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# COSTA EVOLUTION RE-IMAGE PLYMOUTH

Costa Coffee, 1-3 George Street, Plymouth, PL1 1QZ

PROPOSED FLOOR AREAS:		
Area	Square Metre	Square Foot
GF Sales Area. Incl. WC	49	530
GF BOH Area	8	86
Counter Area	20	215
Staircase Area	7	75
FF Sales Area. Incl. WC	67	720
FF BOH	6	65
<b>Total</b>	<b>157</b>	<b>1691</b>

PROJECT TEAM:	CONTENTS:	COVERS:	FOR CONSTRUCTION																															
<b>Costa Property Manager:</b> Costa - Jacqui Hyde m: 07920 473322 e: jacqui.hyde@whitbread.com  <b>Store Designer:</b> Box of Frogs Ltd - Sarita Malcolm m: 07787515403 e: sarita@boxoffrogsweb.com	<b>Project Manager:</b> Box of Frogs Ltd - Trevor Richards t: 07884 184958 e: trev@boxoffrogsweb.com  <b>Contractor:</b> Pollicks - Terry Thorpe m: 07766 088973 e: terry@apollick.co.uk	14.1003.00 <b>A</b> - Project Information 14.1003.01 <b>A</b> - Existing/Proposed External Elevation 14.1003.02 -1 - Existing Layout Plan 14.1003.02 -2 <b>A</b> - Proposed Layout Plan 14.1003.03 <b>A</b> - Proposed Finishes Schedule 14.1003.04-1 - Proposed Internal Elevations 14.1003.04-2 - Propsoed Internal Elevations 14.1003.05 - Proposed Counter Details	<b>Existing:</b> 76 Internal 29 External  <b>Proposed:</b> 79 Internal 29 External  <b>Total gained:</b> +3 Internal 0 External				<b>PROPOSED FLOOR AREAS:</b> <table border="1"> <thead> <tr> <th>Area</th> <th>Square Metre</th> <th>Square Foot</th> </tr> </thead> <tbody> <tr> <td>GF Sales Area. Incl. WC</td> <td>49</td> <td>530</td> </tr> <tr> <td>GF BOH Area</td> <td>8</td> <td>86</td> </tr> <tr> <td>Counter Area</td> <td>20</td> <td>215</td> </tr> <tr> <td>Staircase Area</td> <td>7</td> <td>75</td> </tr> <tr> <td>FF Sales Area. Incl. WC</td> <td>67</td> <td>720</td> </tr> <tr> <td>FF BOH</td> <td>6</td> <td>65</td> </tr> <tr> <td><b>Total</b></td> <td><b>157</b></td> <td><b>1691</b></td> </tr> </tbody> </table>				Area	Square Metre	Square Foot	GF Sales Area. Incl. WC	49	530	GF BOH Area	8	86	Counter Area	20	215	Staircase Area	7	75	FF Sales Area. Incl. WC	67	720	FF BOH	6	65	<b>Total</b>	<b>157</b>	<b>1691</b>
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<b>Scale:</b> 1:50@A1/ 1:100@A3 			<b>Drawn by:</b> SM <b>Checked by:</b> SMR <b>Drawn Date:</b> 17.11.2014 <b>Revision Date:</b> 01.12.2014	<b>DRAWING TITLE:</b> PROJECT INFORMATION		<b>DRAWING No:</b> 14.1003.00 <b>A</b>		<b>Rev:</b> A <b>Description:</b> Contents schedule amended <b>By:</b> SM <b>Date:</b> 01.12.14																										

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Existing manifestation to be removed & replaced with current Evo specification

Existing fascia sign to be retained. Existing white illuminated letters to be retained, cleaned & repaired where necessary

Existing shopfront/pilasters & entrance door to be decorated Umbra Grey.

