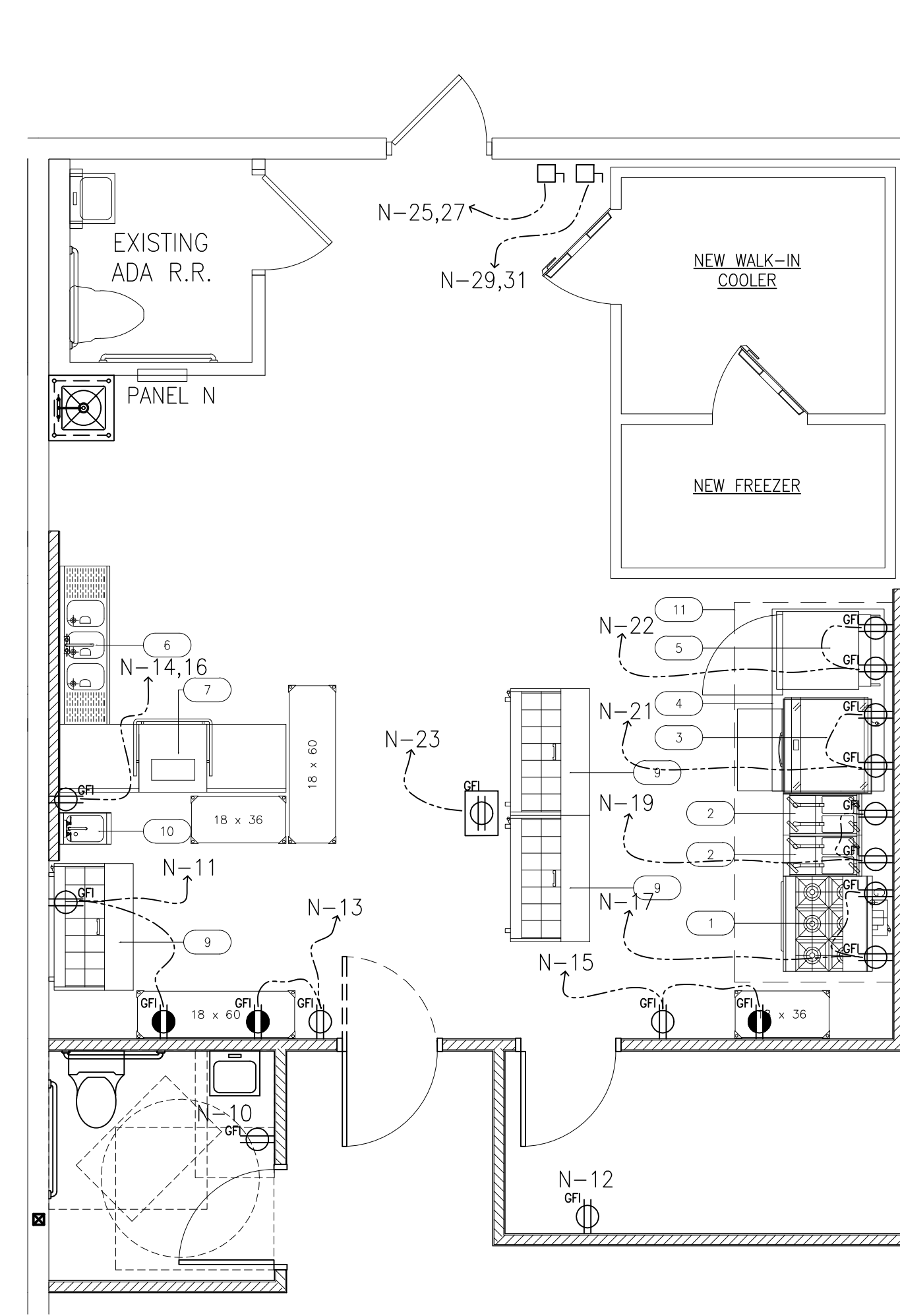
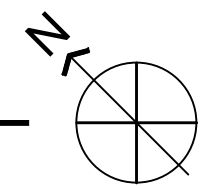
DRAWING NAME:
SCHEDULES,
INTERIOR ELEVATIONS,
& DETAILS

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A-4

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LITING PLAN
1/4" = 1'-0"



POWER PLAN
1/4" = 1'-0"