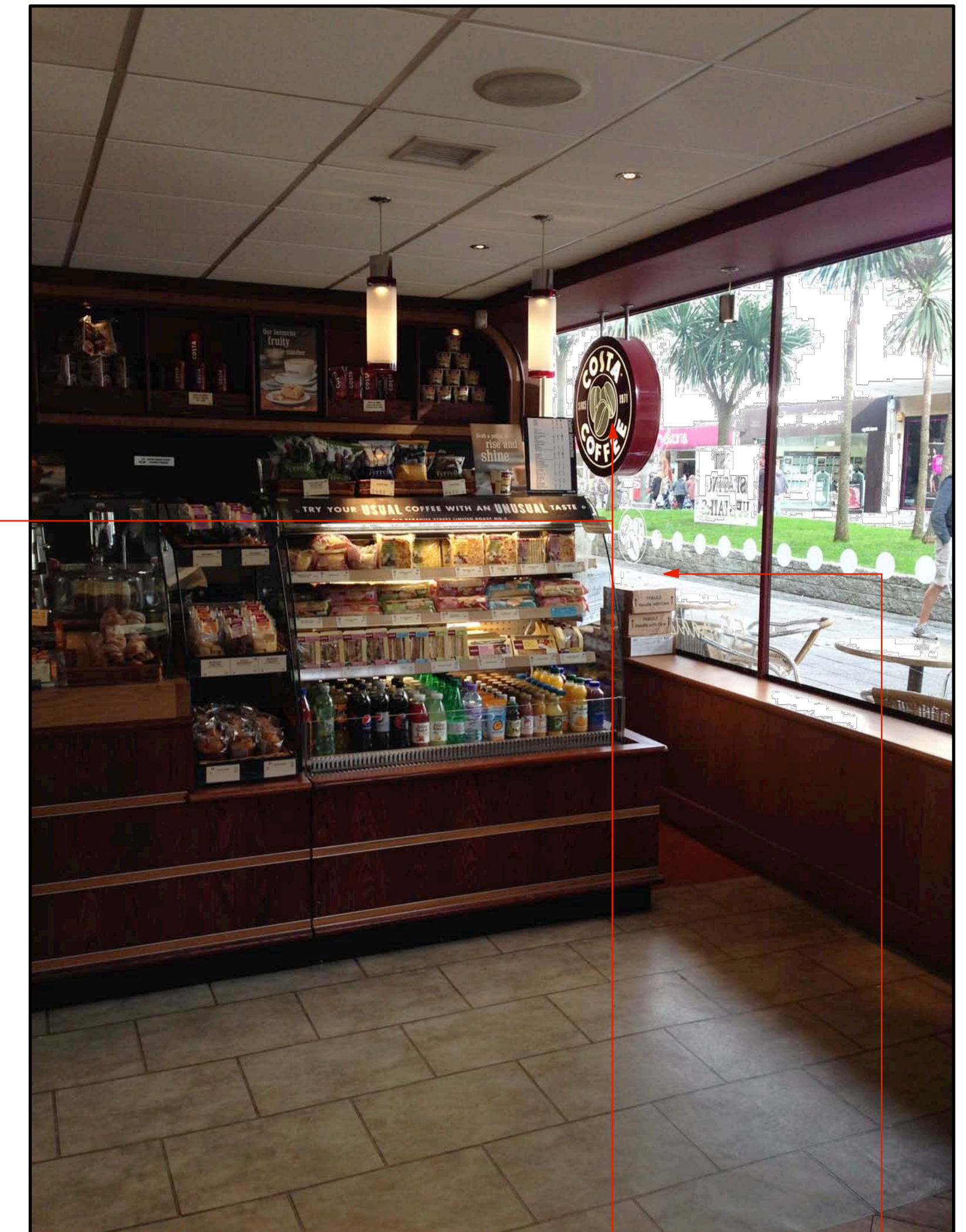
Existing overhead canopy to be retained



Existing External Shopfront Sign



Proposed External Shopfront Sign



Existing Roundel



Existing External Shopfront Sign



Proposed External Shopfront Sign

Existing overhead canopy to be retained

Existing roundel at high level to be removed

Remove existing hanging roundel to window

Apply low level frosting to window to ensure no visibility into counter

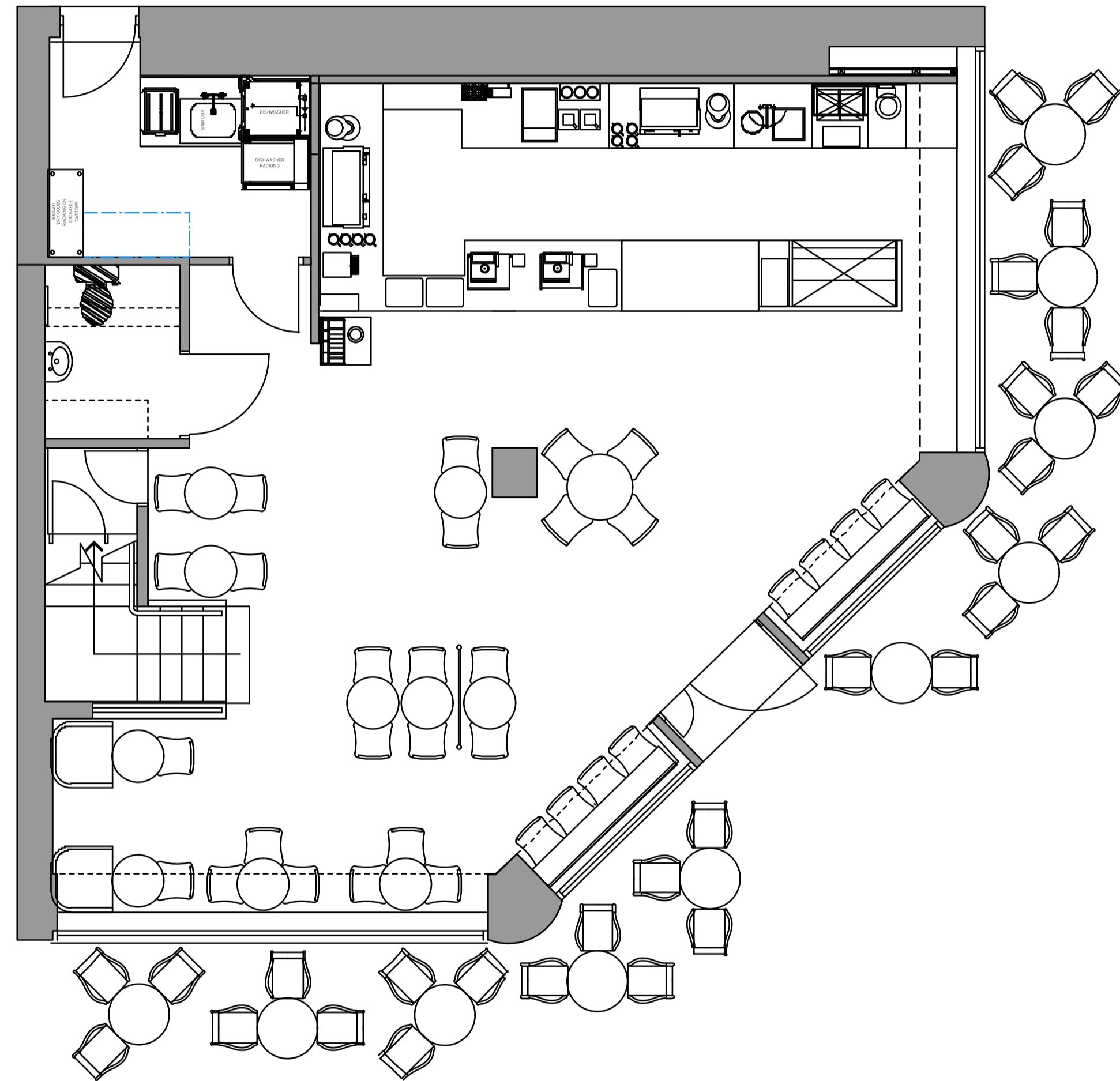
Existing fascia sign to be retained. Existing white illuminated letters to be retained, cleaned & repaired where necessary

Existing shopfront to be decorated Umbra Grey

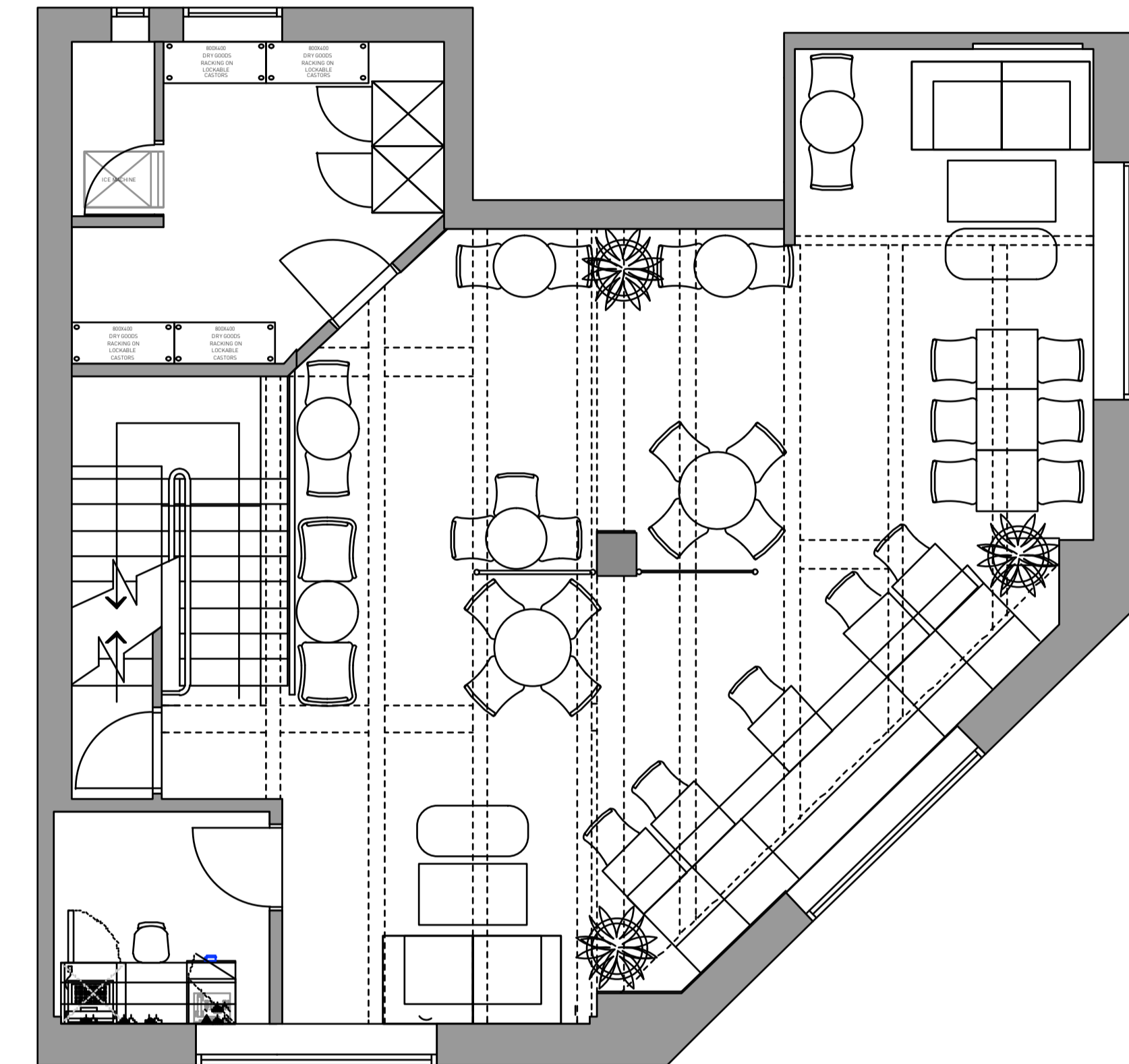
Existing manifestation to be removed & replaced with current Evo specification

Existing door to house new handle & cranked closer

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**GROUND FLOOR PLAN**



**FIRST FLOOR PLAN**

RDM REQUESTS:
- Request for new opening/access to counter
- Request for better configuration to BOH
- Request for 2no. WC to First Floor level
- Request for 2no. new panini grills
- Request for 1no. new counter top blender

AREAS:			COVERS:		
	sqm	sqft		Int.	Ext.
ground floor			existing	32	29
sales area incl. wc	49	530			
staircase	7	75	<b>COUNTER:</b>		
counter area	20	215	Existing		
boh	8	86	2+2		
<b>Total</b>	<b>84</b>	<b>906</b>			

AREAS:			COVERS:		
	sqm	sqft		Int.	Ext.
first floor			existing	44	0
sales area incl. wc	67	720			
staircase	7	75			
boh	6	65			
<b>Total</b>	<b>80</b>	<b>860</b>			

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**COUNTER NOTES:**

- replace existing 2+2 counter with new 2+2 in accordance with latest Evo standard details including new overhead cupboards
- Retain existing 3no. under counter fridge
- Provide new knockout drawers
- Retain existing 1600mmW ambient unit
- Retain existing 2no. panini grills. Request for 2no. new from RDM has been refused. Store to go through maintenance
- Provide new coffee catcher
- Retain existing 1no. water boiler
- Allow for power to enable the installation of existing mini grinder
- Retain existing 2no. blenders. Request for 1no. new from RDM approved
- Retain existing insectocuter
- New opening to counter requested by RDM
- Retain existing water heater
- New volume control on counter

**GENERAL NOTES:**

- Repair any damage to plaster walls & ceilings, redecorate through out to latest colour scheme as stipulated on plans
- Update furniture layout including new lean bar. Refer to Furniture schedule. Ensure refurbished furniture is used
- Replace all artwork to current spec. Refer to Graphics schedule
- Retain existing CCTV & wifi
- Retain existing condiment unit, refurb to current Evo specification & repair where necessary
- Replace existing 2no. newspaper rack with new Evo specification
- Apply new dado panelling as indicated & patch repair & stain where necessary
- New entrance mat required. Ensure floor is leveled & screed applied
- Retain existing amtico flooring at ground floor level. Existing apron to be replaced to current specification
- Apply new nosing to stairs
- Apply film to BOH door window
- Apply decoration to BOH as necessary & reconfigured as per plan
- GF WC to be retained & overhauled to current Evo standards
- Apply decoration to BOH as necessary & reconfigured as per plan
- Apply mag lock to BOH door
- Ensure GF WC drainage is altered where necessary to accommodate current issues
- New low level wall to be fixed behind & to side of condiment unit finished to match existing dado

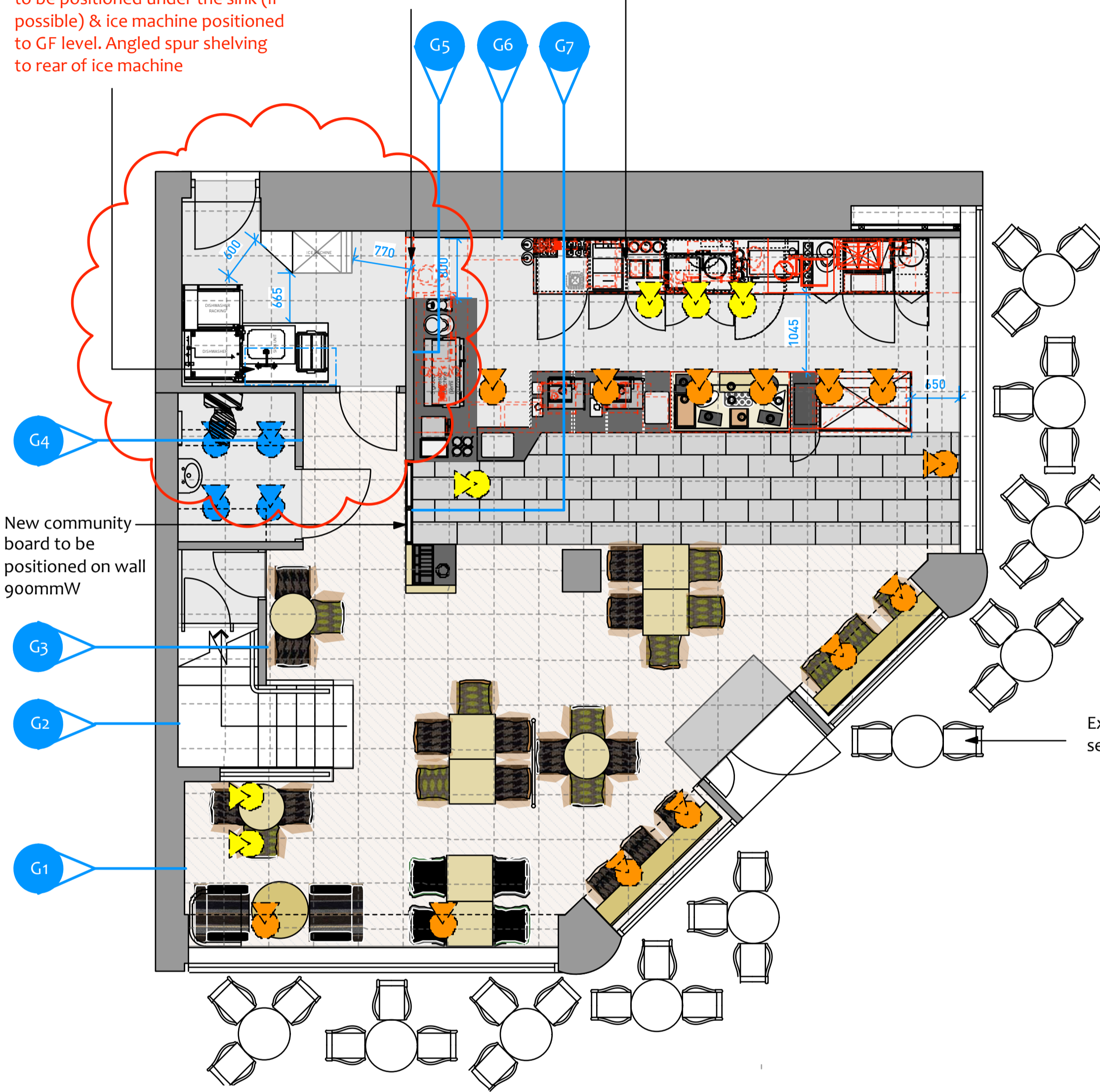
**LIGHTING NOTES:**

- Relamp existing chrome directional lights where necessary. Ensure quantities are checked at pre-com meeting
- 3no. new L3 directional spot lights to replace existing L1 fitting over rear counter for menuboards & add 3no. new L3 over graphics
- Allow to re-lamp store with LED lights. Ensure quantities are checked at pre-com meeting
- Replace ceiling tiles throughout
- Remove existing 13no. pendant lights over the counter & in windows with directional spot lights finished chrome 13no.
- Remove existing 2no. wall lights to GF level & 6no. at FF level
- Retain existing track & fittings at FF level
- Apply spot light to WC's & lobby area as indicated 11no.
- L31 light fitting. We require approx. 7m. Contractor to confirm
- 8no. Wall lights to be removed at FF level
- Ceiling o existing ceiling tiles to be replaced on GF and decorate existing ceiling on FF

Existing corner dishwasher & sink repositioned. Existing macerator to be positioned under the sink (if possible) & ice machine positioned to GF level. Angled spur shelving to rear of ice machine

BoH reconfigured for better access to counter

New 2+2 counter

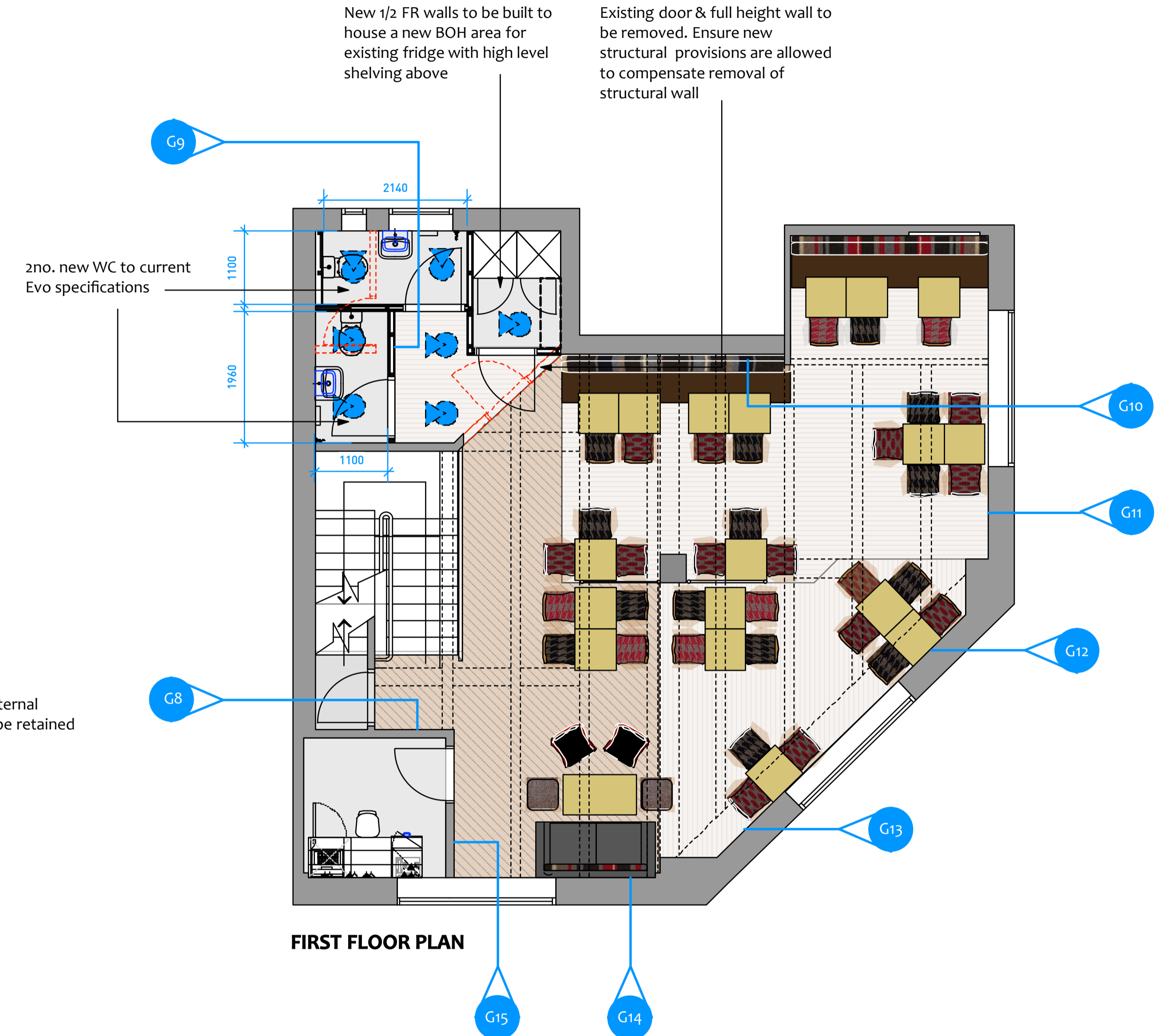


**GROUND FLOOR PLAN**

AREAS:			COVERS:		
ground floor	sqm	sqft		Int.	Ext.
sales area incl. wc	49	530	existing	32	29
staircase	7	75	proposed	32	29
counter area	20	215	<b>Total</b>	<b>0</b>	<b>0</b>
boh	8	86	<b>COUNTER:</b>		
<b>Total</b>	<b>84</b>	<b>906</b>	Existing	Proposed	
			2+2	2+2	

**RDM REQUESTS:**

- Request for new opening/access to counter - APPROVED
- Request for better configuration to BOH - APPROVED
- Request for 2no. WC to First Floor level - APPROVED
- Request for 2no. new panini grills - store to go through maintenance
- Request for 1no. new counter top blender - APPROVED



**FIRST FLOOR PLAN**

AREAS:			COVERS:		
first floor	sqm	sqft		Int.	Ext.
sales area incl. wc	67	720	existing	44	0
staircase	7	75	proposed	47	0
boh	6	65	<b>Total</b>	<b>+3</b>	<b>0</b>
<b>Total</b>	<b>80</b>	<b>860</b>			