ELECTRICAL PLAN NOTES

- ALL WORK SHALL BE DONE AS PER REQUIREMENTS OF THE NATIONAL ELECTRICAL (NEC 2017), BUILDING CODES AND LOCAL CODES AS MAY BE APPLICABLE.
- ALL ELECTRICAL EQUIPMENT SHALL BE UL LISTED AND BEAR THE UL LABEL.
- RULES OF THE LOCAL UTILITY COMPANY SHALL BE COMPLIED WITH.
- PRIOR TO INSTALLATION OF ROUGH ELECTRICAL WIRING, THE CONTRACTOR SHALL CHECK NAMEPLATE RATING OF ALL EQUIPMENT TO OBTAIN CORRECT WIRE SIZES AND OVERCURRENT PROTECTION.
- ALL WIRES #8 AWG AND SMALLER SHALL BE SOLID C.U. AND ALL WIRES #6 A.W.G. AND LARGER SHALL BE STRANDED C.U.
- THESE DRAWINGS INDICATE THE EXTENT AND GENERAL ARRANGEMENT OF EQUIPMENT AND WIRING SYSTEMS THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF THE OTHER TRADES.
- PRIOR TO THE FINAL INSPECTION EVERY CIRCUIT AND CIRCUIT MODIFICATION SHALL BE LEGIBLY IDENTIFIED AS TO ITS CLEAR, EVIDENT AND SPECIFIC PURPOSE OF USE AT THE CORRESPONDING PANEL BOARD DIRECTORY. SECTION 408.4 (A)
- ALL EMERGENCY LIGHTS AND EXIT SIGNS TO BE CONNECTED TO LOCAL LIGHTING CIRCUIT AHEAD OF ANY SWITCHING PER NEC 700.12(F).
- COORDINATE WITH ALL KITCHEN EQUIPMENT / HOOD MANUFACTURERS WITH ACTUAL RECOMMENDATIONS OF ELECTRICAL CONNECTIONS TYPE, HEIGHT, LOCATION AND POWER REQUIRED.
- PRIOR TO ALL LIGHT FIXTURES SELECTION CONTRACTOR TO COORDINATE WITH OWNER.

LEGEND

- 125V DUPLEX RECEPTACLE 18" A.F.F. TO CENTER
- 125V COUNTER DUPLEX RECEPTACLE, MOUNT 4" ABOVE COUNTER, BACKSPASH OR TABLE. MAXIMUM 48" TO CENTER
- 125V DUPLEX RECEPTACLE. POWER POLE CEILING TO FLOOR MOUNT
- GFI GROUND FAULT INTERRUPTION
- DISCONNECT SWITCH
- SINGLE POLE LIGHT SWITCH

"E" DENOTES EXISTING
"N" DENOTES NEW

LEGRAND WIREMOLD TELE-POWER POLES SPECIFICATIONS
ALUMINUM TELE-POWER POLES: AMDTP-412
POLE HEIGHT: 12'-5"
FINISH: SATIN ANODIZED ALUMINUM FINISH

MAINS: <input type="checkbox"/> LOADCENTER <input checked="" type="checkbox"/> PANELBOARD		PANEL "N"				BUSSING: <input type="checkbox"/> CU <input type="checkbox"/> AL		MOUNTING:			
<input type="checkbox"/> MLO	<input type="checkbox"/> TOP	<input type="checkbox"/> BOTTOM	PHASE: 3PH				<input type="checkbox"/> ISO GROUND	<input checked="" type="checkbox"/> SURFACE			
<input type="checkbox"/> MCB	AIC:SEE RISER TRIP:		WIRE: 3W		LOCATION:		<input type="checkbox"/> HALF NEUTRAL	<input type="checkbox"/> FLUSH			
FED FROM:		SUPPLY FEEDER:		SEE FLOOR PLAN				VOLTS:120/208V			
EXISTING METER		EXISTING TO REMAIN						NEMA TYPE: 1			
FEEDER		LOAD DESCRIPTION		BKR TRIP	CKT NO.	PHASE	CKT NO.	BKR TRIP	LOAD DESCRIPTION		
COND	WIRE	EG				A/B/C			COND	WIRE	EG
EXISTING			GEN. LIGHTING	20	1		2	20	GEN. RECEPTS	EXISTING	
EXISTING			GEN. LIGHTING	20	3		4	20	GEN. RECEPTS	EXISTING	
EXISTING			BATH LIGHTING	20	5		6	20	GEN. RECEPTS	EXISTING	
1/2	#12	#12	HOOD LIGHTS	20	7		8	20	ROOF RECEPTS - GFI	EXISTING	
1/2	#12	#12	HOOD FANS	20	9		10	20	ADA RESTROOM	1/2	#12 #12
1/2	#12	#12	COOKING EQUIPT (GFI)	20	11		12	20	STORAGE	1/2	#12 #12
1/2	#12	#12	COOKING EQUIPT (GFI)	20	13		14	20/2			
1/2	#12	#12	COOKING EQUIPT (GFI)	20	15		16		DISHWASHER	1/2	#12 #12
1/2	#12	#12	COOKING EQUIPT (GFI)	20	17		18	-	SPARE	-	-
1/2	#12	#12	COOKING EQUIPT (GFI)	20	19		20	-	SPARE	-	-
1/2	#12	#12	COOKING EQUIPT (GFI)	20	21		22	-	SPARE	-	-
1/2	#12	#12	COOKING EQUIPT (GFI)	20	23		24	-	SPARE	-	-
1/2	#10	#10	WALK-IN COOLER	30/2	25		26	-	SPARE	-	-
1/2	#10	#10	FREEZER	30/2	29		28	20	SHOW WINDOW - RECEPTS	EXISTING	
-	-	-	SPARE	-	33		30	20	SHOW WINDOW - RECEPTS	EXISTING	
-	-	-	SPARE	-	35		32	50/3			
-	-	-	SPARE	-	37		34		RTU	EXISTING	
-	-	-	SPARE	-	39		36				
-	-	-	SPARE	-	41		38	50/3			
EXISTING			WATER HEATER	20	41		40		RTU	EXISTING	
							42				

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E-1