**N.B - Second floor - 3no lockers existing, 1no. low coffee table & 3no chairs to be retained.**

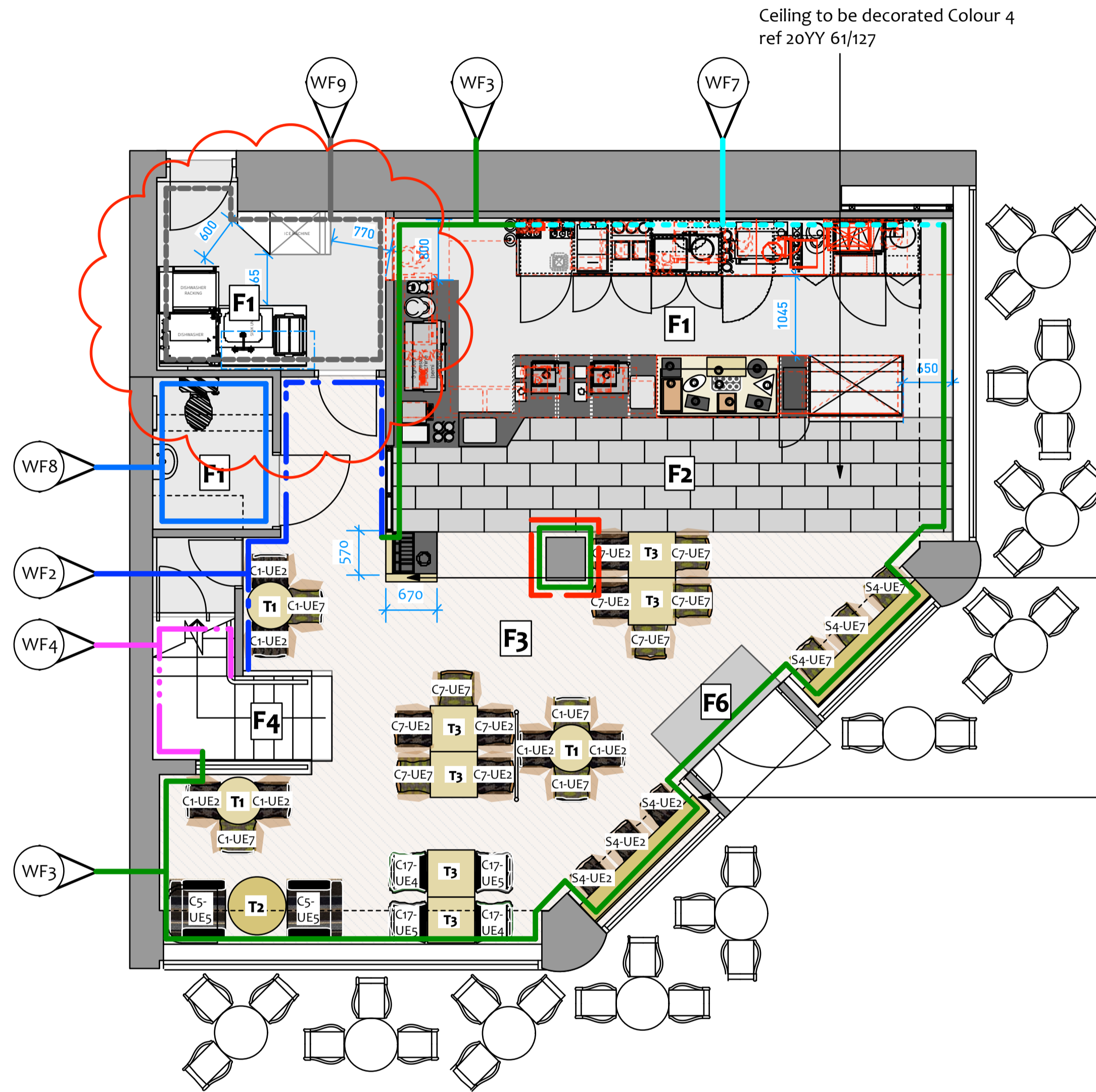
**FOR CONSTRUCTION**

STORE ADDRESS:  
Costa Coffee, 1-3 George Street, Plymouth,  
PL1 1QZ

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FLOOR FINISH REFERENCES:	
F1	New Safety Flooring. Ref: Polysafe standard 4150 Black Walnut. 2.5mm thickness. All joints to be hot welded in matching weld rod with coved skirtings. All to be laid strictly to manufacturers instructions.
F2	Existing apron to be removed. New Amtico Ceramic Dark SS553566/Grout strip concrete SS553608 - laid in brickbond pattern. Contractor must prepare all sub-floors before fitting Amtico, allowing for any ply/latexing to bring line & level with adjoining floor finishes. Amtico to be laid strictly to manufacturers instructions in directions shown on plan
F3	Existing Amtico flooring to be retained
F4	Existing stair flooring to be retained & new nosing applied where necessary
F5	New Amtico Washed Teak W599 Flooring. Contractor must prepare all sub-floors before fitting Amtico, allowing for any ply/latexing to bring line & level with adjoining floor finishes. Amtico to be laid strictly to manufacturers instructions in directions shown on plan
F6	New entrance mat required to current Evo standards

NEW WALL FINISH REFERENCES:	
WF1	New Oak veneer panelling stained Evolution Light Oak dado to 900mm AFFL. Refer to dwg. COS.DPD(dado panelling detail)
WF2	Colour 1 - Dulux 20YY 22/129
WF3	Colour 2 - Dulux 30YY 50/176
WF4	Refer to internal elevations
WF5	wall mounted mirror - (exact dimensions to be checked on site before manufacture)
WF6	Textured wallpaper from Tektura ref: Baku 4542
WF7	Johnson Tiles ref: City Chic Mink 300mm x 100mm x 10mm laid brickbond. All grout to be cleared sealed
WF8	WCs Refer to drawing nos. COS.UNIDIS.T
WF9	BOH Decoration, patch repair where necessary

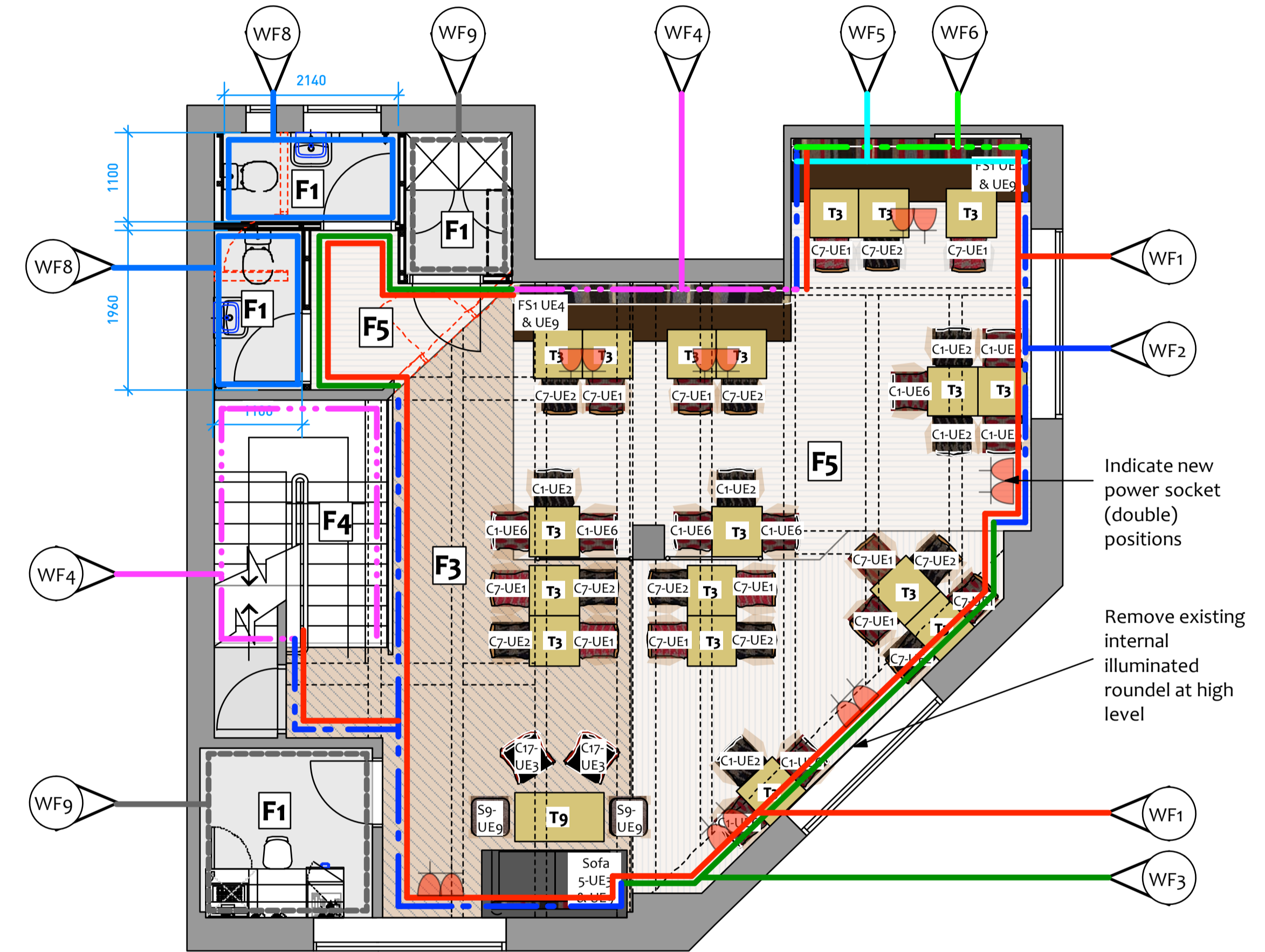


GROUND FLOOR PLAN

Ceiling to be decorated Colour 4 ref 20YY 61/127

New low wall finished to current Evo spec.  
 1no. 570mmL  
 1no. 670mmL

retain existing dado panelling throughout, patch repair + restain where necessary



FIRST FLOOR PLAN

UPHOLSTERY REFERENCES:	QTY	QTY
UE1 Warnings - Red Dog Tooth	11 C7 chairs	UE3 Warnings - Red Stripe
UE2 Warnings - Black Dog Tooth	13 C7 chairs 11 C1 chairs 3 S4 chairs	UE4 Warnings - Green Stripe
UE6 Warnings - Red Spot	9 C1 chairs	UE5 Warnings - Grey Stripe
UE7 Warnings - Green Spot	4 C1 chairs 5 C7 chairs 3 S4 chairs	UE9 Warnings - Grey Leather

INTERNAL FURNITURE REFERENCES:	QTY	QTY	QTY	QTY	QTY	QTY	QTY
C1: Kora Chair (Warings W1722C) Height - 890mm Seat height - 460mm Width - 470mm Depths - 470mm Stained - Walnut	24 refurb	C17: Tub Chair (Warings W1724TC) Height - 850mm Seat height - 480mm Width - 550mm Depths - 520mm Stained - Walnut	6 refurb	S9: Low Stool Height - 430mm Width - 430mm Depth - 430mm Stained - Walnut base	2 refurb	Sofa 5: 1780mm x 820mm Height - 870mm Seat height - 500mm Stained - Walnut	1 new
C7: Side Chair (Warings W1723C) Height - 860mm Seat height - 480mm Width - 440mm Depths - 485mm Stained - Evolution Light Oak	30 refurb	C5: Armchair (Warings W1725AC) Height - 880mm Seat height - 500mm Width - 770mm Depths - 720mm Stained - Walnut	2 new	Fixed seating & banquette: Exact length to be confirmed on site 1no. Approx. 2945mmL 1no. Approx. 3420mmL Note: existing banquette seating to be removed and 2no. new positioned as indicated	2 new	S4: High Stool Height - 1050mm Seat height - 810mm Width - 420mm Depths - 465mm Stained - Evolution Light Oak	6 new
T1: (Warings W1TT1/W635T) 610mm diameter table Height - 720mm Table top width - 25mm (solid oak) Stained - Evolution Light Oak including T1 Table Base	3 refurb	T3: (Warings W1TT1/W635DT) 610mm x 610mm Height - 720mm Table top width - 25mm (solid oak) Stained - Evolution Light Oak including T3 Table Base	24 refurb	T2: (Warings W1TT1/W635DT) 760mm diameter table Height - 720mm Table top width - 25mm (solid oak) Stained - Evolution Light Oak including T2 Table Base	1 refurb	T9: 610mm x 1100mm Height - 650mm Table top width - 25mm (solid oak) Stained - Evolution Light Oak	1 refurb

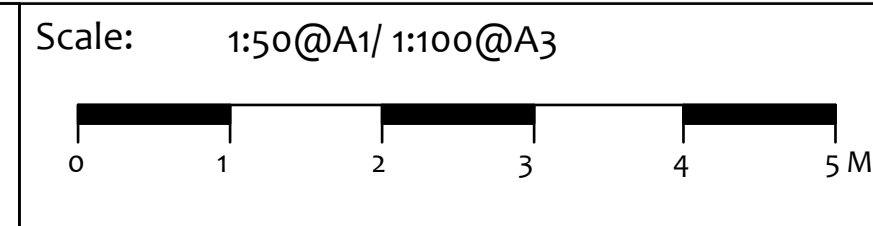
2x Poseur shelf - height to top 1100mmH, refer to detail drg CO.ELB (lean bar detail). Ensure nosing detail matches high level banquette. Ensure power sockets included

2 new

Please note: New top required with refurb bases

**FOR CONSTRUCTION**

STORE ADDRESS:  
 Costa Coffee, 1-3 George Street, Plymouth, PL1 1QZ



Drawn by:	Checked by:	Drawn Date:	Revision Date:
SM	SMR	17.11.2014	27.11.2014

DRAWING TITLE:  
**GA FINISHES PLAN LAYOUT**

DRAWING No:  
**14.1003.03 A**

Rev:	Description:	By:	Date:
A	Finishes plan updated in accordance with 14.1003.02 A	SM	27.11.14

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**Existing cable frames to be retained**

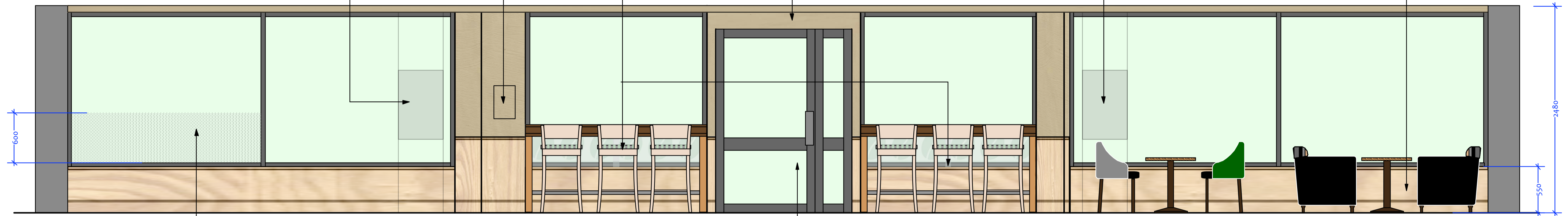
**LMO cupboard:**  
400mmH x 250mmW

**New lean bar with power sockets & modesty screen:** to match current Evo specification

**Wall finish & downstand:** To be finished Colour 2 - Dulux 30YY 50/176

**Existing cable frames to be retained**

**Existing dado:** all existing low level dado panelling to be retained, patch repaired as necessary



**Elevation A-A**

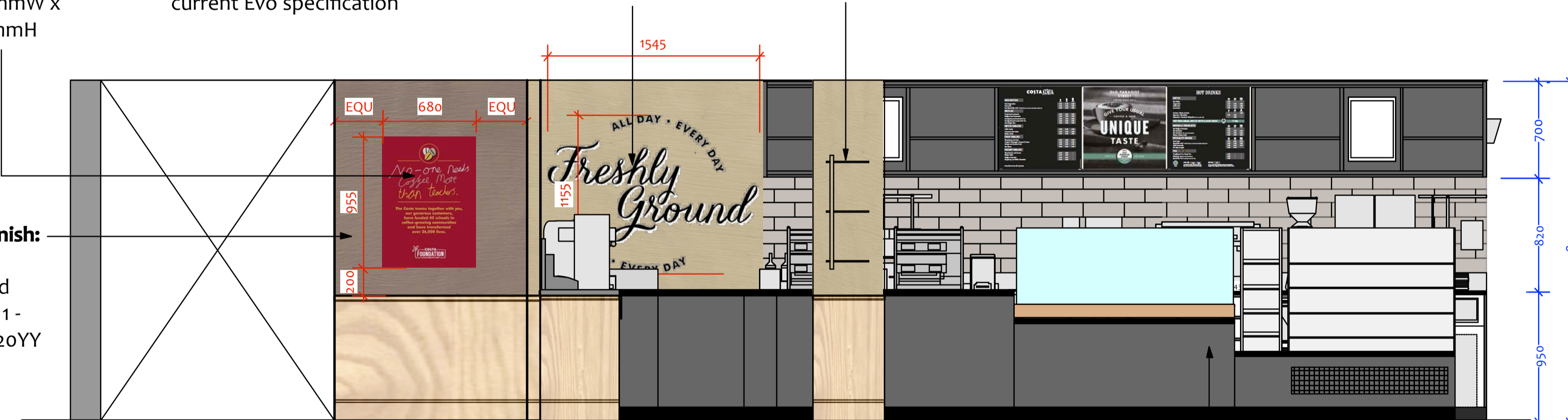
**G4 artwork:** canvas artwork ref CSF-F1-R. 680mmW x 955mmH

**Frosted vinyl:** to be applied to inside face of window to cover counter area. Ensure to match current Evo specification

**G6 artwork:** Wall graphic ref FG1 1545mmW x 1155mmH

**New newspaper rack:** to match current Evo specification

**Existing Entrance Door:** to be retained & Umbra Grey.



**Elevation B-B**

**Wall finish:** To be finished Colour 1 - Dulux 20YY 22/129

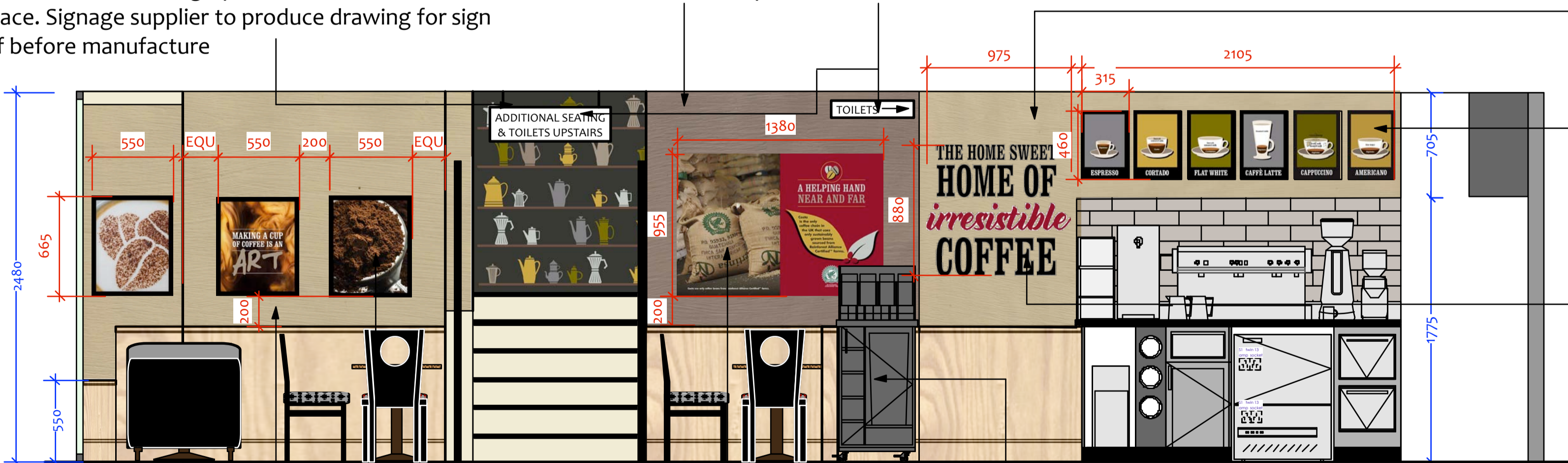
**G2 artwork:** stair wallpaper graphic ref EDW C POTS-2. Dimensions to be taken on site prior to manufacture. Ensure graphic is not stretched to fit space. Signage supplier to produce drawing for sign off before manufacture

**Wall finish:** To be finished Colour 1 - Dulux 20YY 22/129

**Additional seating & Toilet signage:** to match current Evo specification

**New 2+2 counter:** refer to 14.1003.05 counter details

**Wall finish:** To be finished Colour 2 - Dulux 30YY 50/176



**Elevation C-C**

**Wall finish:** To be finished Colour 2 - Dulux 30YY 50/176

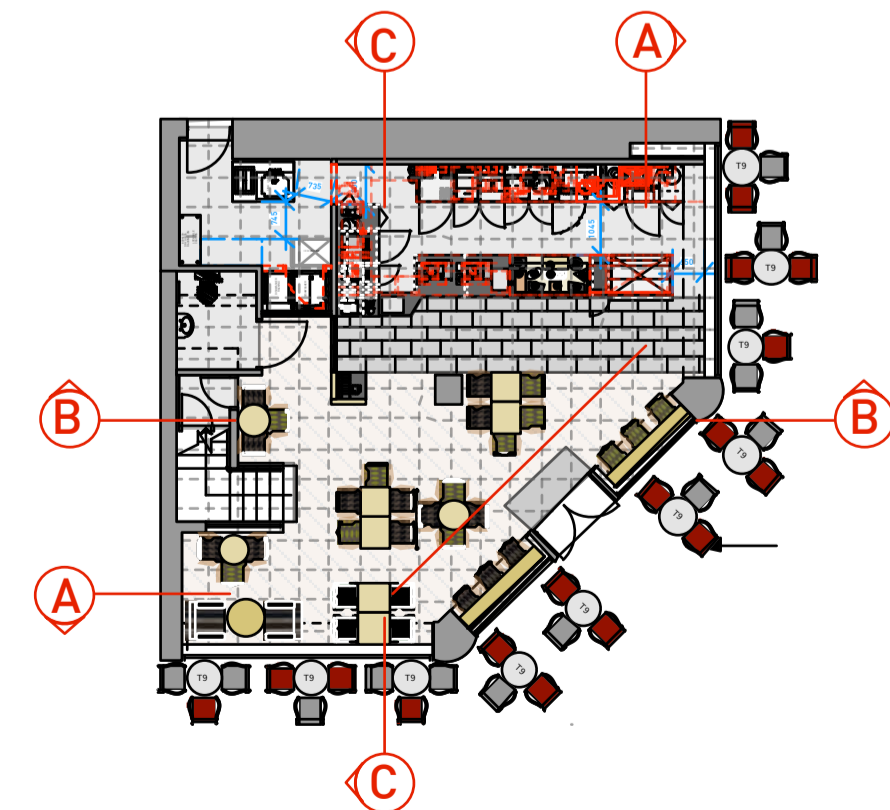
**G1 artwork:** blacked framed artwork ref CA-8 CA-10-M & CA-4. Overall sizes 620mmW x 765mmH

**G3 artwork:** canvas artwork ref CSR-2-6r. 1380mmW x 955mmH

**Existing Condiment unit:** to be retained and refurbished to current Evo spec.

**G5 artwork:** canvas artwork welcome messages ref DK -1.1/1.2/1.3/1.4/1.5/1.6. All 315mmW x 460mmH

**G7 artwork:** stencilled welcome messages ref HSH-2 975mmW x 880mmH



**FOR CONSTRUCTION**

**STORE ADDRESS:**  
Costa Coffee, 1-3 George Street, Plymouth, PL1 1QZ



Scale: 1:25@A1/ 1:50@A3  
0 1 2 M

Drawn by: SM  
Checked by: SMR  
Drawn Date: 17.11.2014

Revision Date:  
**DRAWING TITLE:**  
**GROUND FLOOR INTERNAL ELEVATIONS**

**DRAWING No:**  
**14.1003.04-1**

Rev: Description: By: Date:

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**Wall finish:** To be finished Colour 1 - Dulux 20YY 22/129

**Wall finish:** To be finished Colour 2 - Dulux 30YY 50/176

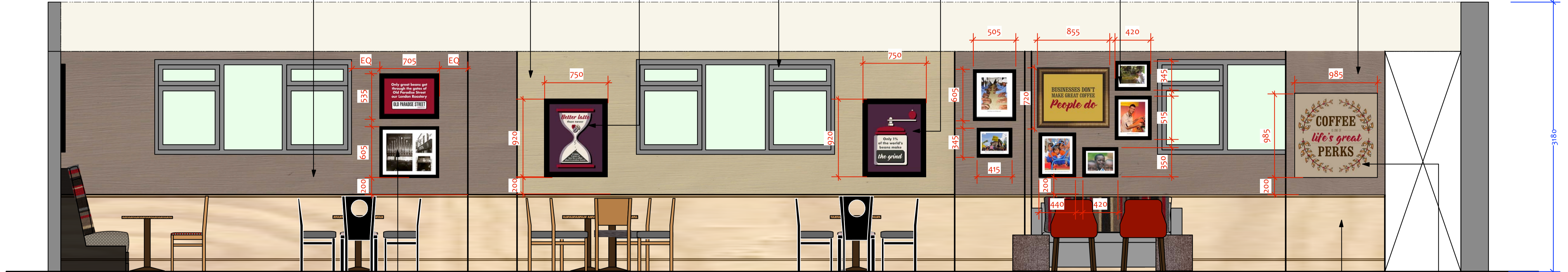
**G12 artwork:** framed artwork ref ECOB-9P 750mmW x 920mmH

**Existing Window Frames:** to be retained & decorated Umbra Grey.

**G13 artwork:** framed artwork ref ECOB-8P 750mmW x 920mmH

**G14 artwork:** framed artwork group refs P39/P31/P36/P23/P7/P27/P25 (refer below for sizes)

**Wall finish & downstand:** To be finished Colour 1 - Dulux 20YY 22/129



Elevation A-A

**G11 artwork:** framed artwork group refs CA15-M 750mmW x 915mmH / COB-10W & COB-11W 440mmW x 440mmH

**Existing HVAC:** ductwork to be ddecorated to match ceiling

**New dado:** overlaid existing low level rail with new dado panelling to Evo specification

**G8 artwork:** canvas graphic ECOB - 10 985mmW x 985mmH



Elevation B-B

**Wall mounted mirror:** size 220mmW x 1035mmH

**G10 artwork:** wallpaper graphic ref DW Tree-Y 3440mmW x 1360mmH

**Wallcovering:** wallpaper ref Tektura Baku 4542

**G15 artwork:** Wall graphic ref COB-1 850mmW x 850mmH

**G2 artwork:** stair wallpaper graphic ref EDW C POTS-2. Dimensions to be taken on site prior to manufacture. Ensure graphic is not stretched to fit space. Signage supplier to produce drawing for sign off before manufacture

**Additional seating & Toilet signage:** to match current Evo specification

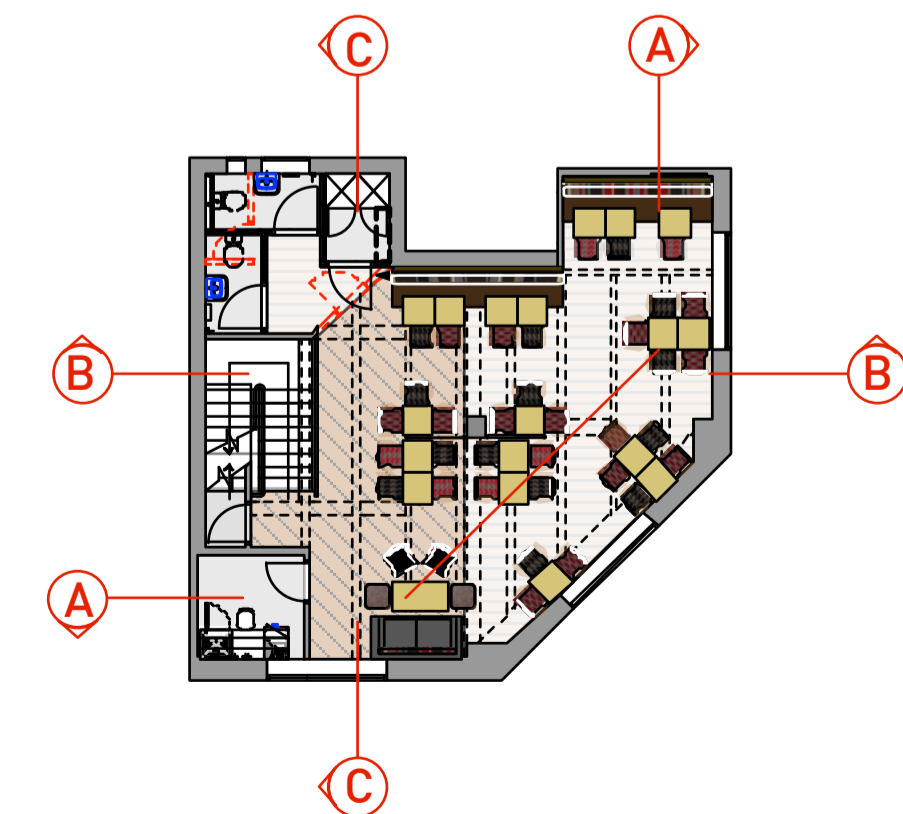


Elevation C-C

**Wall finish:** To be finished Colour 1 - Dulux 20YY 22/129

**Wall finish:** To be finished Colour 2 - Dulux 30YY 50/176

**G9 artwork:** canvas artwork ref CSR G1-R 570mmW x 800mmH



**FOR CONSTRUCTION**

STORE ADDRESS:  
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Scale: 1:25@A1/ 1:50@A3  
 0 1 2 M

Drawn by: SM  
 Checked by: SMR  
 Drawn Date: 17.11.2014

Revision Date:  
**DRAWING TITLE:**  
**FIRST FLOOR INTERNAL ELEVATIONS**

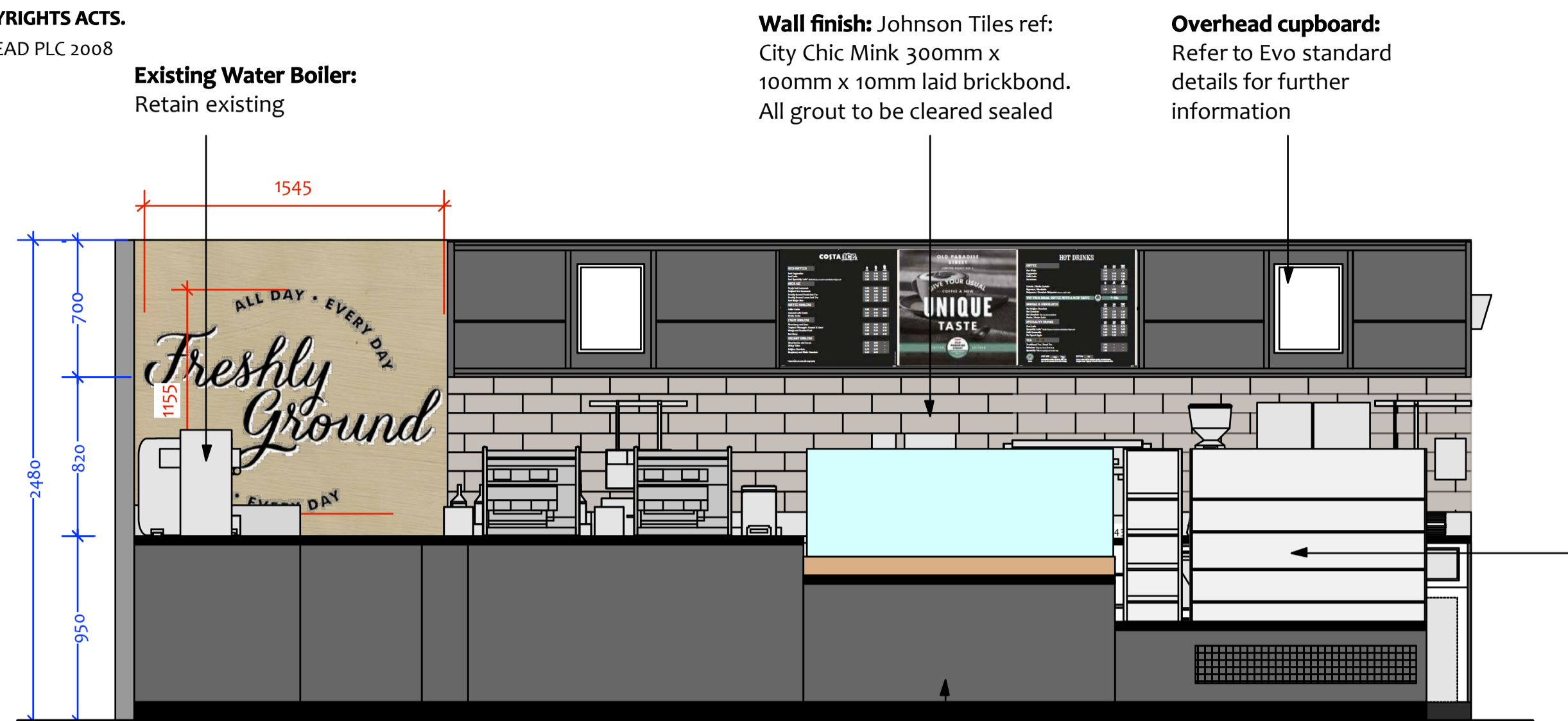
**DRAWING No:**  
**14.1003.04-2**

Rev: Description: By: Date:

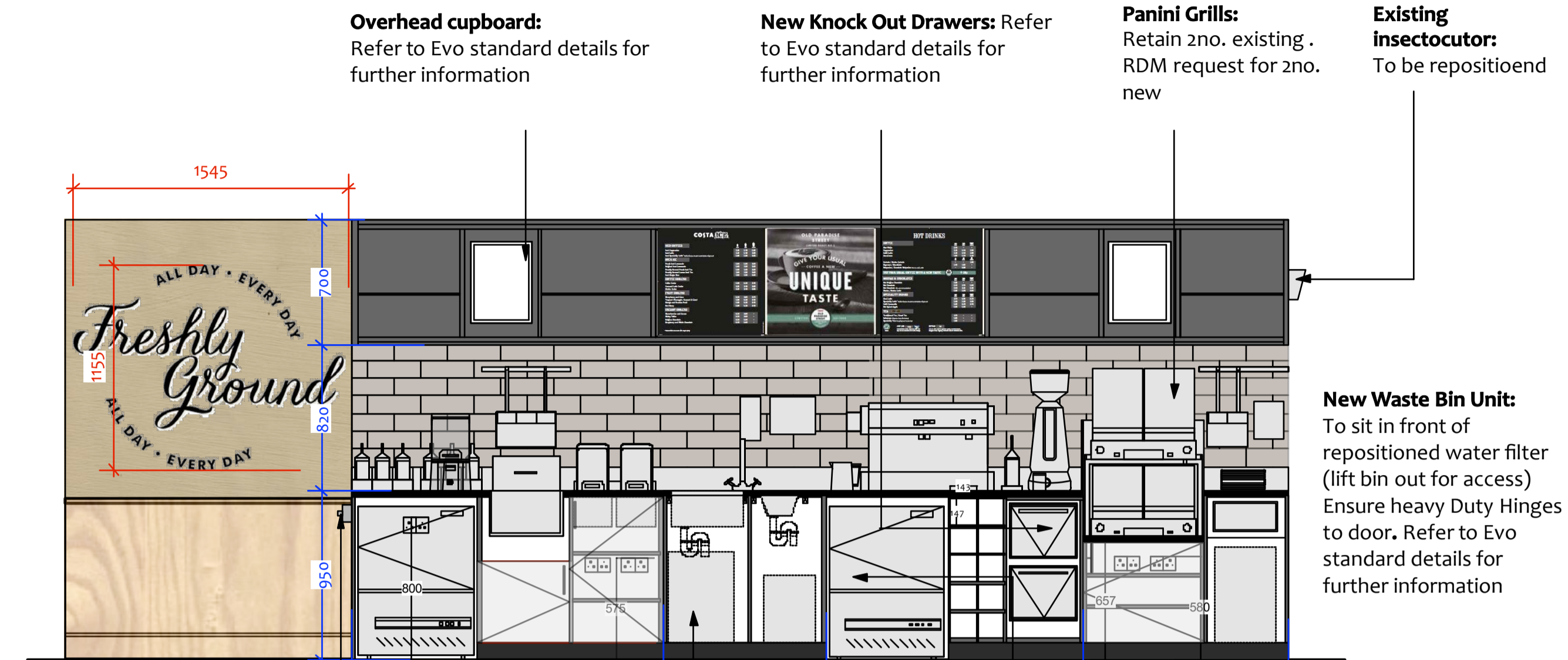
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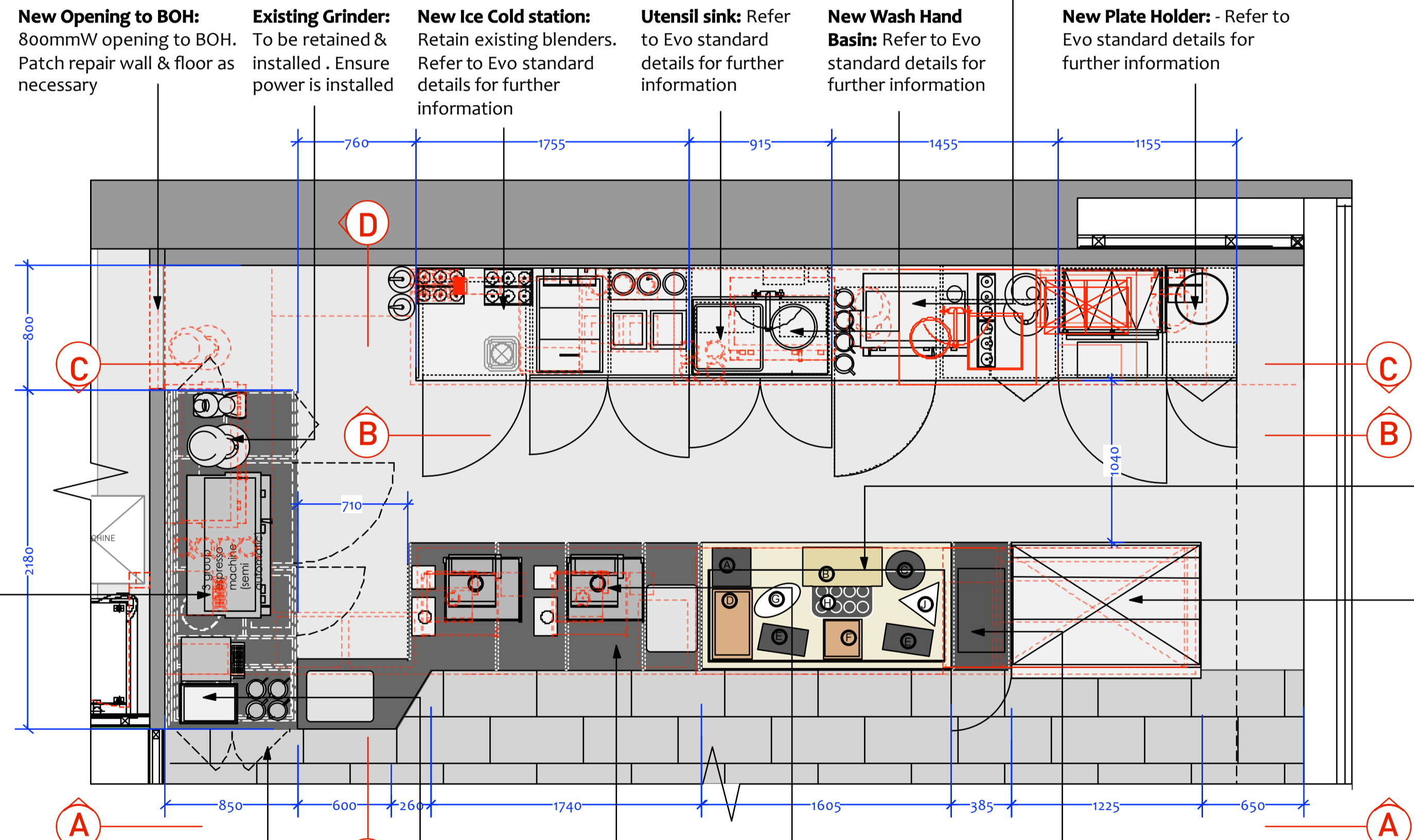
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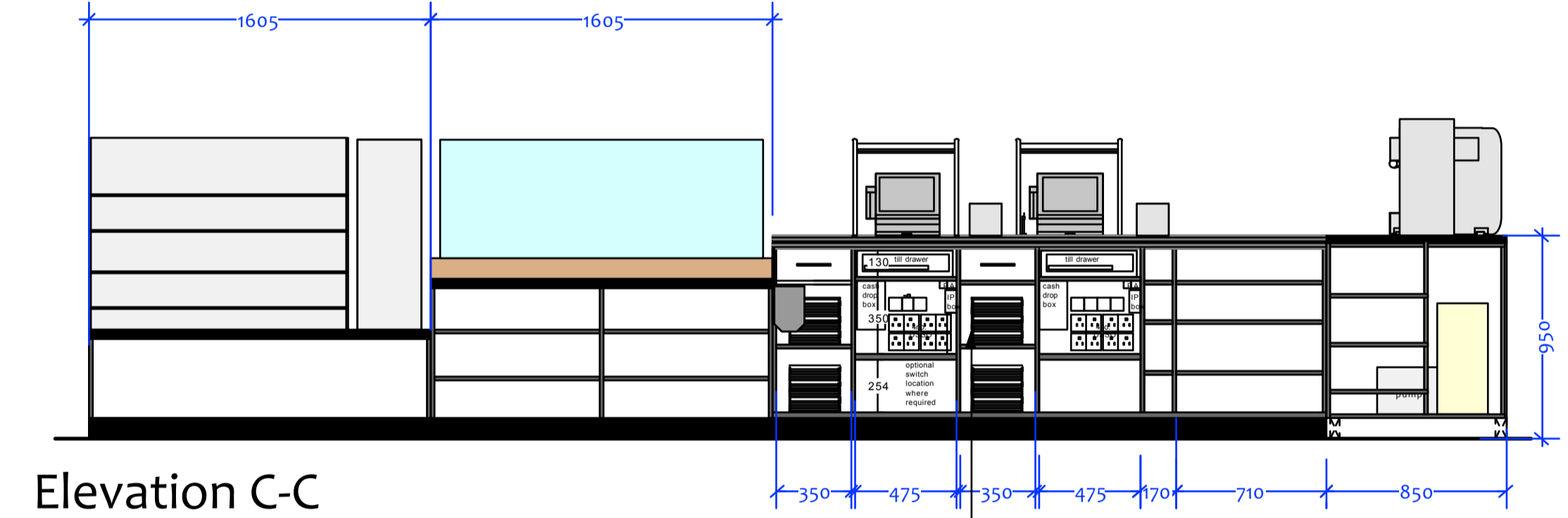
Elevation A-A



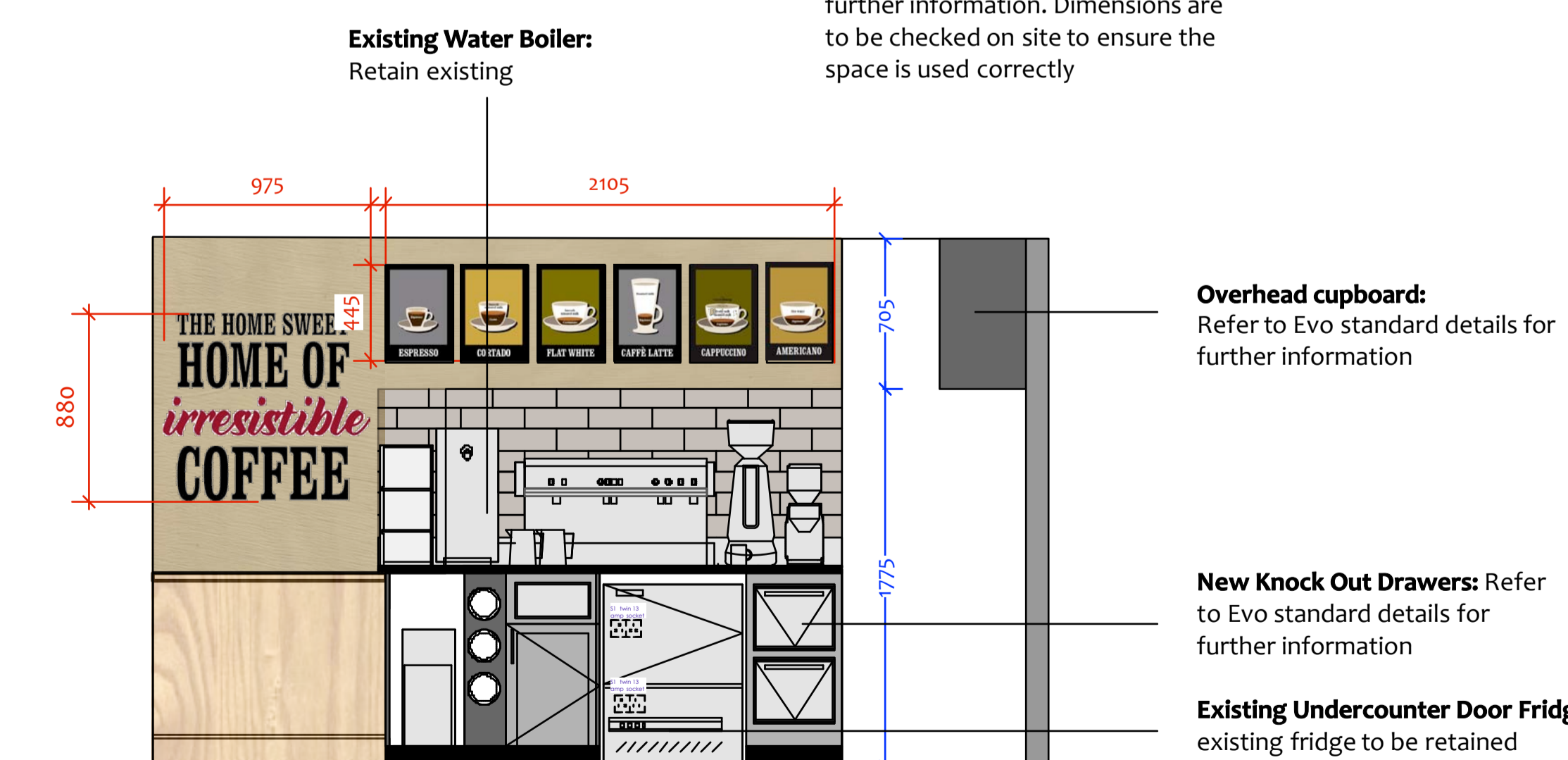
Elevation B-B



Plan



Elevation C-C



Elevation D-D

**FOR CONSTRUCTION**

**STORE ADDRESS:**  
Costa Coffee, 1-3 George Street, Plymouth, PL1 1QZ



Scale: 1:25@A1/ 1:50@A3  
0 1 2M

Drawn by: SM  
Checked by: SMR  
Drawn Date: 17.11.2014  
Revision Date:

**DRAWING TITLE:**  
**COUNTER DETAILS**

**DRAWING No:**  
**14.1003.05**

Rev: Description: By: Date: