



120 E. Main Street, Apopka, Florida 32703-5346  
Phone: 407-703-1700  
[www.apopka.gov](http://www.apopka.gov)

March 27, 2024

Mr. John Herbert, PE  
American Civil Engineering Company  
207 N. Moss Road, Suite 211  
Winter Springs, FL 32708

**RE: West Apopka Medical Offices – Construction Site Plan (CSP)**

Dear Mr. Herbert:

On March 27, 2024, the Development Review Committee (DRC) approved the Construction Site Plan (CSP) and issued a Development Order for the above-referenced project. This action allows you to apply for the permits necessary to begin construction.

Prior to commencing any site construction, including grading or clearing, a pre-construction meeting must be held with the City Engineer. Please contact (407) 703-1718 to schedule this meeting. Additionally, a building permit must be issued by the City of Apopka Building Official prior to construction or installation of any structure or building. Contact (407) 703-1713 for any inquiries regarding the building permit process.

The terms and conditions of the CSP are valid for two (2) years from the approval date. A copy of the approved plan is enclosed for your records. This plan must be kept on the job site during construction.

If you have any questions, please contact the Community Development Department at (407) 703-1712.

Sincerely,

Bobby Howell, AICP  
Planning Manager

Enclosure(s)

CC: James K. Hitt, FRA-RA, Community Development Director  
DRC Members

# Construction Site Plan

## West Apopka MEDICAL OFFICES Plymouth-Sorrento Road, Apopka, Florida 32703

RECEIVED

MAR 25 2024

PLANNING & ZONING

### PROJECT DIRECTORY

1. DEVELOPER/OWNER	DAFFLYN 2 PROPERTY, LLC 351 VISTA OAK DRIVE LONGWOOD, FL 32779 (407) 595-2552
2. CIVIL ENGINEER	AMERICAN CIVIL ENGINEERING CO. 207 N. MOSS ROAD, SUITE 211 WINTER SPRINGS, FL 32708 (407) 327-7700 OFFICE (407) 327-0227 FAX
3. LAND SURVEYOR	IRELAND & ASSOCIATES SURVEYING, INC. 1301 S. INTERNATIONAL PARKWAY, SUITE 2001 LAKE MARY, FLORIDA 32746 (407) 678-3366 OFFICE (407) 320-8165 FAX
4. SOILS ENGINEER	UNIVERSAL ENGINEERING SCIENCES 3532 MAGGIE BLVD. ORLANDO, FL 32811 (407) 423-0504 OFFICE (407) 869-9337 FAX
5. LANDSCAPE ARCHITECT	ENVIRONMENTAL DESIGN ANDY KESSELRING, LANDSCAPE ARCHITECT PO BOX 5121 OCALA, FLORIDA 34478 (352) 622-8899 STATE OF FLORIDA #858



### VICINITY MAP

SCALE 1"=200'  
SEC. 30 TWP. 20 S RGE. 28 E

### INTENDED UTILITY PROVIDERS:

SANITARY SEWER:	CITY OF APOPKA (407) 688-5000
WATER DISTRIBUTION:	CITY OF APOPKA (407) 688-5000
ELECTRICAL POWER:	FLORIDA POWER AND LIGHT (386) 325-9061
NATURAL GAS:	FLORIDA PUBLIC UTILITIES (386) 668-2600
FIRE/POLICE:	CITY OF APOPKA (407) 665-5070
GARBAGE:	WASTE PRO (407) 774-0800

### LEGAL DESCRIPTION

LOTS 14 AND 17, BAILEY'S ADDITION TO PLYMOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK B, PAGE 145 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA LESS RIGHT OF WAY FOR ROADS.

### ADDED NOTES:

1. THE PLAT FOR THIS DEVELOPMENT HAS BEEN RECORDED ON April 21, 2022.
2. ALL ROADWAYS AND FIRE HYDRANTS SHALL BE IN PLACE BEFORE BUILDING CONSTRUCTION MAY BEGIN.
3. FIRE HYDRANTS SHALL BE MARKED WITH A BLUE ROAD REFLECTOR LOCATED MID-LANE ACROSS FROM THE FIRE HYDRANT.

### DEVELOPMENT SUMMARY

CONSTRUCT A TWO (2) LOT COMMERCIAL SUBDIVISION AS FOLLOWS:  
LOT 1 (SELF-STORAGE FACILITY)  
LOT 2 (OUT-PARCEL FOR MEDICAL OFFICE USE)

### INFORMATION

03/22/24	sixth edition
10/12/23	fifth edition
09/12/23	fourth edition
05/18/22	third edition
04/08/22	second edition
02/08/22	first edition
DATE	REVISIONS

North

**CITY OF APOPKA  
DEVELOPMENT REVIEW COMMITTEE**  
Compliance Review Per Land Development Code

DEPARTMENT	NAME	DATE
ENGINEERING		
FIRE		3-22-24
BUILDING		3-22-24
PLANNING/ZONING		3-27-24
POLICE		3-27-24
PUBLIC SERVICES/ UTILITIES		3-27-24

REVIEW/APPROVAL(S) REQUIRED DATE 3-29-24

Development Review Committee Yes  No

City Council Yes  No

Use of only solar or tank-less water heating systems throughout the structure Yes  No

THIS REVIEW/APPROVAL DOES NOT GRANT PERMISSION TO VIOLATE OR WAIVE ANY APPLICABLE CITY CODE

THIS PLAN MUST BE KEPT ON JOB SITE.

### INFORMATION

PARCEL ID NUMBERS	30-20-28-0484-00-090
FUTURE LAND USE	COMMERCIAL
ZONING - EXISTING	C-C
ACREAGE - GROSS AREA	1.78 AC
ACREAGE - NET AREA	1.78 AC
BUILDING HEIGHT - MAXIMUM	35 FT
FLOOR AREA RATIO - MAXIMUM	0.25 MAXIMUM (14,244 SF) ACTUAL 11,097 SF
BUILDING SETBACKS	PROPOSED: F=70', S=20', R=10'
OPEN SPACE - MIN. 20%	ACTUAL 22.1% SEE SHT. 2 FOR SHADED OPEN SPACE
PARKING SPACES - MINIMUM	PROFESSIONAL OFFICES: 3/1,000 SF 11,000 SF OFFICE: 11 x 3 = 33 SPACES REQUIRED PARKING: 33 SPACES PROVIDED PARKING: 70 SPACES
WAIVER/VARIANCE REQUESTS	NONE

**CONSTRUCTION REVISION**

### INDEX OF SHEETS DESCRIPTION

1	COVER SHEET
2	OVER-ALL MASTER SITE PLAN
3	DETAILED SITE PLAN
4	GRADING & PAVING SITE PLAN
5	GRADING TYPICAL SECTIONS
5.1	UTILITY PLAN
5.2	UTILITY PLAN
5.3	YOTHERS ROAD IMPROVEMENTS
6	PLYMOUTH SORRENTO ROAD IMPROVEMENTS (south)
6.1	PLYMOUTH SORRENTO ROAD IMPROVEMENTS (north)
7	SITE PLAN DETAILS
8	GENERAL NOTES
9	EROSION CONTROL
10	SWPPP NOTES & SPECIFICATIONS
11	EXISTING CONDITIONS PLAN
12	UTILITY CONSTRUCTION DETAILS
13	FIRE TRUCK TURNING INFORMATION
14	L001 LANDSCAPE PLAN
15	L002 IRRIGATION PLAN
16	L003 LANDSCAPE DETAILS
17	L004 IRRIGATION DETAILS
18	P-1 PLAT SHEET 1
19	P-2 PLAT SHEET 2

### Construction Site Plan

## West Apopka MEDICAL OFFICES

Plymouth Sorrento Road, Apopka, Florida 32703



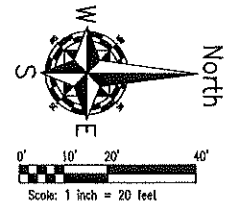
Digitally signed  
by John J Herbert  
Date: 2024.03.22  
11:19:25 -04'00'

03/22/24
Cover Sheet
project no. 22025
sheet number
1 of 10



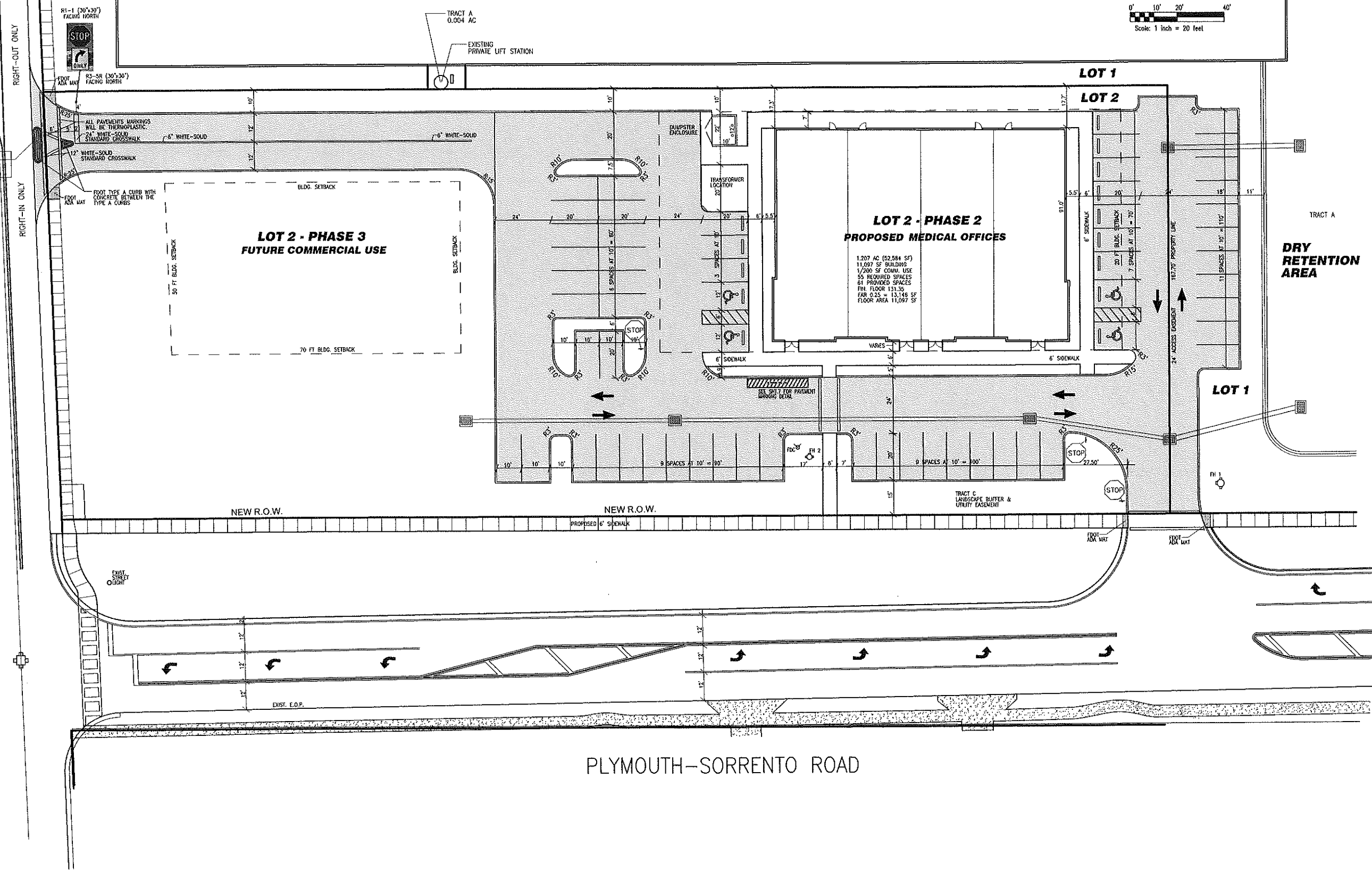
**LOT 1 - PHASE 1**

BUILDING B  
 SELF-STORAGE  
 HYBRID CLIMATE CONTROL  
 47,500 SF  
 FIN. FLOOR 131.43



YOTHERS ROAD

PLYMOUTH-SORRENTO ROAD



NOTE: ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE PER THE AMERICAN CIVIL ENGINEERING CO. ALL RIGHTS RESERVED. COPY RIGHT 2023.  
 ENGINEER: JOHN HERBERT, P.E.  
 CHECKED BY: TOM SHELTON, P.E.  
 TECHNICIAN: J.M.P.

DATE	REVISIONS
02/27/24	CONCEPT
01/28/24	SECOND REVISION
11/17/23	CURRENT
10/17/23	CURRENT
6/19/23	THIRD REVISION
4/12/23	SECOND REVISION
1/14/23	FIRST REVIEW

**AMERICAN CIVIL ENGINEERING CO.**  
 207 N. MOSS RD., SUITE 211 WINTER SPRINGS, FLA. 32789  
 PH. (407) 327-7700; FAX (407) 327-0227  
 Established 1989

**W. Apopka MEDICAL OFFICES**  
**Commercial Development**  
 APOPKA, FLORIDA

**CONSTRUCTION REVISION**

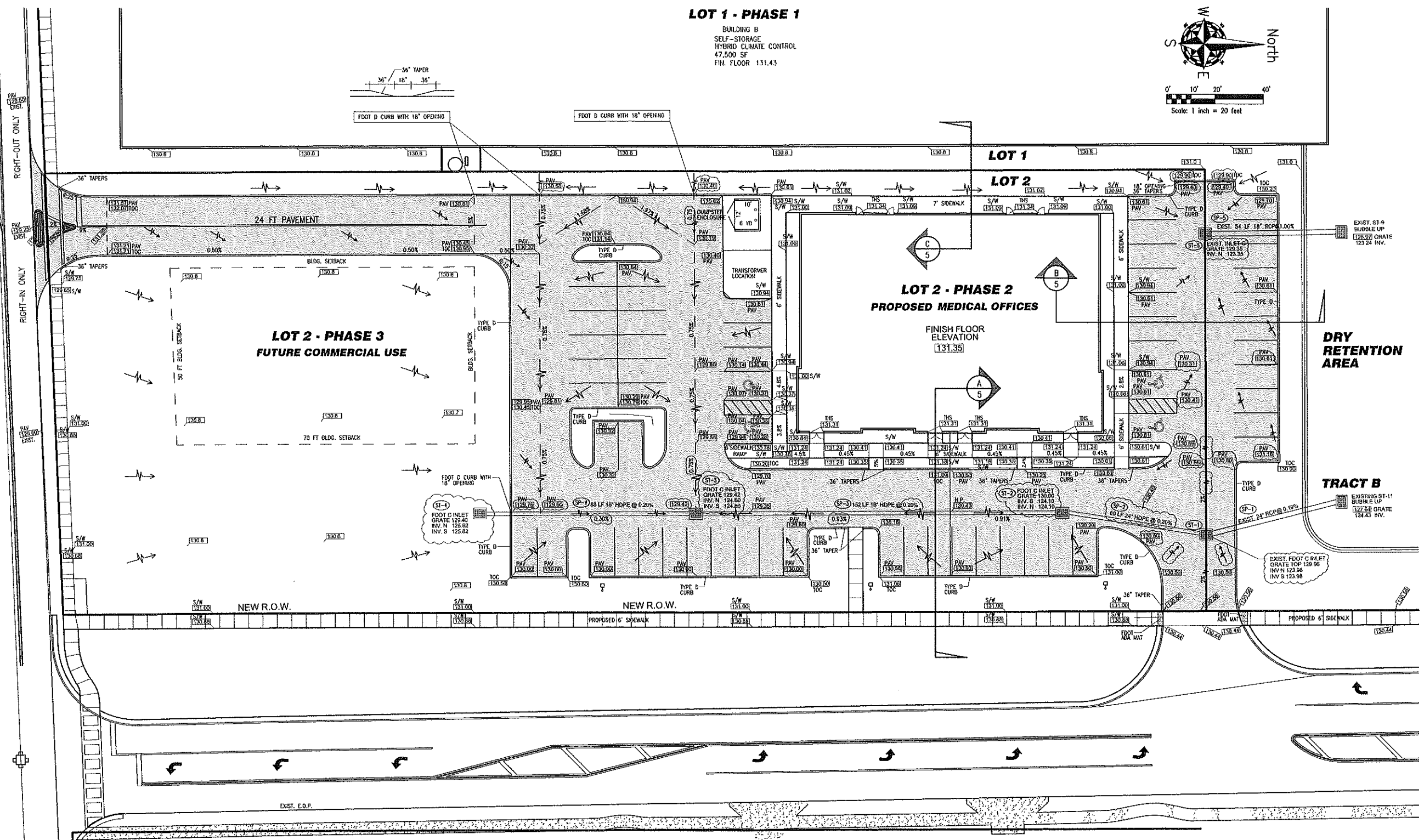
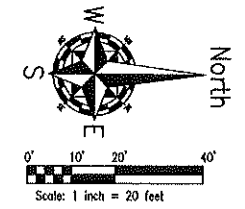
Digitally signed by John J Herbert  
 No. 39505  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 Date: 2024.03.22  
 11:20:11 -04'00'

DEVELOPMENT PLAN
project no. 22025
sheet number
3 of 19

YOTHERS ROAD

**LOT 1 - PHASE 1**

BUILDING B  
 SELF-STORAGE  
 HYBRID CLIMATE CONTROL  
 47,500 SF  
 FIN. FLOOR 131.43



STORM DRAINAGE INFORMATION	
STORM INLETS	STORM PIPES
(SI-1) EXIST. FOOT C INLET GRATE TOP 129.96 INV. N 129.96 INV. S 123.96	(SP-1) EXIST. 24" RCP @ 0.19%
(SI-2) PROPOSED TYPE C GRATE 129.60 INV. S 124.10 INV. N 124.10	(SP-2) 50 LF 24" HDPE @ 0.20%
(SI-3) PROPOSED TYPE C GRATE 129.42 INV. N 124.80 INV. S 124.80	(SP-3) 152 LF 18" HDPE @ 0.20%
(SI-4) PROPOSED FOOT C INLET GRATE TOP 129.82 INV. N 129.82 INV. S 125.82	(SP-4) 88 LF 18" HDPE @ 0.20%
(SI-5) EXIST. FOOT C INLET GRATE TOP 129.35 INV. N 123.35	(SP-5) EXIST. 54 LF 18" RCP @ 1.00%

ABBREVIATIONS OF SPOT GRADES	
PAV	PAVEMENT SPOT ELEVATION
TOC	TOP OF CURB
S/W	SIDEWALK ELEVATION
HP	GRADE HIGH POINT
LP	GRADE LOW POINT
FL	FLOW LINE SPOT ELEVATION
THS	THRESHOLD ELEVATION AT DOORWAY
FF	FINISH FLOOR ELEVATION
FG	FINISH GROUND

**CONSTRUCTION REVISION**

Digitally signed  
 by John J  
 Herbert  
 Date:  
 2024.03.22  
 11:20:31 -04'00'

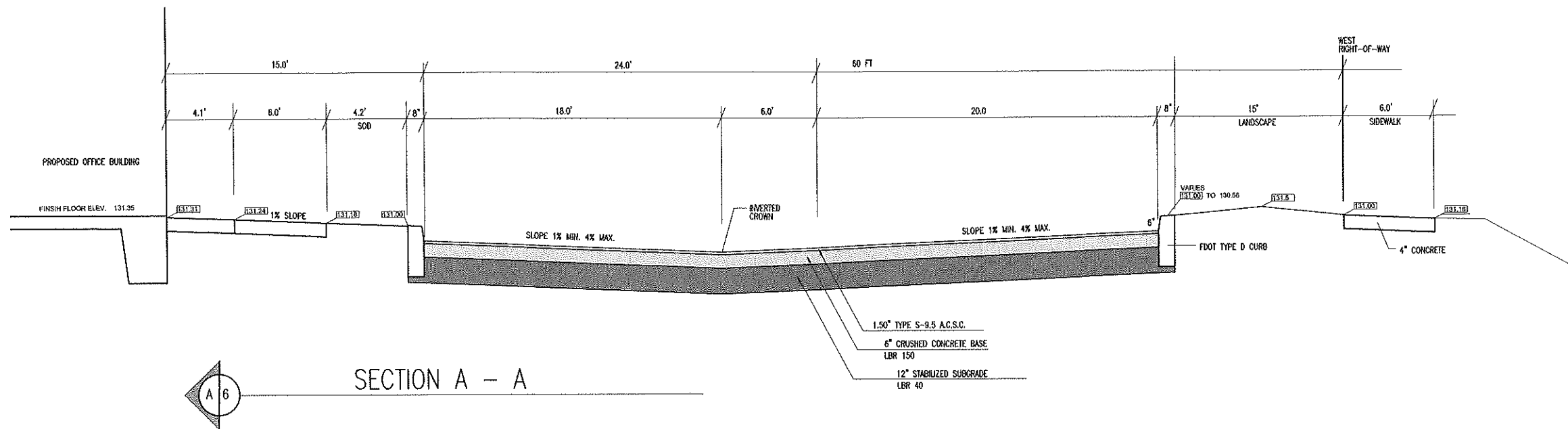
NOTE: ALL INFORMATION CONTAINED  
 HEREIN IS THE PROPERTY OF  
 AMERICAN CIVIL ENGINEERING CO.  
 AND IS TO BE KEPT CONFIDENTIAL.  
 NO PART OF THIS DOCUMENT IS TO  
 BE REPRODUCED OR TRANSMITTED  
 IN ANY FORM OR BY ANY MEANS,  
 ELECTRONIC OR MECHANICAL,  
 INCLUDING PHOTOCOPYING, RECORDING,  
 OR BY ANY INFORMATION STORAGE  
 AND RETRIEVAL SYSTEM, WITHOUT  
 THE WRITTEN PERMISSION OF  
 AMERICAN CIVIL ENGINEERING CO.

NO.	DATE	DESCRIPTION
24274	CURRENT	CONCEPT PLAN
11824	CURRENT	CONCEPT PLAN
11724	CURRENT	CONCEPT PLAN
91223	FOURTH REVISION	CONCEPT PLAN
61823	THIRD REVISION	CONCEPT PLAN
41823	SECOND REVISION	CONCEPT PLAN
11423	FIRST REVISION	CONCEPT PLAN

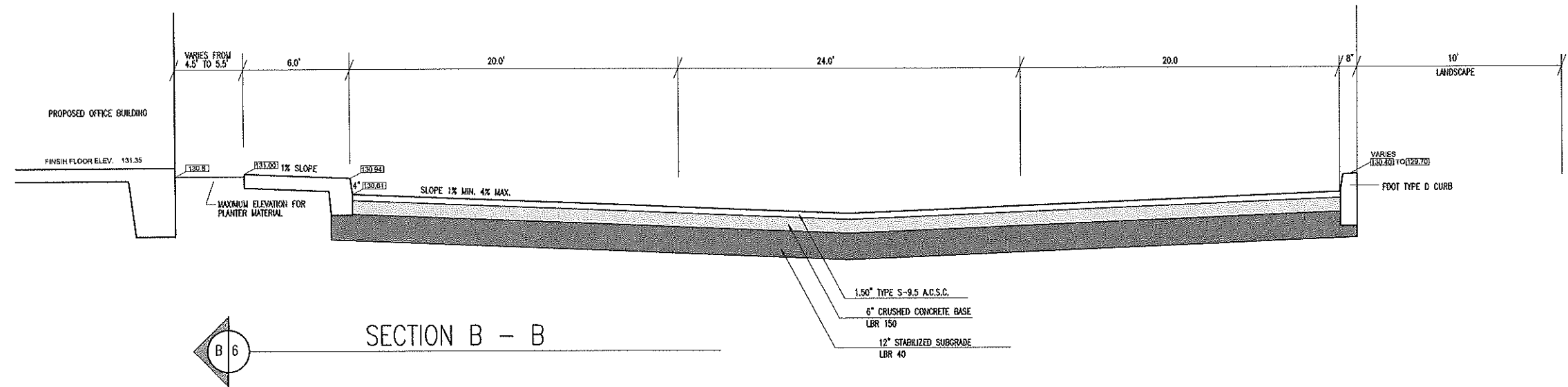
**AMERICAN CIVIL  
 ENGINEERING CO.**  
 207 N. MOSS RD., SUITE 211, WINTER SPRINGS, FLA. 32708  
 TEL: (407) 327-7700; FAX: (407) 327-0227  
 ESTABLISHED 1980

**PHASE 2 GRADING AND PAVING SITE PLAN**  
**W. Apopka MEDICAL OFFICES**  
**Commercial Development**  
 APOPKA, FLORIDA

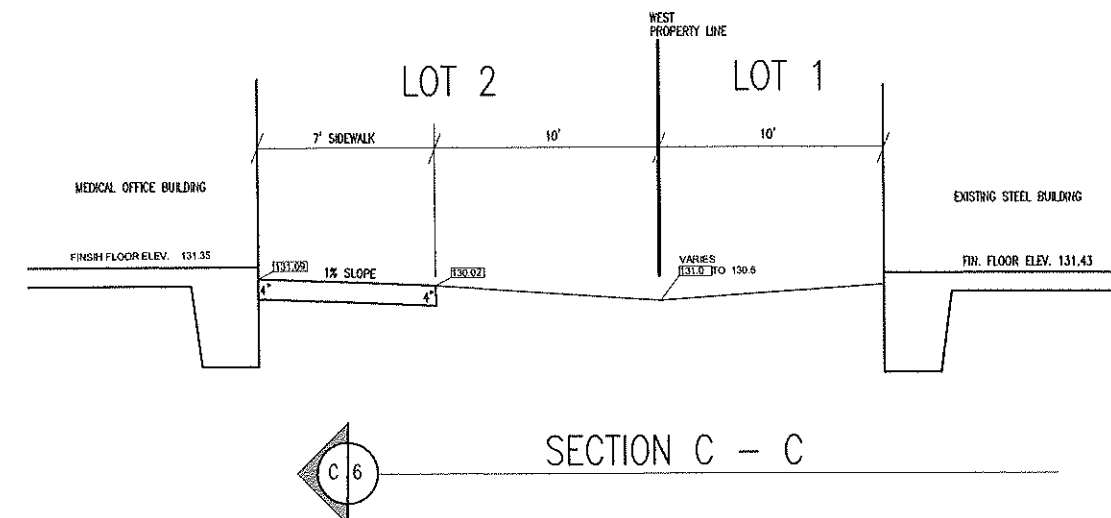
Site Plan
Project no. 22025
Sheet number
4 of 19



SECTION A - A



SECTION B - B



SECTION C - C

**PAVING SPECIFICATIONS - ASPHALT SURFACE/CONC. FINES BASE:**  
 SPECIFICATIONS FOR THE PARKING AREA AND DRIVES ARE AS FOLLOWS:  
 SUB-BASE REQUIREMENTS: FOR CRUSHED CONCRETE FINES BASE  
 A). 12" STABILIZED SUBGRADE TO HAVE A MIN. LBR=40 AND BE COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557) VALUE.  
 BASE REQUIREMENTS:  
 A). 6" PLACED RECYCLED CRUSHED CONCRETE FINES COMPACTED TO A MINIMUM DENSITY OF 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY AND SHALL HAVE A LBR 150.  
 SURFACE COURSE:  
 A). 1.50" FOOT ASPHALT CONCRETE TYPE 9.5, COMPACTED TO A MIN. OF 95% OF THE MARSHALL DESIGN DENSITY. AFTER PLACEMENT AND FIELD COMPACTION, THE WEARING SURFACE SHOULD BE CORED TO EVALUATE MATERIAL THICKNESS AND TO PERFORM LABORATORY DENSITIES. CORES SHOULD BE TAKEN AT A FREQUENCY OF ONE (1) CORE PER 10,000 SF OF PLACED PAVEMENT.

**PAVING SPECIFICATIONS -CONCRETE (ALTERNATE PAVEMENT)**  
 SPECIFICATIONS FOR THE PARKING AREA AND DRIVES ARE AS FOLLOWS:  
 SUB-BASE REQUIREMENTS FOR: CONCRETE PAVEMENT  
 A). COMPACT TO 85% OF THE MODIFIED PROCTOR MAX. DENSITY ACCORDING TO ASTM D-1557 TO A DEPTH OF 12" BELOW THE SLAB. REPAIR ALL RUTS  
 BASE REQUIREMENTS: (NONE)  
 PAVEMENT:  
 5.00" OF 4000 PSI CONCRETE WITH 8-6X10-10 WAF (AUTOMOTIVE AREAS) (LIGHT BROOM FINISH & SAW CUT 3/4" CONTROL JOINTS AT 10' GROSS) PORTLAND CEMENT TYPE 1  
 NOTE: ALL MATERIALS AND CONSTRUCTION METHODS TO MEET CURRENT FOOT STANDARDS AND SPECIFICATIONS.

**CONSTRUCTION REVISION**

Digitally signed by John J Herbert  
 No. 38959  
 STATE OF FLORIDA  
 Date: 2024.03.22 11:20:57 -04'00'

1.17.24	CURRENT	ENGINEER	JOHN HERBERT, P.E.
10.12.23	CURRENT	CHECKED BY	TOM SEBASTIAN, P.E.
9.12.23	CURRENT	DESIGNED BY	TOM SEBASTIAN, P.E.
4.08.22	CURRENT	TECHNICAL	J.M.P.
2.08.22	CURRENT	DATE	

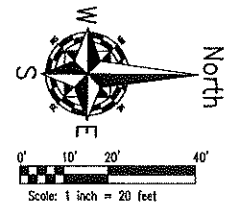
**AMERICAN CIVIL ENGINEERING CO.**  
 207 N. MOSS RD., SUITE 211, WINTER SPRINGS, FLA 32708  
 PH. (407) 327-7700; FAX: (407) 327-0227  
 Established 1989

**W. Apopka MEDICAL OFFICES Commercial Development**  
 APOPKA, FLORIDA

GRADING SECTIONS
project no. 22025
sheet number
5 of 19

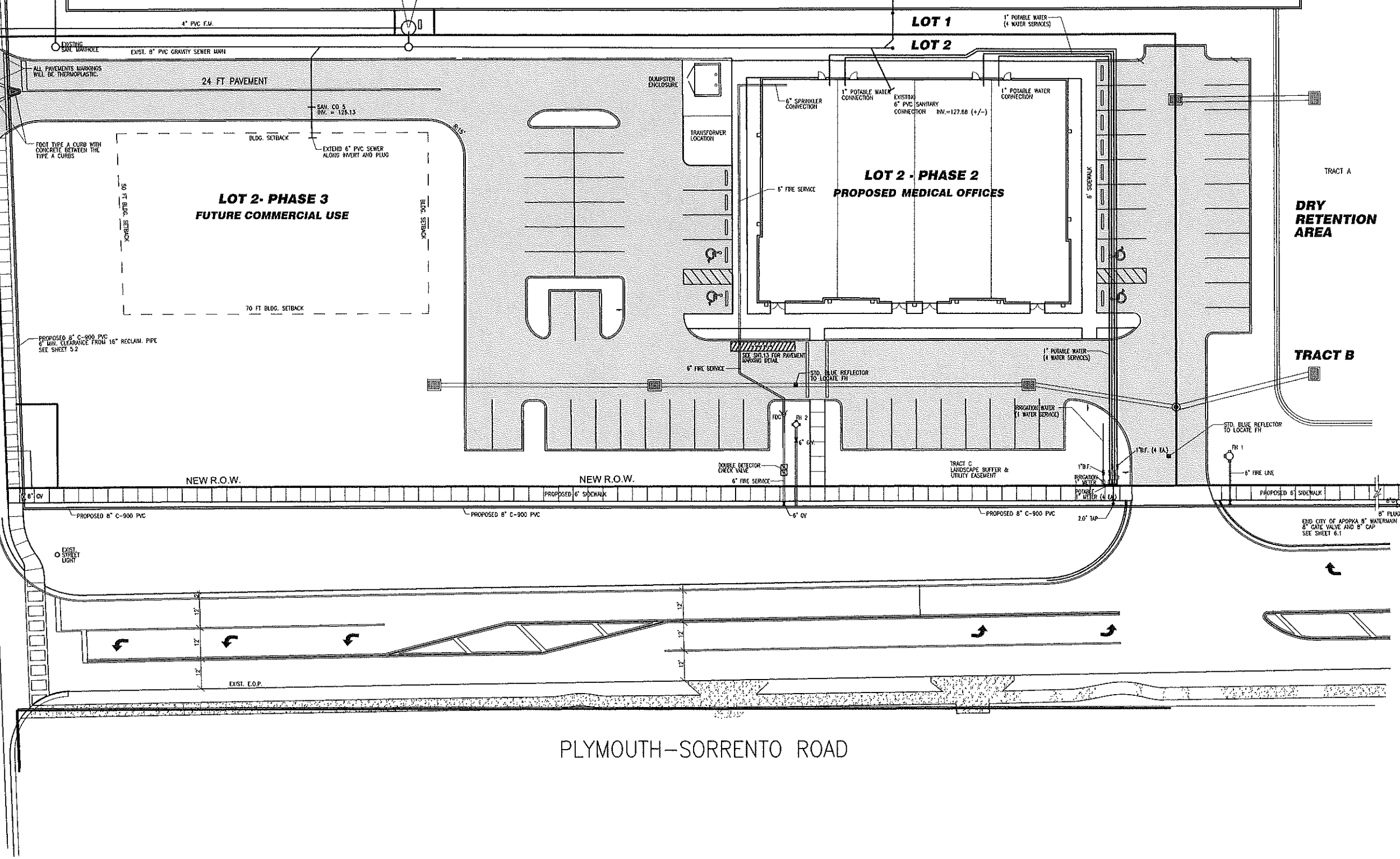
**LOT 1 - PHASE 1**

BUILDING B  
 SELF-STORAGE  
 HYBRID CLIMATE CONTROL  
 47,500 SF  
 FRI. FLOOR 131.43



YOTHERS ROAD

RIGHT-OUT ONLY  
 RIGHT-IN ONLY



PLYMOUTH-SORRENTO ROAD

**CONSTRUCTION REVISION**

Digitally signed  
 by John J  
 Herbert  
 Date: 2024.03.22  
 11:21:26 -04'00'

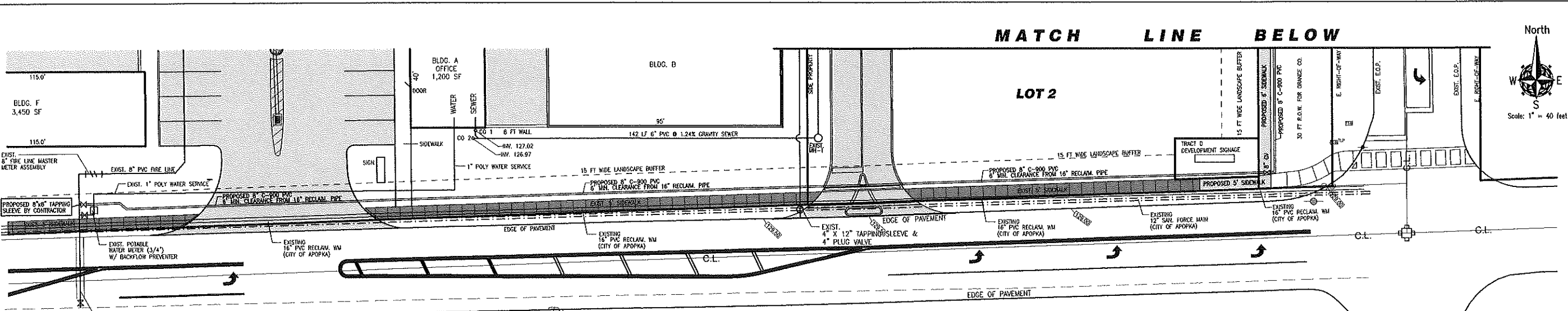
DATE	DESCRIPTION
2/27/24	CURRENT
1/17/24	CURRENT
9/12/23	FOURTH REVISION
6/19/23	THIRD REVISION
4/12/23	SECOND REVISION
1/14/23	FIRST REVIEW

DATE	DESCRIPTION
2/27/24	CURRENT
1/17/24	CURRENT
9/12/23	FOURTH REVISION
6/19/23	THIRD REVISION
4/12/23	SECOND REVISION
1/14/23	FIRST REVIEW

**AMERICAN CIVIL ENGINEERING CO.**  
 207 N. WOODS DR. SUITE 201 WINTER SPRINGS, FL 32708  
 PH. (407) 327-0627 FAX (407) 327-0627  
 est. of authorization number 8729  
 Established 1990

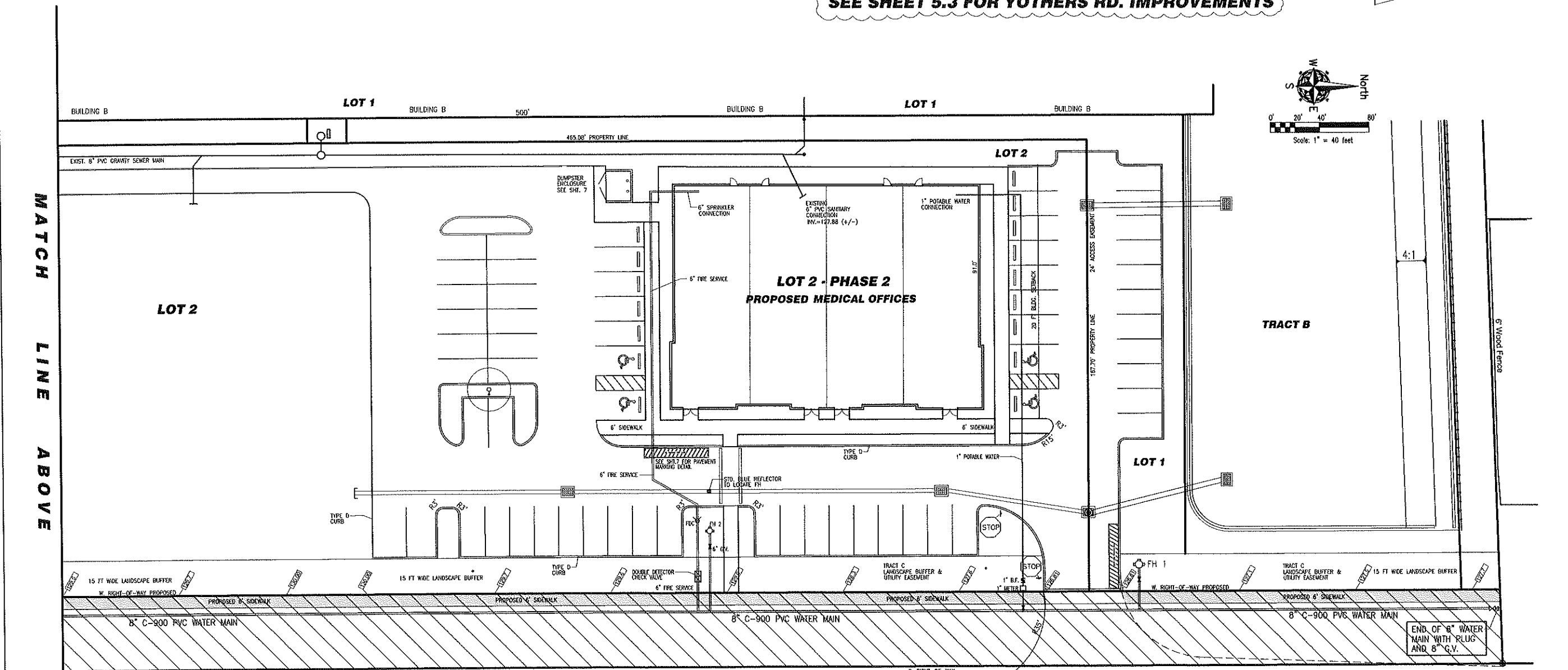
PHASE 2 MEDICAL OFFICES UTILITY PLAN  
**W. Apopka MEDICAL OFFICES**  
**Commercial Development**  
 APOPKA, FLORIDA

Site Plan Utilities
project no. 22025
sheet number
5.1 of 19



**YOTHERS ROAD**  
(Asphalt Road)

SEE SHEET 5.3 FOR YOTHERS RD. IMPROVEMENTS



S 00°10'54" E 640.90'(M)

**PLYMOUTH SORRENTO ROAD**

CONSTRUCTION REVISION

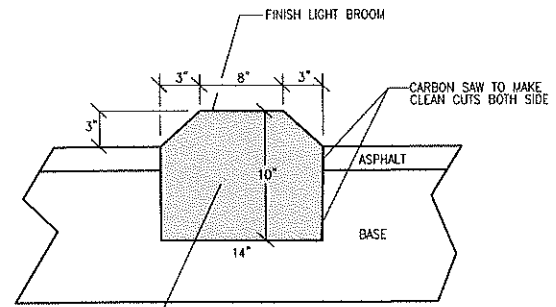
Digitally signed by John J Herbert  
Date: 2024.03.22 11:23:41 -0400

DATE	REVISIONS
07/27/24	CURRENT
07/28/24	CURRENT
07/28/24	CURRENT
07/28/24	CURRENT

**AMERICAN CIVIL ENGINEERING CO.**  
207 N. MOSE BLVD., SUITE 211, WINTER SPRING, FL 32706  
TEL: (407) 321-7700 FAX: (407) 321-0627  
est. of abbreviation number 8723  
Established 1990

PHASE 2 MEDICAL OFFICES UTILITY PLAN  
**W. Apopka MEDICAL OFFICES**  
**Commercial Development**  
APOPKA, FLORIDA

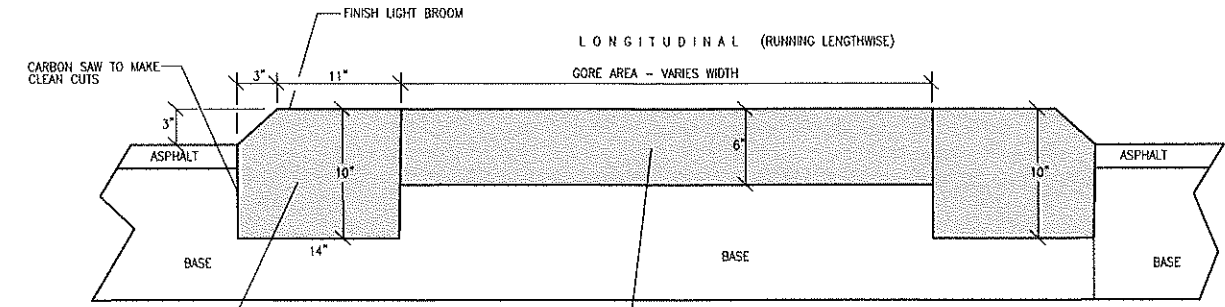
Site Plan Utilities	5.2 of 19
project no. 22025	
sheet number	



TRAFFIC LANE CURB SEPARATED WITH 4,500 PSI CONCRETE TO MAINTAIN VEHICLES FROM CROSSING LANE ENTERING AND EXITING FROM THE SOUTH LANE AT YOTHERS ROAD AS SEEN ON THE PLAN.  
SAW CUT CURB IN 6" INCREMENT 2" DEEP FOR CONTROL JOINTS

DETAIL SECTION OF TRAFFIC LANE CURB SEPARATED

1

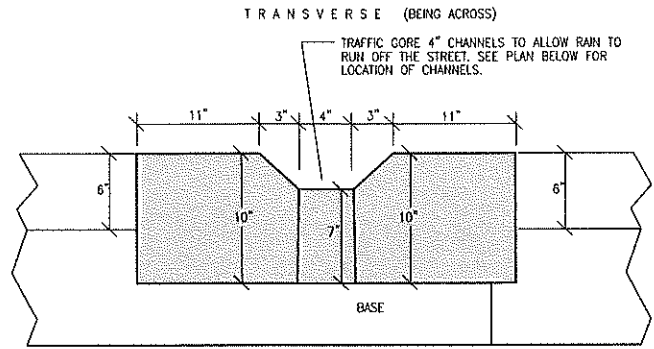


TRAFFIC LANE CURB SEPARATED WITH 4,500 PSI CONCRETE TO MAINTAIN VEHICLES FROM CROSSING LANE ENTERING AND EXITING FROM THE SOUTH LANE AT YOTHERS ROAD AS SEEN ON THE PLAN.  
SAW CUT CURB IN 6" INCREMENT 2" DEEP FOR CONTROL JOINTS

TRAFFIC GORE AREA TO BE FILLED BY 4,500 PSI CONCRETE TO MAINTAIN VEHICLES FROM CROSSING LANE ENTERING AND EXITING FROM THE SOUTH LANE AT YOTHERS ROAD AS SEEN ON THE PLAN.  
SAW CUT GORE IN 6"x6" INCREMENT 2" DEEP FOR CONTROL JOINTS

DETAIL SECTION OF TRAFFIC GORE FILLED WITH CONCRETE

2



DETAIL SECTION OF GORE CHANNEL

3

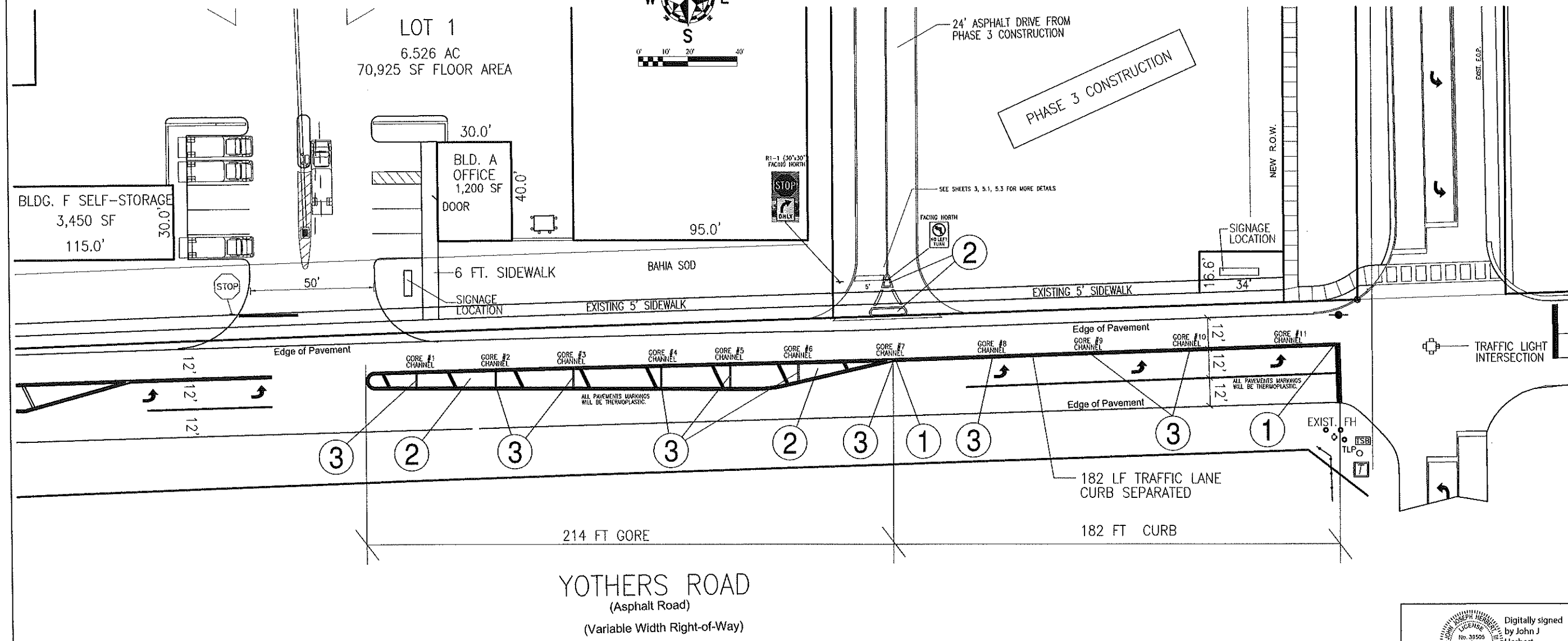
P. RICHMOND (APOPKA CITY TRAFFIC PERSON) PROVIDED AN EMAIL ON 3/18/24:  
"JOHN, THE GORED PORTION OF THE TRAFFIC SEPARATOR WILL BE FILLED IN, CORRECT AND AND IT WILL ALL BE PAIRED APPROPRIATELY. I DON'T HAVE THE FULL PLAN SET IN FRONT OF ME, BUT I'LL ASSUME THAT AT THE PORCHOP, THERE WILL BE A STOP SIGN AND ALSO, IN THE MIDDLE OF THE PORCHOP A NO LEFT TURN SIGN ALSO.  
IF THE ANSWER IS YES TO THESE QUESTIONS, THEN THE WHAT YOU HAVE PRESENTED IN THE ATTACHED IS ACCEPTED."

NOTE: ALL INFORMATION CONTAINED HEREIN IS PROPERTY OF AMERICAN CIVIL ENGINEERING CO. ALL RIGHTS RESERVED. COPY RIGHT 2024.  
DESIGNED BY: JOHN HERBERT, P.E.  
CHECKED BY: TOM SULLIVAN, P.E.  
TECHNICIAN: JUNE

DATE	3/18/24
CURRENT	
REVISIONS	

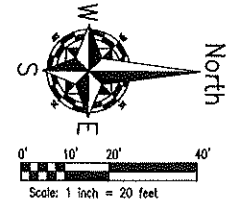
AMERICAN CIVIL ENGINEERING CO.  
207 N. MOSS BLVD. SUITE 211, WINTER SPRINGS, FLA. 32706  
TEL: (407) 327-7000 FAX: (407) 327-0227  
est. of incorporation number 8728  
Established 1990

YOTHERS ROAD IMPROVEMENTS  
**W. Apopka MEDICAL OFFICES**  
Commercial Development  
APOPKA, FLORIDA



Digitally signed by John J Herbert  
Date: 2024.03.22 11:24:24 -04'00'

project no. 22025  
sheet number 5.3 of 19



**LOT 1**  
 BUILDING B  
 SELF-STORAGE  
 HYBRID CLIMATE CONTROL  
 47,500 SF  
 FIN. FLOOR 131.43

**LOT 2 - PHASE 2**  
**PROPOSED MEDICAL OFFICES**

1,207 AC (52,584 SF)  
 11,097 SF BUILDING  
 1/200 SF COV. USE  
 55 REQUIRED SPACES  
 61 PROVIDED SPACES  
 FIN. FLOOR 131.35  
 FAR 0.25 = 13,146 SF  
 FLOOR AREA 11,097 SF

**LOT 2 - PHASE 3**  
**FUTURE COMMERCIAL USE**

**TRACT A**

EXIST. **DRY RETENTION AREA**  
 100 yr/24 hour design storm

**SEE SHEET 5**

**AMERICAN CIVIL ENGINEERING CO.**  
 207 N. JESSIE BLVD., SUITE 201, WINTER SPRINGS, FLA. 32706  
 P.E. (407) 327-7400; FAX (407) 327-0627  
 est. of incorporation number 8729  
 Established 1990

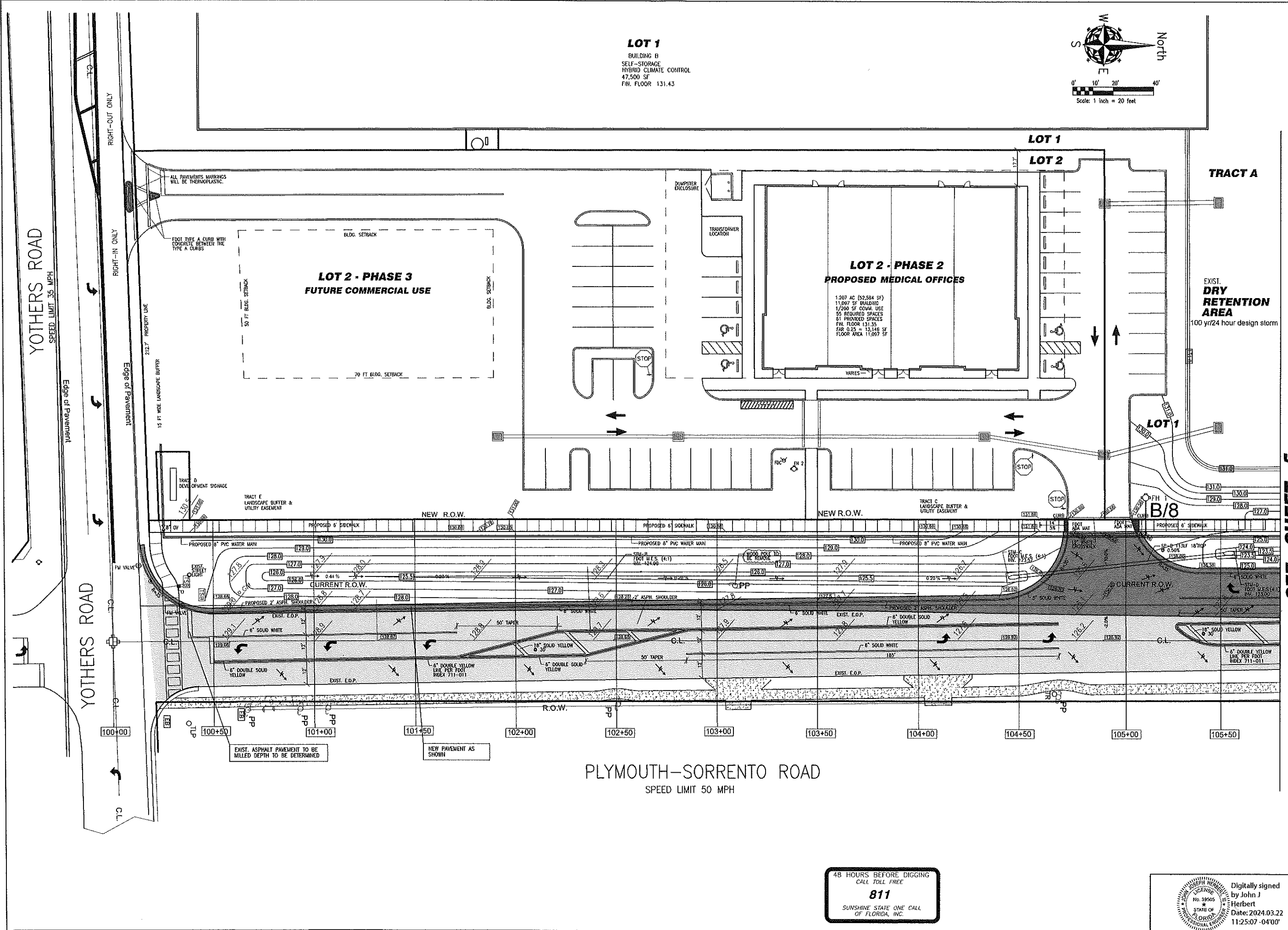
PROPOSED ROAD IMPROVEMENTS  
**PLYMOUTH-SORRENTO ROAD**  
 ROAD IMPROVEMENTS TO PROVIDE ACCESS TO  
 NEW MEDICAL OFFICE DEVELOPMENT

Site Plan  
 project no. 22025  
 sheet number  
 6 of 19

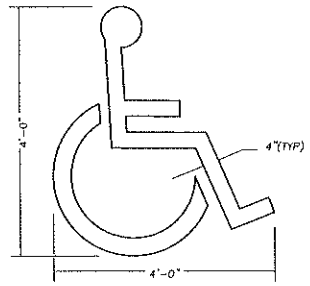
48 HOURS BEFORE DIGGING  
 CALL TOLL FREE  
**811**  
 SUNSHINE STATE ONE CALL  
 OF FLORIDA, INC.

Digitally signed  
 by John J  
 Herbert  
 Date: 2024.03.22  
 11:25:07 -04'00'

NOTE: ALL INFORMATION CONTAINED HEREIN IS PROPERTY OF AMERICAN CIVIL ENGINEERING CO. ALL RIGHTS RESERVED. COPY RIGHT 2024.	DATE
ENGINEER: JOHN HERBERT, P.E.	REVISIONS
CHECKED BY: TOM SWELTON, P.E.	
DATE: 2/27/24	
DATE: 6/19/23	
DATE: 4/12/23	
DATE: 1/14/23	



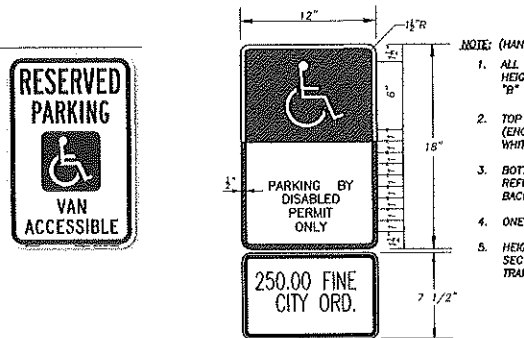




NOTE:  
THIS SYMBOL TO BE WHITE D.O.T. THERMOPLASTIC

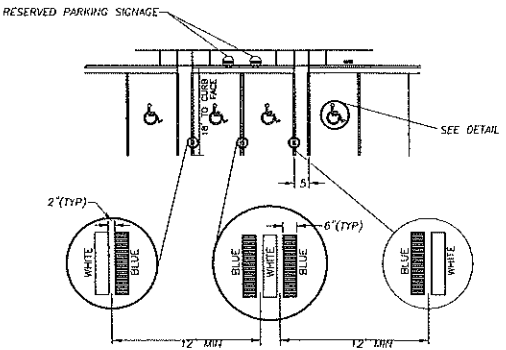
**TYPICAL PAVEMENT SYMBOL FOR HANDICAPPED PARKING**

N.T.S.



**TYPICAL RESERVED PARKING SIGNAGE**

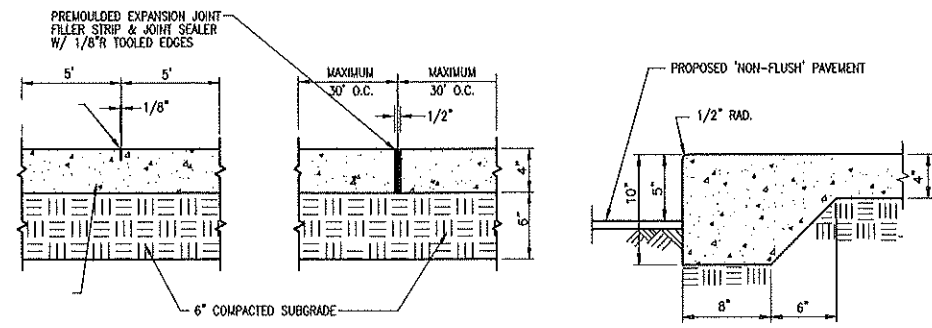
- NOTE: (HANDICAP SIGN ONLY)
1. ALL LETTERS SHALL BE BLACK AND 1" III HEIGHT. LETTERS ARE TO BE SERIES "B" OR "C", PER MUTCD.
  2. TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
  3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK BORDER.
  4. ONE SIGN REQUIRED FOR EACH PARKING SPACE.
  5. HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORMED TRAFFIC CONTROL DEVICES (MUTCD)



- NOTES:
1. EACH SUCH PARKING SPACE SHALL BE CONSPICUOUSLY OUTLINED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT, ABOVE GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, OR THE CAPTION "PARKING BY DISABLED PERMIT ONLY," OR BEARING BOTH SUCH SYMBOL AND CAPTION. SUCH SIGNS SHALL NOT BE OBSERVED BY A VEHICLE PARKED IN THE SPACE. ALL HANDICAPPED PARKING SPACES MUST BE SIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE DEPARTMENT OF TRANSPORTATION.
  2. FL DOT RECOMMENDS MEASURING PARKING SPACE WIDTH FROM CENTER TO CENTER BETWEEN BLUE AND WHITE STRIPES.

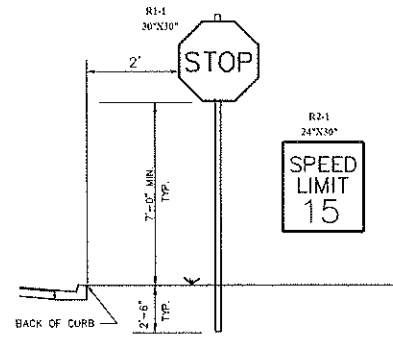
**HANDICAP PARKING STRIPING FOR MULTIPLE SPACES**

N.T.S.

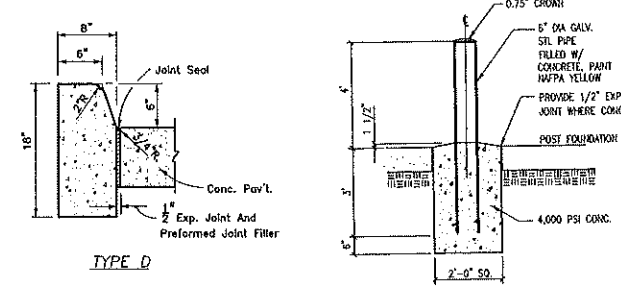


- NOTES:
1. A THICKENED EDGE SHALL BE PROVIDED BETWEEN SIDEWALK AND DRIVEWAYS OR PARKING LOT.
  2. SLOPE CONC. SIDEWALKS AWAY FROM BUILDINGS TO PROVIDE POSITIVE DRAINAGE.
  3. PROVIDE 1% CROSS SLOPE ON CONC. WALKS TYP.
  4. PROVIDE CONTROL JOINTS @ INTERVALS EQUAL TO SIDEWALK WIDTH (W).
  5. PROVIDE PREMOULDED EXPANSION JOINT WHERE CONC. WALK ADJUTS BLDG., POLES, AND OTHER CONC. WALKS.
  6. REINFORCED CONCRETE WITH FIBERMESH OR 6-6X10X10 WWF

**CONCRETE SIDEWALK DETAIL**

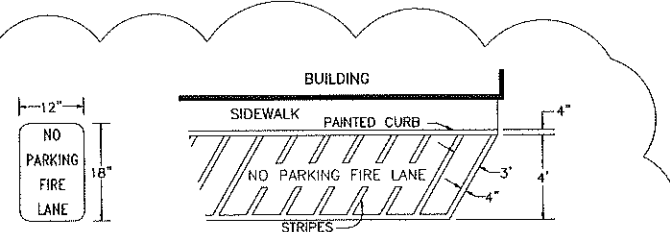


**TRAFFIC SIGN DETAILS**



**CURB DETAILS**

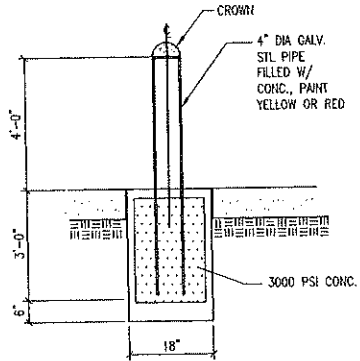
**BOLLARD POST**



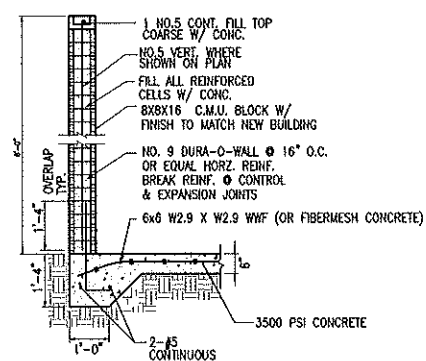
**FIRE VEHICLE ACCESS ROUTES MARKING**

1. SIGNS SHALL BE TWELVE (12) INCHES WIDE BY EIGHTEEN (18) INCHES IN HEIGHT, WHITE WITH THREE-INCH HIGH RED LETTERS NOT LESS THAN ONE-HALF INCH WIDE TO READ "NO PARKING FIRE LANE".
2. SIGNS SHALL BE DOUBLE FACED, SPACED NOT GREATER THAN ONE HUNDRED (100) FEET APART.
3. SIGNS SHALL BE MOUNTED ON METAL POSTS, NOT LESS THAN TWO (2) INCHES IN SIZE WITH BOTTOM OF SIGN NOT LESS THAN SEVEN (7) FEET FROM GRADE TO BOTTOM OF SIGN.
4. WHERE A CURB IS PROVIDED, FOUR (4) OF CURB TOP AND FACE TO BE TRAFFIC YELLOW (F.D.O.T. TRAFFIC RATED PAVEMENT PAINT), STRIPES FOUR (4) INCHES WIDE EXTENDING OUTWARD TO A WIDTH OF FOUR (4) FEET FROM CURB WITH THREE (3) FEET BETWEEN EACH STRIPE. STRIPING TO BE YELLOW THERMOPLASTIC OR EQUIVALENT.
5. LETTERS NOT LESS THAN FOUR (4) INCHES IN HEIGHT AND NOT LESS THAN TWO (2) INCHES IN WIDTH WITHIN THE STRIPING (BETWEEN THE POSTED SIGNS) TO READ "NO PARKING FIRE LANE". LETTERING TO BE TRAFFIC YELLOW F.D.O.T. TRAFFIC RATED PAVEMENT PAINT.
6. SIGNS AND PAINTING ARE TO BE MAINTAINED BY THE RESPONSIBLE PARTY OF THE PROPERTY.

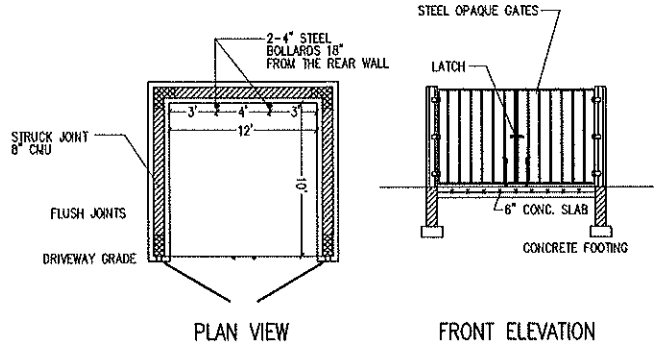
**TYPICAL FIRE LANE REQUIREMENTS (ACCESS ROUTE MARKINGS & SIGN POSTING)**



**BOLLARD POST DETAIL**



**DUMPSTER ENCLOSURE WALL**



**DUMPSTER ENCLOSURE**

Digitally signed by John J Herbert Date: 2024.03.22 11:26:37 -04'00'

NOTE: ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF AMERICAN CIVIL ENGINEERING CO. ALL RIGHTS RESERVED. COPY RIGHT 2024.
ENCORPOR: JOHN HERBERT, P.E.
CHECKED BY: TOM SHELTON, P.E.
TECHNICIAN: J.M.H.
DATE: 2.03.22
CURRENT
CURRENT
DATE

**AMERICAN CIVIL ENGINEERING CO.**  
207 N. MOSS RD., SUITE 211, WINTER SPRINGS, FLA 32789  
TEL (407) 327-7700; FAX (407) 327-0227  
Established 1980

**W. Apopka MEDICAL OFFICES**  
**Commercial Development**  
APOPKA, FLORIDA

SITE DETAILS
project no. 22025
sheet number
7 of 19

SEC. A. GENERAL CONSTRUCTION NOTES:

- 1. THE FOLLOWING GENERAL NOTES APPLY TO ALL CONSTRUCTION AS DEPICTED ON THE SITE CONSTRUCTION PLANS.
2. ALL PROPOSED SITE CONSTRUCTION SHALL BE PURSUANT TO INFORMATION SHOWN ON THESE PLANS AS APPROVED BY THE GOVERNING AUTHORITIES.
3. ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE STATE, FEDERAL AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT THEIR EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INQUIRE THAT ALL REQUIRED PERMITS ARE OBTAINED AND IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ADOBE BY ALL CONDITIONS CONTAINED THEREIN.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING A VISUAL INSPECTION OF THE SITE PRIOR TO BIDDING AND ACCEPTING THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF ALL UNDERGROUND AND ABOVE GROUND STRUCTURES THAT WILL NOT BE INCORPORATED WITH THE NEW FACILITIES. SHOULD ANY DISCREPANCIES EXIST WITH THE PLANS THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE PROJECT ENGINEER AND REQUESTING A CLARIFICATION OF THE PLANS PRIOR TO DEMOLITION.
5. ANY PROPOSED FIELD CHANGES WHICH SUBSTANTIALLY DEVIATE FROM THIS PLAN SHALL BE APPROVED BY THE GOVERNING AUTHORITIES AND THE ENGINEER PRIOR TO THE CHANGE TO MADE IN THE FIELD.
6. ALL WORK AND MATERIALS FURNISHED SHALL BE IN REASONABLE CONFORMITY WITH THE LINES, GRADES, GRADING SECTIONS, CROSS SECTIONS, DIMENSIONS, MATERIAL REQUIREMENTS AND TESTING REQUIREMENTS THAT ARE SPECIFIED IN THE CONTRACT, PLANS OR SPECIFICATIONS.
7. ANY DISCREPANCY BETWEEN THE CONSTRUCTION INFORMATION SHOWN ON THE PLANS AND THE ACTUAL FIELD CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ENGINEER'S ATTENTION. FAILURE TO DO SO AND TO CONTINUE CONSTRUCTION WITHOUT WRITTEN NOTIFICATION SHALL MAKE THE CONTRACTOR COMPLETELY LIABLE FOR UNWARRANTED ACTIONS AND/OR ERRORS THAT MAY SUBSEQUENTLY ARISE.
8. ALL IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH INFORMATION SHOWN ON THESE PLANS. ANY CONFLICTS WHICH RESULT IN CHANGES TO THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING PRIOR TO REVIEW AND APPROVAL PRIOR TO FIELD CHANGES. MINOR ADJUSTMENTS CAUSED BY VARYING FIELD CONDITIONS, INCLUDING CHANGES AND DEPTHS OF BERMS AND SWALES MAY BE MADE WITH THE APPROVAL OF THE ENGINEER IF THE BASIC DESIGN INTENT IS MET.
9. THE INTENT AND/OR INTERPRETATION OF THESE CONSTRUCTION PLANS IF REQUIRED, SHALL BE MADE BY THE ENGINEER OF RECORD. ANY NEED BY THE CONTRACTOR FOR INTERPRETATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER UPON DISCOVERY. NO ADD-THRU MOVES SHALL EXIST AT A SLOPE. NO A.D.A. PARKING SPACE SHALL EXCEED A 2% SLOPE IN ANY DIRECTION. DRIVEWAYS CONNECTING TO EXISTING ROADS/STREETS TO PROPOSED SITE PARKING AREAS SHALL NOT EXCEED AN 8% SLOPE. CURVED CURVES SHALL BE 20 FT. MIN. AT CREST AND SAC LOCATIONS.
10. ALL HORIZONTAL LAYOUT FOR SITE CONSTRUCTION SHALL BE BASED ON THE APPROVED PLAN AND/OR PLAN, AND PERFORMED BY QUALIFIED PERSONNEL.
11. ALL ELEVATIONS REFER TO THE DATUM AS INDICATED ON THE SURVEY (BY OTHERS).
12. THE CONTRACTOR SHALL TAKE CARE DURING THE CONSTRUCTION TO AVOID DISTURBING ANY EXISTING SURVEY MONUMENTS. ANY MONUMENT DISTURBED BY THE CONTRACTOR SHALL BE RESET AT THE CONTRACTOR'S EXPENSE BY THE PROJECT SURVEYOR.
13. THE CONTRACTOR SHALL HIRE A PROFESSIONAL TESTING LABORATORY AS NECESSARY TO VERIFY ALL TESTS REQUIRED BY THIS CONSTRUCTION.
14. THE CONTRACTOR SHALL NOTIFY AMERICAN CIVIL ENGINEERING COMPANY 24 HOURS IN ADVANCE PRIOR TO ANY TESTING AND SUPPLY THE ENGINEER WITH REQUIRED TEST RESULTS.
15. THE DESIGN AND ENGINEERING OF THIS PROJECT IS BASED ON INFORMATION SUPPLIED BY OTHERS. CASUALTIES OR OTHER ENCUMBRANCES, WHICH MAY EXIST AND NOT SHOWN ON THE SURVEY ARE NOT THE RESPONSIBILITY OF THE ENGINEER.
16. EXISTING SOILS CONDITIONS WHICH DIFFER FROM THE SOILS REPORT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AT THE TIME OF DISCOVERY.
17. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS CONTROLLING POLLUTION OF THE ENVIRONMENT AND EROSION/SEDIMENT CONTROL.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE BUFFER AND RETENTION AND DETENTION FACILITIES UNTIL THE WORK HAS BEEN ACCEPTED BY THE OWNER. ALL DISTURBED AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.
19. ANY FUEL STORAGE AREAS SHALL HAVE PRIOR OWNERS APPROVAL AND APPROPRIATE MEASURES SHALL BE TAKEN TO ASSURE PROTECTION OF GROUNDWATER AND SOIL RESOURCES.
20. SITE WORK PERFORMED ON THIS PROJECT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS TO COORDINATE AND SCHEDULE HIS ACTIVITIES. WHEN AND WHERE NECESSARY WITH OTHER CONTRACTORS AND UTILITY COMPANIES.
21. THE INFORMATION ON THESE CONSTRUCTION PLANS ARE SUBJECT TO APPROVAL BY THE CITY, COUNTY, STATE AND FEDERAL AGENCIES. ALL WORK SHALL BE PURSUANT TO APPROVED PLANS AND ISSUED PERMITS.
22. ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
23. THE EXISTENCE AND LOCATION OF EXISTING UNDERGROUND UTILITIES ARE NOT GUARANTEED AND SHALL BE INVESTIGATED AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO INSTALLATION OF UNDERGROUND PIPES, FOOTERS OR EXCAVATION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF LOCATION OF EXISTING UTILITIES SHOWN OR NOT SHOWN SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE ALL NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS OF THESE UTILITIES WITH THE OWNER OF THE UTILITY.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COST WHICH MAY OCCUR DUE TO TO ANY DAMAGES CAUSED BY THE CONTRACTOR TO EXISTING UTILITY STRUCTURES OR PROPERTY. THE CONTRACTOR SHALL COVER THE ENTIRE COSTS OF ALL REPAIRS AND/OR REPLACEMENT.
25. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS AFFECTED UTILITY COMPANIES IN ORDER TO PERMIT MARKING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION. BY CALLING "SUNSHINE" AT 1-800-432-4770 OR VISITING WWW.SUNSHINEFL.COM THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES NOT INCLUDED IN THE "SUNSHINE" PROGRAM.
26. CHAPTER 77-153 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL GAS UTILITIES A MINIMUM OF TWO WORKING DAYS PRIOR TO EXCAVATING. MAPS SHOW ONLY THE APPROXIMATE LOCATION OF GAS MAINS AND DO NOT SHOW SERVICE LINES. THE ONLY SAFE AND CORRECT WAY TO LOCATE EITHER MAINS OR SERVICE LINES IS BY AN ON-SITE INSPECTION BY THE RESPECTIVE GAS COMPANY PERSONNEL. THEREFORE, EXCAVATORS ARE INSTRUCTED TO CONTACT THE RESPECTIVE GAS COMPANY WORKING DAYS BEFORE ENTERING A CONSTRUCTION AREA.
27. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF THE PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO WATER, SEWER, ELECTRIC POWER, TELEPHONE, GAS AND CABLE TV COMPANIES. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND CONDUITS (INCLUDING IRRIGATION) PRIOR TO SUB-BASE CONSTRUCTION.
28. UPON NOTICE FROM THE CONTRACTOR THAT CONSTRUCTION IS COMPLETE AND READY FOR ACCEPTANCE, THE ENGINEER SHALL MAKE FINAL INSPECTION AND NOTIFY THE CONTRACTOR AND OWNER OF ANY INCOMPLETE AND/OR DEFECTIVE WORK. THE CONTRACTOR SHALL CORRECT ALL SUCH ITEMS TO THE SATISFACTION OF THE ENGINEER AND OWNER. ALL REGULATORY AND GOVERNING AGENCIES WHICH REQUIRE FINAL INSPECTIONS SHALL HAVE BEEN CONTACTED BY THE CONTRACTOR AND HAVE INSPECTED AND APPROVED THE PROJECT PRIOR TO ACCEPTANCE BY THE OWNER.
29. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED PLANS AND PERMITS AT THE CONSTRUCTION SITE. THE PLANS SHALL BE KEPT IN GOOD ORDER.
30. THE CONTRACTOR SHALL PROVIDE COMPLETE "AS-BUILT" INFORMATION TO THE ENGINEER RELATIVE TO THE LOCATION OF ALL WATER LINES, WATER SERVICES, VALVES, SEWER LINES, SEWER SERVICES, STORM LINES, INVERTS OF STRUCTURES, FURNISH PAVEMENT GRADES AND CONSTRUCTION BECHM MARKS FOR VERIFICATION. THE "AS-BUILT" RECORDS SHALL BE KEPT AT THE JOB SITE AND UPDATED AS THE PROJECT PROGRESSES. ONE (1) SET OF AS-BUILT PLANS ARE TO BE PROVIDED TO THE ENGINEER.
31. ENGINEER TO PROVIDE RECORD DRAWINGS AND CERTIFICATIONS TO THE ISSUED PERMITS.

48 HOURS BEFORE DIGGING CALL TOLL FREE 811 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

- CURB INLET TYPE P-4
P-5 INLET
STORM MANHOLE BOX
CONCRETE WETTED END
CONTROL STRUCTURE
WETTED CONCRETE SIDEWALK
CONCRETE FLOW W/ RUBBLE RP RP

SEC. B EARTHWORK:

- 1. EXISTING TOPOGRAPHY AND CONTOURS ARE BASED ON THE SURVEY (BY OTHERS).
2. A GEOTECHNICAL SOILS REPORT HAS BEEN PREPARED FOR THIS PROJECT. CONFLICTS BETWEEN INFORMATION WITHIN THE REPORT AND THESE CONSTRUCTION PLANS SHALL BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL REVIEW THE SOILS REPORT PRIOR TO BIDDING.
3. THE CONTRACTOR SHALL READ AND ADHERE TO ALL RECOMMENDATIONS CONTAINED IN THE SOILS REPORT.
4. EXISTING TREES, PLANTS AND SHRUBS WHICH ARE MARKED OR DESIGNATED AS PART OF THE LANDSCAPING SHALL BE CAREFULLY PROTECTED DURING CONSTRUCTION. WHERE TREES, PLANTS OR SHRUBS ARE ADJACENT TO THE CONSTRUCTION CASE SHALL BE TAKEN TO PROTECT AND RESTORE THE ORIGINAL CONDITIONS OF THE VEGETATION.
5. DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE NEGATIVE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES, AS NECESSARY.
6. ALL SITE CLEARING AND GRUBBING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 110 OF FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
7. ALL EXCAVATION AND EMBANKMENT SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 120 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
8. ALL FILL AREAS GREATER THAN 12 INCHES IN HEIGHT SHALL BE COMPACTED IN 12 INCH LIFTS (MEASURE PRIOR TO COMPACTION) TO 95% MAXIMUM DENSITY PER A.A.S.H.T.O. 1-180.
9. ALL DISTURBED AREAS SHALL BE SEEDED AND MAINTAINED UNLESS OTHERWISE NOTED ON THESE PLANS. ALL GRASS SHALL BE MAINTAINED IN ACCORDANCE WITH SECTION 510 OF FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
10. ALL DESIGNATED AREAS TO BE SOODED PER THE PLANS SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 575 OF THE F.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
11. THE CONTRACTOR SHALL NOT COMPACT, STABILIZE, OR CONSTRUCT BASE COURSE WITHIN LANDSCAPE ISLANDS OR MEDANS.
12. FINISH FLOOR ELEVATIONS ARE TYPICALLY 6 INCHES ABOVE DESIGN FINISHED GRADE AT OUTSIDE PERIMETER OF BUILDINGS EXCEPT AT ENTRIES AND WHERE OTHERWISE SHOWN ON THE GRADING PLAN.
13. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CONTROL DUST, LAID AND EROSION DURING CONSTRUCTION AND SHALL PROTECT ALL ADJACENT PROPERTIES AND RIGHTS-OF-WAY FROM DAMAGE BY EROSION, SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED DUST.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXISTING SITE AND SOIL CONDITIONS AND DETERMINE IF ANY OFF-SITE MATERIALS WILL NEED TO BE IMPORTED TO ACHIEVE THE GRADES SPECIFIED ON THE PLANS.
15. ALL EXCESS FILL FROM THE SITE SHALL BE STOCKPILED BY THE CONTRACTOR, IN A LOCATION DETERMINED BY THE OWNER OR THE OWNER'S REPRESENTATIVE AND THE ENGINEER.
16. ALL AREAS INDICATED SHALL BE COMPLETELY CLEAR OF ALL TRUNKS, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBER, AND ALL OTHER DEBRIS AND OBSTRUCTIONS RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE GROUND.
17. PRIOR TO BID PREPARATION, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE OVERALL SITE CONDITIONS AND PERFORM ADDITIONAL INVESTIGATIONS AS DETERMINED NECESSARY TO UNDERSTAND THE LIMIT AND DEPTH OF EXISTING ORGANIC SILT PEAT AREAS, ADJACENT OF EXISTING MATERIALS AS FILL, DRAINAGE REQUIREMENTS, CLEAN FILL REQUIRED FROM OFF-SITE AND MATERIALS TO BE DISPOSED OF OFF-SITE, ALL OF WHICH WILL AFFECT PRICE. ANY DELAY, INCONVENIENCE OR EXPENSE CAUSED TO THE CONTRACTOR DUE TO INADEQUATE INVESTIGATION OF EXISTING CONDITIONS SHALL BE INCIDENTAL TO THE CONTRACT, AND NO EXTRA COMPENSATION WILL BE ALLOWED. THE MATERIALS AND METHODS TO BE EMPLOYED DURING CONSTRUCTION MAY REQUIRE DRIVING PILING TO USE AS BACKFILL, AND THE CONTRACTOR MAY HAVE TO IMPORT MATERIALS, AT NO EXTRA COST, FROM OFF-SITE TO MEET THE REQUIREMENTS FOR COMPACTION AND PROPER FILL.

SEC. C DRAINAGE:

- 1. ALL DRAINAGE RELATED CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH S.T. JOHNS RIVER WATER MANAGEMENT DISTRICT PERMIT ISSUED FOR THIS PROJECT.
2. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
3. THE ABOVE F.D.O.T. CONSTRUCTION DETAILS ARE HEREBY INCORPORATED INTO THESE PLANS BY REFERENCE.
4. PIPE LENGTHS SHOWN REPRESENT SCALED DIMENSIONS BETWEEN CENTER-LINES OF DRAINAGE STRUCTURES AND FROM END OF HEADWALLS TO INTERFERED END SECTIONS. BIDDERS SHALL ADJUST FOR PIPE LENGTHS WHEN BIDDING INTERFERED END SECTIONS.
5. ALL STORMWATER DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE (ASTM C-76, CLASS 16) UNLESS NOTED OTHERWISE.

SEC. D PAVING:

- 1. ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH F.D.O.T. CURRENT CONSTRUCTION SPECIFICATIONS.
2. ALL PAVING SURFACES IN INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION SHOWN BY THE FLOW ARROWS ON THE PLANS AND TO PROVIDE A SMOOTHLY TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. APPROACHES TO INTERSECTIONS AND ENTRANCES AND EXIT GRADES TO INTERSECTIONS SHALL BE AS ADJUSTED IN THE FIELD TO INSURE A SMOOTH AND UNIFORM SURFACE. THESE AREAS, IT MAY ALSO BECOME ADVANTAGE TO MAKE MINOR FIELD ADJUSTMENTS IN PAVEMENT GRADES TO ACCOMPLISH GRADE TRANSITIONS.
3. IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEMS OF TREES NEARBY TO BE SAVED. THE CONTRACTOR IS TO COORDINATE WITH THE ENGINEER PRIOR TO ANY ELEVATION CHANGES.
4. PRIOR TO CONSTRUCTING CONCRETE PAVEMENT, THE CONTRACTOR IS TO SUBMIT A PROPOSED JOINTING PATTERN TO THE ENGINEER FOR APPROVAL.
5. THE CONTRACTOR IS TO PROVIDE A 1/2" STITCHING EXPANSION JOINT MATERIAL AT ADJUTMENT OF CONCRETE AND ANY STRUCTURE.
6. ALL ON-SITE PAVEMENT MARKINGS SHALL BE MADE WITH NON-THERMOPLASTIC PAINT TO FOOT STANDARD SPECIFICATIONS. PARKING SHALL STRIPING TO BE 4" WIDE.
7. THE CONTRACTOR IS TO INSTALL EXTRA BASE MATERIAL WHEN THE DISTANCE BETWEEN THE PAVEMENT ELEVATION AND THE TOP OF THE PIPE OR BELL IS LESS THAN 10 INCHES. SEE "EXTRA BASE FOR CROSS CURVES" UNDER FLEXIBLE PAVEMENT DETAIL.
8. CURBING SHALL BE CONSTRUCTED WHERE NOTED ON THE CONSTRUCTION PLANS. CONCRETE FOR CURBS SHALL BE DEPARTMENT OF TRANSPORTATION CLASS "Y" CONCRETE WITH A 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI. ALL CURBS SHALL HAVE SAW CUT CONTRACTION JOINTS AND SHALL BE CONSTRUCTED AT INTERVALS NOT TO EXCEED 10'-0" ON CENTER. CONSTRUCTION OF CURBS SHALL BE IN CONFORMANCE WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 520 AND DETAILS PROVIDED ON THE CONSTRUCTION PLANS.
9. PAVEMENT MARKINGS AND SIGNAGE SHALL BE PROVIDED AS SHOWN ON THE CONSTRUCTION PLANS AND SHALL MEET THE REQUIREMENTS OF THE OWNER/OPERATOR. SIGNAGE SHALL BE IN CONFORMANCE WITH LATEST EDITION, 14. DAY PAVEMENT CURING TIME WILL BE PROVIDED PRIOR TO APPLICATION OF THE PAVEMENT MARKINGS. REFLECTIVE PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH FOOT INDEX NO. 17355.
10. A MINIMUM OF 2-WAY TRAFFIC SHALL BE MAINTAINED IN THE WORK SITE AREA. ALL CONSTRUCTION WARNING SIGNAGE SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND BE MAINTAINED THROUGHOUT CONSTRUCTION. ACCESS SHALL BE CONTINUOUSLY MAINTAINED FOR ALL PROPERTY OWNERS SURROUNDING THE WORK AREA. LIGHTED WARNING DEVICES ARE TO BE OPERATIONAL PRIOR TO DUSK EACH NIGHT DURING CONSTRUCTION.

SEC. E EROSION CONTROL:

- 1. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRUBBING, EXCAVATION, FILLING OR OTHER LAND DISTURBING ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES OR UNDERGROUND UTILITIES INSTALLATIONS.
2. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO INSURE AGAINST POLLUTION, SILLING OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING DRAINAGE SYSTEM AND ADJACENT WATER BODIES AND WETLANDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL PERMIT CONDITIONS RELATED TO SUCH MEASURES. METHODS MAY INCLUDE BUT ARE NOT LIMITED TO, FLOWING SILT BARRIERS, SEDIMENTATION BASINS, SEDIMENT CHECK DAMS, SILT FENCES, SYNTHETIC BALS. THE MEASURES SHOWN ON THESE PLANS SHALL BE CONSIDERED MINIMUM AND SHALL NOT DEBAR THE CONTRACTOR FROM THE RESPONSIBILITY TO IMPLEMENT ANY MEASURES NECESSARY TO PROVIDE PROTECTION, EROSION, SEDIMENTATION AND TURBIDITY.

SEC. G WORKS IN PUBLIC RIGHT-OF-WAY:

- 1. ALL LOCAL, STATE AND FEDERAL ORDINANCES, POLICES AND/OR OTHER REGULATIONS REGARDING TRAFFIC AND PEDESTRIAN TRAFFIC BARRIERS, LIGHTS, SIGNALS, SIGNAGE ETC. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SAFE AND CONVENIENT MEANS OF ACCESS AND EGRESS TO ALL PARTS OF THE PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR.
2. PRIOR TO COMMENCING WORK THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN ALL NECESSARY WARNING SIGNS AND MARKINGS FOR HAZARDOUS AND CONTROL OF TRAFFIC IN REASONABLE CONFORMITY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS OR AS DIRECTED BY F.D.O.T. AND LOCAL TRAFFIC ENGINEERS SUCH AS TO EFFECTIVELY PREVENT ACCIDENTS IN ALL PLACES WHERE THE WORK CAUSES OBSTRUCTIONS TO THE NORMAL TRAFFIC OR CONSTITUTES IN ANY WAY A HAZARD TO THE PUBLIC.
3. THE CONTRACTOR SHALL CONTROL HIS OPERATIONS AND THOSE OF HIS SUBCONTRACTORS AND ALL SUPPLIERS TO ASSURE THE LEAST INTERFERENCE TO THE TRAVELING PUBLIC. THE CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED MOVEMENT OF VEHICULAR TRAFFIC AND SHALL LIMIT HIS OPERATIONS FOR THE SAFETY AND CONVENIENCE OF THE TRAVELING PUBLIC. UNDER ALL CIRCUMSTANCES, SAFETY SHALL BE THE MOST IMPORTANT CONSIDERATION.
4. THE CONTRACTOR SHALL COMPLY WITH ALL LEGAL LOAD RESTRICTIONS IN THE HAULING OF MATERIALS IN PUBLIC ROADS BEYOND THE LIMITS OF THE WORK. A SPECIAL PERMIT WILL NOT RELIEVE THE CONTRACTOR OF LIABILITY FOR THE DAMAGE WHICH MAY RESULT FROM THE HAULING OF MATERIAL, AND EQUIPMENT.
5. ALL STRIPING SHALL BE THERMOPLASTIC AND SHALL MEET THE REQUIREMENTS OF FOOT STANDARD SPECIFICATIONS AND SUPPLEMENTS.
6. REFLECTIVE PAVEMENT MARKERS SHALL MEET THE REQUIREMENTS OF FOOT SPECIFICATIONS AND SUPPLEMENTS.
7. ALL SIGNS WITHIN FOOT RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF FOOT SPECIFICATIONS AND SUPPLEMENTS.
8. REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED IN ACCORDANCE WITH CURRENT FOOT STANDARDS.

- 3. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE F.D.O.T. MANUAL FOR EROSION CONTROL (LATEST ED.)
4. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND NEEDED REPAIRS OR MAINTENANCE SHALL BE COMPLETED BEFORE WORK STOPS FOR THE DAY.
5. TEMPORARY SEDIMENT TRAPS ARE ACCEPTABLE IF THE INLET IS PROPERLY SCREENED WITH SYNTHETIC BALS AND LOW ENOUGH IN ELEVATION FOR FLOW THROUGH TO ENTER THE STRUCTURE.
6. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONTINUOUSLY MAINTAINED BY THE CONTRACTOR DURING THE CONSTRUCTION PHASE OF THIS PROJECT UNTIL ACCEPTED BY THE OWNER.
7. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES COULD RESULT IN CONSTRUCTION BEING SUSPENDED BY THE ENGINEER.
8. SEDIMENT BARRIERS SHALL MEET D.O.T. STANDARDS.
9. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY THE SITE INSPECTION BY THE ENGINEER OF RECORD.
10. ALL SEDING FOR TEMPORARY STABILIZATION SHALL BE DONE AS EACH AREA IS MADE READY. CONSTRUCTION SEQUENCE TO MAINTAIN EROSION AND SEDIMENTATION AT STORM-WATER DISCHARGE POINTS:
A. CONTRACTOR TO INSTALL FOOT TYPE II SILT FENCES AT SITE DISCHARGE POINTS.
B. CONTRACTOR TO CONSTRUCT POND AND CONNECTING DRAINAGE AND OUTFALL PIPES AT INITIAL STAGES OF CONSTRUCTION.
C. ALL GRADING OPERATIONS SHALL BE PERFORMED WITHOUT DELAY, PAUSE OR SUSPENSION (CONTINUOUS OPERATION) UNTIL PROPOSED GRADES ARE MET. ALL EXPOSED EARTH SHALL BE SEEDED AND MAINTAINED OR SOODED SOON AFTER GRADING IS COMPLETED.
11. EROSION CONTROL PLAN - ANY MODIFICATIONS TO THIS PLAN MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REPRESENTING THE CONTRACTOR. THE MODIFICATIONS MUST BE APPROVED BY THE ENGINEER OF RECORD AND IF SIGNOFF, THE PERMITTING AGENCY. NO CONTRACT DELAYS WILL BE ALLOWED FOR SUCH MODIFICATIONS OR APPROVALS.
12. OUTFALL PROTECTION - PROJECT PIPE OR DITCH DISCHARGES INTO OFF-SITE OUTFALLS SHALL BE INSPECTED DAILY FOR POSSIBLE SEDIMENT BUILDUP OR EROSION. OUTFALLS SHALL BE PROTECTED THROUGH USE OF ENVIRONMENTAL CONTROL FEATURES AS NECESSARY TO CONTAIN ANY SEDIMENT ENTERING THE IMMEDIATE AREA OF THE PROJECT. ANY SEDIMENT BUILDUP OR TRANSPORT OFF-SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMEDY. THE CONTRACTOR SHALL USE APPROPRIATE MEASURES AS DIRECTED BY THE PROJECT ENGINEER FOR OUTFALL PROTECTION.
13. SLOPE PROTECTION - ANY DISTURBED OR ENERGED SLOPES 3:1 OR GREATER IN SLOPE SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF TEMPORARY SEEDING UNTIL PERMANENTLY STABILIZED. SUCH SLOPES SHALL NOT BE LEFT UNPROTECTED MORE THAN 24 HOURS OR PRIOR TO ANTICIPATED RAINFALL EVENTS.
14. SYNTHETIC SILT BALS - SHALL BE PLACED AT THE BASE OF ANY SLOPE WHERE A RAINFALL EVENT COULD OCCUR. SLOPE AND TRAFFIC SEDIMENTATION OFF SITE BALS SHALL BE DOUBLE STAKED IN ACCORDANCE WITH FOOT STANDARDS. IF EROSION DEPOSITS REACH THE NEAR THE TOP OF EXISTING BALS THEN SEDIMENTS SHOULD BE REMOVED. ANY DAMAGED OR DEFECTIVE BALS ARE TO BE REPLACED. THE EXACT LOCATION OF BALS INSTALLATIONS SHALL BE AS DIRECTED BY THE CONTRACTOR SUPERINTENDENT.
15. A. BACK OF SIDEWALK OR MEDIAN RILETS - THESE SHALL BE PROTECTED FROM SEDIMENT INTRUSION UNTIL PROJECT IS COMPLETE. A 2" DEPTH OF GROUND OUTSIDE INLET TOP SHALL NOT BE HIGHER THAN INLET TOP. SOCK PIPE SHALL BE INSTALLED AROUND INLET TOP. A SECOND ROW OF SOCK PIPE SHALL BE PLACED AROUND INLET APPROXIMATELY 4' OUTSIDE PERIMETER. BETWEEN ROWS THERE SHALL BE A DEPRESSION TO ACT AS A SEDIMENT BASIN. COMPLETED INLETS IN PAVED AREAS SHALL ALSO BE PROTECTED WITH A SINGLE LINE OF SOCK PIPE TO PREVENT SEDIMENT INTRUSION FROM OTHER AREAS.
B. CURB DRAINAGES - THESE INLETS SHALL BE PROTECTED FROM SEDIMENT INTRUSION UNTIL PROJECT IS COMPLETE. A SILT FENCE TYPE II SHALL BE PLACED AROUND THE END OF THE BACK RILET IMMEDIATELY ADJACENT TO THE EDGE OF THE INLET. ALL EXPOSED SLOPED MATERIAL ADJACENT TO THE INLET SHALL BE COVERED WITH EROSION CONTROL SOG TO MINIMIZE SEDIMENT ENTERING THE NEW INLET.
16. STOCKPILED MATERIALS SHALL NOT BE LEFT IN EROSION PRONE AREAS TO NEXT TO A KNOWN WETLAND.
17. DAILY INSPECTION OF ALL EROSION CONTROL MEASURES AND CONDITIONS OF ADJACENT PROPERTIES SHALL BE PERFORMED BY THE CONTRACTOR. ANY AREAS OF CONCERN SHALL BE NOTED AND CORRECTED. ANY SIGNIFICANT EROSION AREAS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD.

SEC. H SAFETY:

- 1. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED BY THE CONTRACTOR. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY CURRENT OSHA STANDARDS.
2. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF THE STATE OF FLORIDA MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS.
3. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

SEC. I DEMOLITION:

- 1. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND LICENSES FOR PERFORMING THE DEMOLITION WORK AND SHALL FURNISH A COPY OF SAME TO THE ENGINEER PRIOR TO THE START OF DEMOLITION WORK. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE PERMITS.
2. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OR LOCAL AUTHORITIES FURNISHING GAS, WATER, ELECTRICAL, TELEPHONE, OR UTILITY/SERVICE, SO THEY CAN REMOVE, RELOCATE, DISCONNECT, CAP OR PLUG THEIR EQUIPMENT IN ORDER TO PROTECT THE PUBLIC DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND OTHER IMPROVEMENTS SHOWN ON THESE PLANS AND ALL OTHER UTILITIES AND OTHER IMPROVEMENTS NOT SHOWN. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR REPAIRS OF UTILITIES AND OTHER IMPROVEMENTS. ANY CHANGES TO EXISTING UTILITIES SHALL HAVE WRITTEN SURVEY PROTECTION TO ALL UTILITIES REQUIRED TO PROTECT THEM FROM DAMAGE AND TO PROTECT THE PUBLIC DURING CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL TREES, STRUCTURES, AND UTILITIES NOT MARKED FOR REMOVAL OR DEMOLITION AND SHALL PROMPTLY REPAIR ANY DAMAGE AS DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER.
5. THE CONTRACTOR TO REMOVE ALL BUILDING STRUCTURES MARKED FOR DEMOLITION WHICH INCLUDES ALL FOOTERS ASSOCIATED WITH THE STRUCTURE, SEPTIC SYSTEMS AND WATER LINES TO THE WATER LOCATIONS, LATERALS TO THE RIGHT-OF-WAY LINE (CAP PRIOR TO BACKFILLING THE TRENCH) AND ALL UNDERGROUND ELECTRICAL WIRING NOT ASSOCIATED WITH THE APPROPRIATE POWER COMPANY.
6. THE CONTRACTOR SHALL REMOVE ALL PAVING MARKED FOR DEMOLITION WHICH INCLUDES ALL ASPHALT, CONCRETE, BASE, GRAVEL, BLOCK AND SIDEWALK.
7. THE CONTRACTOR SHALL REMOVE ALL TREES MARKED FOR REMOVAL WHICH INCLUDES THE ROOTS ASSOCIATED WITH THE TREE. THE TREES NOT MARKED FOR REMOVAL SHALL BE PROTECTED IN ACCORDANCE WITH THE TREE PROTECTION DETAILS.
8. THE CONTRACTOR IS TO REMOVE ALL UNSALVAGEABLE MATERIALS AND WASTE FROM THE SITE IMMEDIATELY AND DISPOSE OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
9. THE CONTRACTOR SHALL SAW-CUT A SMOOTH STRAIGHT EDGE ON ANY PAVEMENT PROPOSED FOR DEMOLITION PRIOR TO ITS REMOVAL TO DISURE THAT THE EDGE OF THE INTERFACE BETWEEN OLD AND NEW PAVEMENT IS STRAIGHT, UNIFORM AND EVEN IN ELEVATION.

SEC. J UNDERGROUND UTILITIES:

- 1. THE ENGINEER RESERVES THE RIGHT TO REQUIRE THE CONTRACTOR TO UNCOVER, RESET AND/OR REPAIR ANY ACTION NECESSARY TO ENSURE THAT THE IMPROVEMENTS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL COORDINATE ALL BACKFILL OPERATIONS WITH THE PROJECT SOILS ENGINEER AND SUBMIT TEST REPORTS TO ENGINEER PRIOR TO BEGINNING WORK ON THE NEXT ITEM OF WORK, I.E. SUBGRADE PRIOR TO CURB.
3. THE CONTRACTOR SHALL RECOGNIZE AND ADOBE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (80-88, LAWS OF FLORIDA), AND THE CONSTRUCTION METHODS AND SAFETY STANDARDS TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.
4. FLORIDA LAW (833.81) REQUIRES THAT PERSONS MAKING EXCAVATIONS IN PUBLIC OR PRIVATE STREETS, ALLEYS, RIGHT-OF-WAY OR UTILITY EASEMENTS WITH HAND TOOLS OR POWER EQUIPMENT MUST FIRST OBTAIN INFORMATION ON THE LOCATION OF UNDERGROUND GAS PIPE LINES. THE CONTRACTOR SHALL NOTIFY THE GAS UTILITY A MINIMUM OF 48 HOUR AND A MAXIMUM OF 5 DAYS PRIOR TO EXCAVATION.
5. ALL WORK SHALL BE OPEN TO AND SUBJECT TO INSPECTION.
6. THE CONTRACTOR SHALL COORDINATE THE INSTALLATIONS OF UTILITY CONDUITS AND STRUCTURES UNDER PAVED AREAS WITH EACH UTILITY COMPANY PRIOR TO BASE INSTALLATION.
7. ALL Dewatering COSTS ASSOCIATED WITH THE INSTALLATION AND CONSTRUCTION OF THE UNDERGROUND UTILITIES, STORMWATER PIPES AND MANHOLES, SANITARY SEWER MAINS, FORCE MAINS, MANHOLES, AND LIFT STANARDS, AND STORMWATER MANAGEMENT SYSTEMS SHALL BE INCLUDED AS PART OF THE CONSTRUCTION BID COSTS.

SEC. J SANITARY SEWER SYSTEM:

- 1. ALL SEWER COLLECTION SYSTEM RELATED ITEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL UTILITIES PROVIDER REQUIREMENTS, FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION, AND HEALTH DEPT. REQUIREMENTS.
2. IF UNSUITABLE MATERIAL IN THE VICINITY OF SANITARY SEWER LINES ARE FOUND DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHO SHALL INSTRUCT THE CONTRACTOR TO REMOVE THE UNSUITABLE MATERIAL AND PREPARE THE TRENCH AND INSTALL THE SEWER LINES IN ACCORDANCE WITH ASTM D-2321.
3. ALL SANITARY SEWER MAINS AND LATERALS WITH IN THE R.O.W. SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
4. PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW WORK TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING CONNECTION POINT AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
5. ALL SANITARY SEWER COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADING.
6. THE CONTRACTOR SHALL PROVIDE CERTIFIED UTILITY RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. THE RECORD DRAWINGS SHALL SHOW FINAL GRADES AND LOCATIONS ON ALL SANITARY SEWER MAINS AND SERVICES. THE CONTRACTOR SHALL PROVIDE ONE (1) COPY OF THE CERTIFIED RECORD DRAWINGS TO THE ENGINEER.
7. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL SANITARY SEWER IN OPERATIONS AND SUPPLEMENTS. SAID TESTS ARE TO BE CERTIFIED BY THE TESTING COMPANY. COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
8. ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.

SEC. K WATER DISTRIBUTION:

- 1. ALL WATER DISTRIBUTION SYSTEM RELATED ITEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL UTILITIES PROVIDER REQUIREMENTS, FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION, AND HEALTH DEPT. REQUIREMENTS.
2. ALL MATERIALS FURNISHED BY THE CONTRACTOR UNDER THIS SECTION SHALL BE NEW, HIGH GRADE AND FREE FROM DEFECTS.
3. PRESSURE AND LEAKAGE TESTS FOR NEWLY-INSTALLED WATER DISTRIBUTION SYSTEM PRESSURE PIPES AND APPURTENANCES SHALL BE PERFORMED IN CONFORMANCE WITH F.D.O.T. AND LOCAL UTILITIES PROVIDER.
4. ALL WATER LINES SHALL BE INSTALLED IN A DRY TRENCH.
5. PRESSURE AND LEAKAGE TESTS FOR NEWLY-INSTALLED WATER DISTRIBUTION SYSTEM PRESSURE PIPES AND APPURTENANCES SHALL BE PERFORMED IN CONFORMANCE WITH CITY, COUNTY AND FOOT STANDARDS. POTABLE WATER TEST PRESSURES SHALL BE 150 PSI. DURATION OF TESTS IS TO BE 2 HOURS. TESTS TO BE CONDUCTED PURSUANT TO AWWA C605 DUCTILE IRON PIPE AND 90% OF THAT ALLOWABLE LEAKAGE FOR PVC PIPE.
6. DISINFECT POTABLE WATER MAINS IN ACCORDANCE WITH AWWA C651 STANDARD PROCEDURES FOR DISINFECTING WATER MAINS.
7. ALL PVC PIPE MUST BEAR THE NSF LOGO FOR POTABLE WATER USE.
8. PRIOR TO THE CONNECTION TO ANY EXISTING MAIN, THE PROPOSED WATER MAIN SHALL BE DISINFECTED, HAVE ENGINEER APPROVED PRESSURE TESTING AND HAVE DEEP CLEARANCE. REFER TO FDEP PERMIT FOR ANY ADDITIONAL REQUIREMENTS.
9. THE WATERMANS SHALL BE INSTALLED AS NOTED ON THE PLANS. WHERE APPLICABLE, A SEPARATION BETWEEN WATERMANS, SEWER, RE-USE OR STORM PIPES SHALL MEET OR EXCEED THE REQUIREMENTS OF F.D.P.E.

LEGEND

- PROPERTY LINE
LOT LINE
PROPOSED BUILDING
SETBACK LINE
WATER SURFACE
PROPOSED EDGE OF PAVEMENT (EOP)
PROPOSED 6"X18" CONC. CURB
PROPOSED TYPE F CURB
PROPOSED 24" WARM CURB
PROPOSED ASPHALT PAVEMENT
PROPOSED CONCRETE PAVING
PROPOSED GRAVEL/SHELL PAVEMENT
PROPOSED HAVERCAPPED SPACE
SANITARY MANHOLE
SANITARY SEWER MAIN
SANITARY SEWER FORCEMAIN
POTABLE WATER MAIN
SINGLE WATER SERVICE
DOUBLE WATER SERVICE
GATE VALVE
FREE W/STANT
FLUG VALVE
CHECK VALVE
DOUBLE DETECTOR CHECK VALVE
REDUCED PRESSURE DOUBLE CHECK VALVE
POST INDICATOR VALVE
FLUSH VALVE ASSSEMBLY
FLUG VALVE
STORM RAINOFF PIPE
STORM DRAINAGE PIPE
TEMPORARY SILT FENCE
PROPOSED FINISHED GRADE
PROPOSED FOOT TYPE C INLET
PROPOSED FOOT TYPE D INLET
CURB INLET TYPE P-1
CURB INLET TYPE P-2
CURB INLET TYPE P-3

NOTE: ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF AMERICAN CIVIL ENGINEERING CO., INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SHALL BE RETURNED TO THE ENGINEER UPON COMPLETION OF THE PROJECT.

ENGINEER: JOHN HERBERT, P.E.
CHECKED BY: TOM SHELTON, P.E.
DATE: 2/20/22
CURRENT
2/20/22

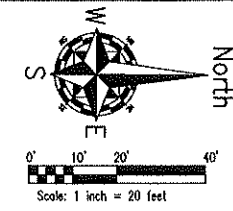
AMERICAN CIVIL ENGINEERING CO.
207 N. MOSS RD., SUITE 211, WINTER SPRINGS, FLA 32789
TEL (407) 327-7700 FAX (407) 327-0227
cert. of authorization number 0725
Established 1980

GENERAL NOTES
W. Apopka MEDICAL OFFICES Commercial Development
APOPKA, FLORIDA

Digitally signed by John J Herbert
Date: 2024.03.22
11:27:11 -04'00'

project no. 22025
sheet number
8 of 19

LOT 1  
 BUILDING B  
 SELF-STORAGE  
 HYBRID CLIMATE CONTROL  
 47,500 SF  
 FIN. FLOOR 131.43



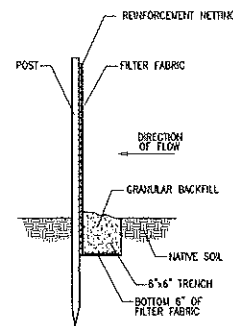
**995 LF SILT FENCE**

**995 LF SILT FENCE**

**AREA OF WORK**

**995 LF SILT FENCE**

**995 LF SILT FENCE**



**SILT BARRIER DETAIL**  
 NOT TO SCALE

Digitally signed  
 by John J  
 Herbert  
 Date: 2024.03.22  
 11:28:16 -04'00'

NOTE: ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF AMERICAN CIVIL ENGINEERING CO. ALL RIGHTS RESERVED. COPY RIGHT 2024.	ENGINEER: JOHN HERBERT, P.E.
CHECKED BY: TOM SPALON, P.E.	TECHNICIAN: J.M.H.
DATE: 9.12.23	CURRENT
DATE: 4.08.22	CURRENT
DATE: 2.08.22	CURRENT
DATE:	REVISIONS

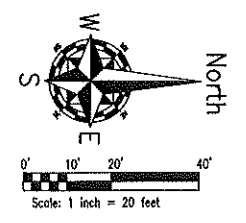
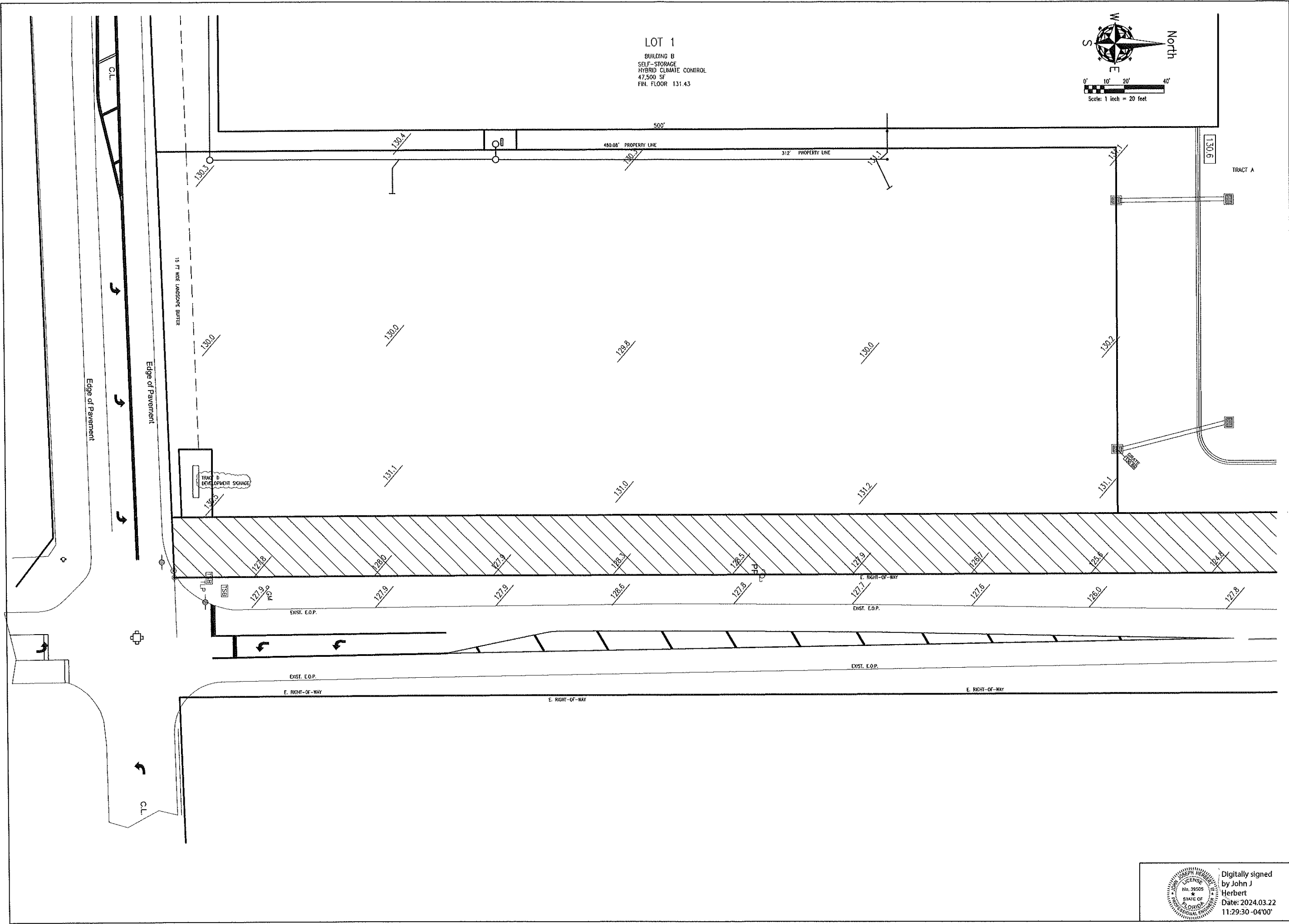
**AMERICAN CIVIL ENGINEERING CO.**  
 207 N. MOSS RD., SUITE 211, WINTER SPRINGS, FLA. 32708  
 PH. (407) 327-7700; FAX. (407) 327-0227  
 Established 1999

**W. Apopka MEDICAL OFFICES**  
**Commercial Development**  
 APOPKA, FLORIDA

PHASE 2 EROSION CONTROL PLAN

EROSION CONTROL PLAN  
 project no. 22025  
 sheet number  
 9 of 19





LOT 1  
 BUILDING B  
 SELF-STORAGE  
 HYBRID CLIMATE CONTROL  
 47,500 SF  
 FIN. FLOOR 131.43

NOTE: ALL INFORMATION CONTAINED  
 HEREIN IS PROPERTY OF AMERICAN  
 CIVIL ENGINEERING CO. ALL RIGHTS  
 RESERVED. COPY RIGHT 2024.  
 ENGINEER: JOHN HERBERT, P.E.  
 CHECKED BY: TOM SUTTON, P.E.  
 TECHNICIAN: J.W.H.

DATE	DESCRIPTION
4.08.22	CURRENT
2.08.22	CURRENT

**AMERICAN CIVIL  
 ENGINEERING CO.**

207 N. MOSS RD., SUITE 211, WINTER SPRINGS, FLA. 32708  
 PH (407) 327-7700; FAX (407) 327-0227  
 cert. of authorization  
 number 0125

Established 1989

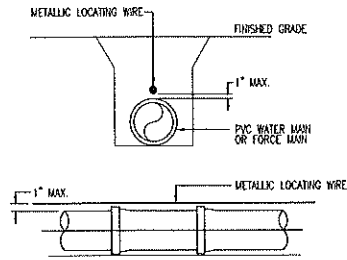
PHASE 2 EXISTING SITE CONDITIONS

**W. Apopka MEDICAL OFFICES**  
**Commercial Development**

APOPKA, FLORIDA

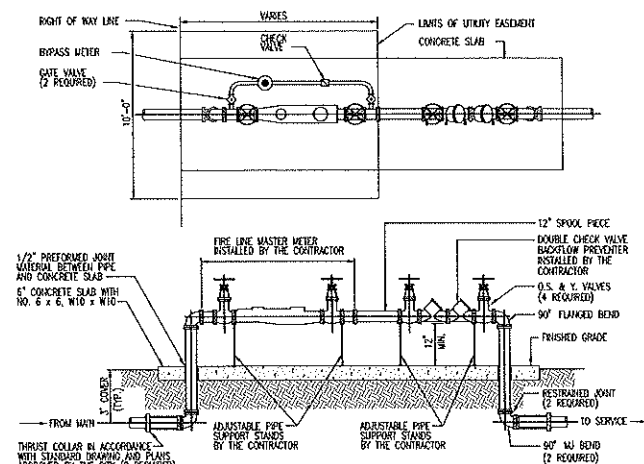
Digitally signed  
 by John J  
 Herbert  
 Date: 2024.03.22  
 11:29:30 -04'00'

EXIST. SITE CONDITION
project no. 22025
sheet number
11 of 19



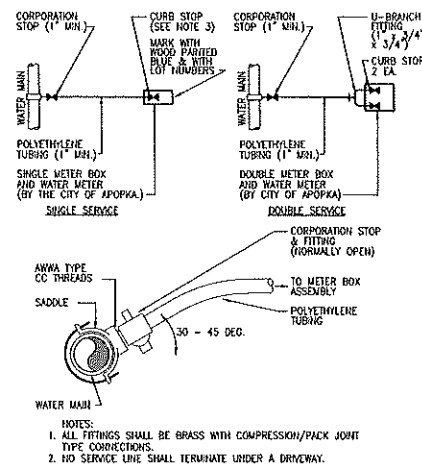
- NOTES:
1. PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (14 GAUGE COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE BURIED DIRECTLY ABOVE THE CENTERLINE OF THE PIPE. LOCATING WIRE SHALL TERMINATE AT THE TOP OF EACH VALVE BOX AND BE CAPABLE OF EXTENDING 12" ABOVE TOP OF BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION. USE DUCT TAPE AS NECESSARY TO HOLD WIRE DIRECTLY ON THE TOP OF THE PIPE.

PVC PIPE LOCATING WIRE DETAIL (PG. 106)



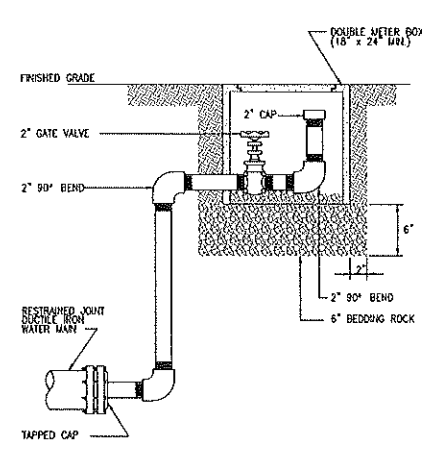
- NOTES:
1. ALL ABOVE GROUND PIPE SHALL BE FLANGED DUCTILE IRON.
  2. FIRELINE METER MUST MEET AWWA STANDARD C700.
  3. BYPASS WATER MUST MEET AWWA STANDARD C700 OR C701.
  4. BOTH METERS MUST MEET AWWA STANDARD C700 AND TRANSMITTER MUST BE COMPATIBLE WITH SENSUS TECHNOLOGIES SOFTWARE.

FIRE LINE MASTER METER ASSEMBLY (PG. 103)



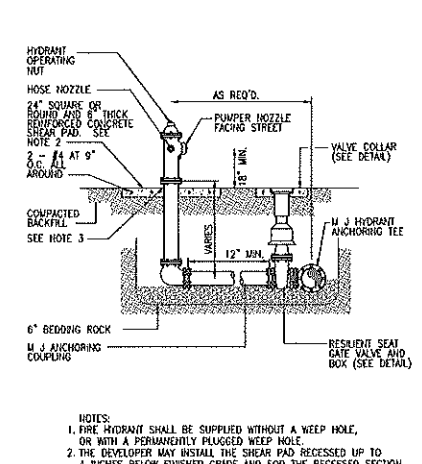
- NOTES:
1. ALL FITTINGS SHALL BE BRASS WITH COMPRESSION/PACK JOINT TYPE CONNECTIONS.
  2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
  3. EACH SERVICE SHALL TERMINATE AT A CURB STOP(S) WHICH SHALL BE BURIED APPROXIMATELY 3" BELOW FINAL GRADE AND SHALL BE CLEARLY MARKED WITH A 2" X 2" X 18" STAKE WITH THE TOP PAINTED BLUE AND MARKED WITH THE NUMBER OF THE LOT(S) TO BE SERVED.

WATER SERVICE CONNECTION DETAILS (PG. 105)



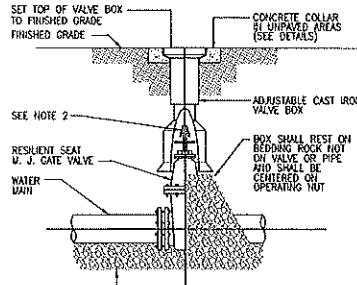
- NOTES:
1. ALL 2" PIPE AND FITTINGS SHALL BE SCHEDULE 40 GALVANIZED STEEL OR BRASS WITH THREADED (HPI) JOINTS.

BLOWOFF VALVE DETAIL (PG. 103)



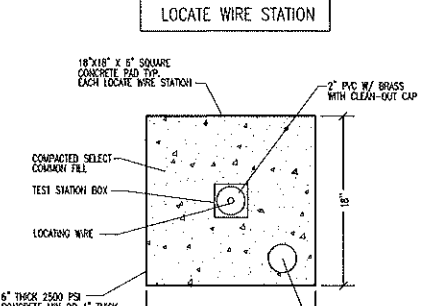
- NOTES:
1. FIRE HYDRANT SHALL BE SUPPLIED WITHOUT A WEEP HOLE, OR WITH A PERMANENTLY PLUGGED WEEP HOLE.
  2. THE DEVELOPER MAY INSTALL THE SHEAR PAD RECESSED UP TO 4 INCHES BELOW FINISHED GRADE AND 500 THE RECESSED SECTION.
  3. CLEARANCE BETWEEN BOTTOM OF BOLTS AND TOP OF SHEAR PAD SHALL BE A 6" MINIMUM.

FIRE HYDRANT ASSEMBLY DETAIL (PG. 103)



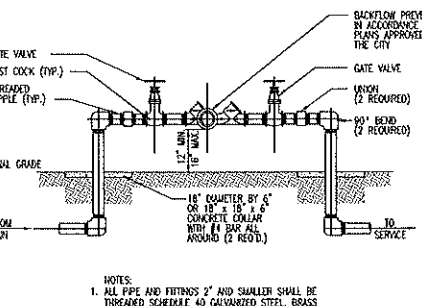
- NOTES:
1. PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
  2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.
  3. APPLY TWO COATS OF EXTERIOR EMULSION PAINT TO VALVE COVER.

GATE VALVE, COVER AND BOX DETAIL (PG. 103)



- NOTES:
1. IDENTIFICATION DISC SHALL BE PROVIDED BY CITY OF APOPKA.
  2. LABEL TYPE AS WATER, SEWER OR RECLAIMED WATER.
  3. 10 GAUGE SOLID COPPER DESIGNED FOR DIRECT BURIAL.
  4. LOCATE WIRE SHALL EXTEND 12" ABOVE TOP OF COLLAR.

LOCATE WIRE STATION (PG. 103)



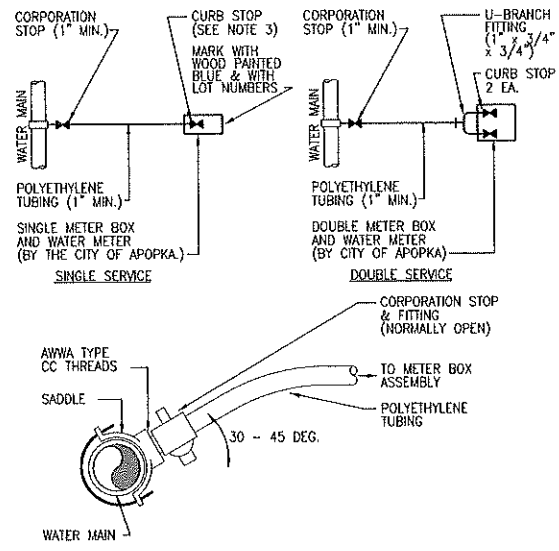
- NOTES:
1. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 40 GALVANIZED STEEL, BRASS OR SCHEDULE 80 PVC.

REDUCED PRESSURE BACKFLOW PREVENTER (PG. 103)

MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S) \*

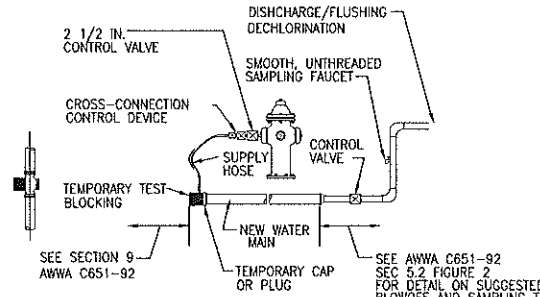
FITTING	PIPE SIZE								
	6"	8"	10"	12"	16"	18"	20"	24"	30"
90° BEND	36	36	36	54	54	72	72	90	
45° BEND	18	18	18	18	36	36	36	36	
22-1/2° BEND	18	18	18	18	18	18	18	18	
11-1/4° BEND	18	18	18	18	18	18	18	18	
PLUG OR BRANCH OF TEE	18	36	36	54	90	108	108	144	

- NOTES:
1. FITTINGS SHALL BE RESTRAINED UNLESS OTHERWISE INDICATED.
  2. INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN SHOWN IN THE TABLE.
  3. WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
  4. IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
  5. LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DEPA, WITH THE FOLLOWING ASSUMPTIONS:  
 WORKING PRESSURE: 150 P.S.I.  
 SOIL DESIGNATION: SAND / SLT  
 LAYING CONDITIONS: TYPE "A" BEDDING
  6. FOR PIPE ENCASED IN POLYETHYLENE, USE VALUES GIVEN IN PARENTHESES OR INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.  
 \* TO BE COMPLETED BY THE ENGINEER.
- RECLAIMED AND POTABLE WATER MAIN RESTRAINED PIPE TABLE (PG. 106)



- NOTES:
1. ALL FITTINGS SHALL BE BRASS WITH COMPRESSION/PACK JOINT TYPE CONNECTIONS.
  2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
  3. EACH SERVICE SHALL TERMINATE AT A CURB STOP(S) WHICH SHALL BE BURIED APPROXIMATELY 3" BELOW FINAL GRADE AND SHALL BE CLEARLY MARKED WITH A 2" X 2" X 18" STAKE WITH THE TOP PAINTED BLUE AND MARKED WITH THE NUMBER OF THE LOT(S) TO BE SERVED.

WATER SERVICE CONNECTION DETAILS (PG. 105)



- SEE SECTION 9 AWWA C651-92

TEMPORARY JUMPER CONNECTION (PG. 105)

\* CLEAN POTABLE-WATER HOSE ONLY. SIZE AND NUMBER OF TAPS PER AWWA C-651-92 SECTION 5.2.2 TABLE 3. THIS HOSE MUST BE REMOVED DURING THE HYDROSTATIC PRESSURE TEST.  
 NOTE: FIGURE APPLIES TO PIPE WITH DIAMETERS 4 IN.(100mm) THROUGH 12 IN.(300mm). ALL LARGER SIZES MUST BE HANDLED ON A CASE-BY-CASE BASIS.

NOTE: ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF AMERICAN CIVIL ENGINEERING CO. ALL RIGHTS RESERVED. COPY RIGHT 2022.  
 ENGINEER: JOHN HERBERT, P.E.  
 CHECKED BY: TIM SEIBERT, P.E.  
 TRACER/CAD: J.M.H.

4.08.22 CURRENT  
 2.08.22 CURRENT  
 DATE

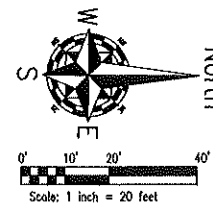
AMERICAN CIVIL ENGINEERING CO.  
 207 N. WISS RD., SUITE 211, WINTER SPRINGS, FLA 32708  
 TEL (407) 327-7700, FAX (407) 327-0627  
 est. of professional number 87723  
 Established 1980

UTILITY CONSTRUCTION DETAILS  
**W. Apopka MEDICAL OFFICES**  
**Commercial Development**  
 APOPKA, FLORIDA

Digitally signed by John J Herbert  
 Date: 2024.03.22 11:30:06 -04'00'  
 UTILITY DETAILS  
 project no. 22025  
 sheet number  
 12 of 19

**LOT 1 - PHASE 1**

BUILDING B  
SELF-STORAGE  
HYBRID CLIMATE CONTROL



YOTHERS ROAD

R1-1 (30'x30')  
FACING NORTH



R3-SR (30'x30')  
FACING NORTH

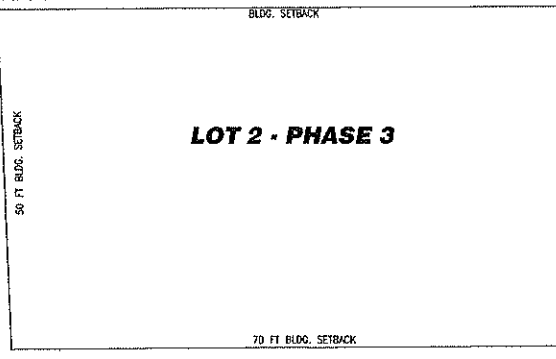
3 FT TO BACK OF CURB AND BACK OF SIDEWALK

R5-1 (30'x30')  
FACING SOUTH



R5-1 (30'x30')  
FACING SOUTH

3 FT TO BACK OF CURB AND BACK OF SIDEWALK



**LOT 2 - PHASE 3**

LOT 1

LOT 2

**LOT 2 - PHASE 2  
PROPOSED MEDICAL OFFICES**

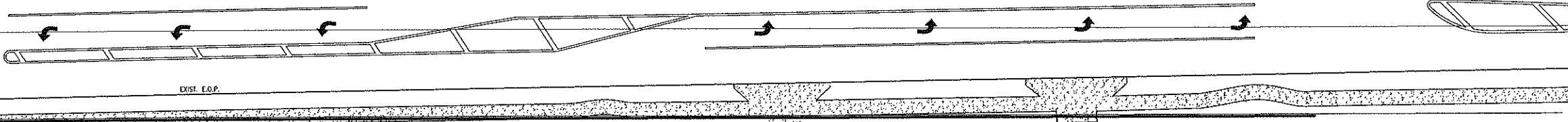
1.007 AC (62,584 SF)  
11,997 SF BUILDING  
1/200 SF COMM. USE  
55 REQUIRED SPACES  
61 PROVIDED SPACES  
FIN. FLOOR 131.35  
FAR 0.25 = 15,146 SF  
FLOOR AREA 11,997 SF

**DRY  
RETENTION  
AREA**

LOT 1

TRACT B

TRACT C  
LANDSCAPE BUFFER &  
UTILITY FACILITY



PLYMOUTH-SORRENTO ROAD  
APOPKA FIRE TRUCK TURNING INFORMATION  
CRITICAL TURNING MOVEMENTS

**CONSTRUCTION  
REVISION**

Digitally signed  
by John J  
Herbert  
Date:  
2024.03.22  
11:30:49 -04'00'

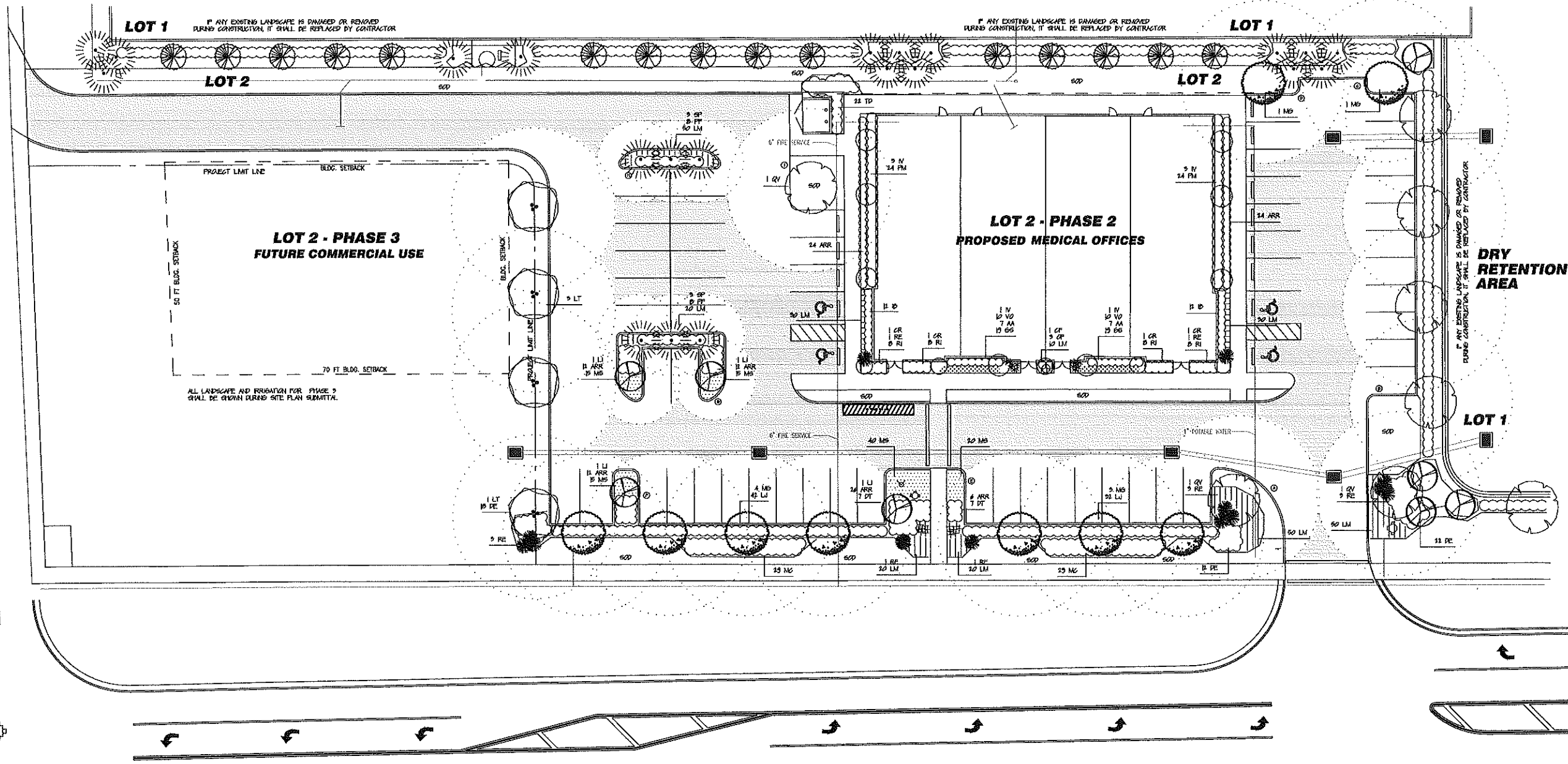
NOTE: ALL INFORMATION CONTAINED  
HEREIN IS PROPERTY OF AMERICAN  
CIVIL ENGINEERING CO. ALL RIGHTS  
RESERVED. COPY RIGHT 2023.  
ENGINEER: JOHN HERBERT, P.E.  
CHECKED BY: TOM SKEGON, P.E.  
TECHNICIAN: J.M.H.

DATE	REVISIONS
01.28.24	CURRENT
10.12.23	THIRD REVISION
6.19.23	SECOND REVISION
4.12.23	FIRST REVIEW
1.14.23	FIRST REVIEW

**AMERICAN CIVIL  
ENGINEERING CO.**  
207 N. MOSS RD., SUITE 211, WINTER SPRINGS, FLA. 32708  
TEL (407) 327-7762; FAX (407) 327-0227  
Established 1980

APOPKA FIRE TRUCK TURNING INFORMATION  
**W. Apopka MEDICAL OFFICES**  
**Commercial Development**  
APOPKA, FLORIDA

FIRETRUCK  
project no. 22025  
sheet number  
13 of 19



**LANDSCAPE MATERIAL LIST**

4	LT	LIQUIDAMBAR FLORIDANA	TULIP TREE
5	MG	MANGLIA GRANDIFLORA	SOUTHERN MAGNOLIA
6	QV	QUERCUS VERNA	LINE OAK
7	CR	CALLISTEMON RIGIDUS	BOTTLEBRUSH TREE
8	N	LEX VENTRATA	WEeping HOLLY
9	LI	LIGUSTRUM LANCEOLATUM	GRAPE MYRTLE
10	SP	SANTALUM ALBUM	FLORIDA PALM
11	AR	AZALEA RED-RUFFLE	DIWIDE AZALEA
12	DE	DIWIDE AZALEA	GOLDEN DEWARDF
13	BU	BURFORD HOLLY	BURFORD HOLLY
14	LI	LIGUSTRUM LANCEOLATUM	FRAXINUS
15	MG	MULLENBERGIA CAPILLARIS	MULLENBERGIA
16	PT	PROSTRA PINEAPPLE	TEA OLIVE
17	FM	FLOERBACHIA MACROPHYLLUM	FLORIDA YEW
18	RE	RAPHIS EXCELSA	LADY PALM
19	RU	RUMEX CRISPUS	RUMEX CRISPUS
20	TD	TRIFOLIUM DACTYLOIDES	FRAXINUS
21	VO	VERBENA GRACILIS	WALTERS VERBENA
22	AA	ANEMONE FRANGENS	BLUE HOLE RIB
23	DT	DANIELA TAGARCA	FLAX LILY
24	SS	SANTALUM ALBUM	BURNING BUSH
25	LM	LIRIODENDRON	BORDER GRASS
26	MS	MIMOSA STROBILLOSA	SUNSHINE MIMOSA

45	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
46	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
47	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
48	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
49	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
50	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
51	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
52	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
53	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
54	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
55	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
56	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
57	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
58	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
59	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
60	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
61	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
62	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
63	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
64	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
65	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
66	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
67	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
68	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
69	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
70	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
71	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
72	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
73	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
74	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
75	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
76	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
77	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
78	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
79	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
80	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
81	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
82	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
83	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
84	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
85	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
86	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
87	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
88	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
89	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
90	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
91	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
92	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
93	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
94	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
95	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
96	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
97	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
98	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
99	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY
100	GA	5" DIA. 10' TALL, SINGLE LEADER, 5' CT, FULL CANOPY

**PRELIM SITE DATA**

TOTAL LOT 2 AREA	= 39,371 SF (91 AC)
LESS PHASE 2 (FUTURE)	= 4,571 SF (105 AC)
TOTAL PHASE 2 AREA	= 4,571 SF (105 AC)
OPEN SPACE REQUIRED	= 18,071 SF (415 AC)
OPEN SPACE PROVIDED	= 18,071 SF (415 AC)

**TREE REPLACEMENT**

\*THERE ARE NO EXISTING TREES TO BE REMOVED FROM THE PROJECT SITE DURING THIS PHASE

**MINIMUM TREE REQUIREMENTS**

TOTAL PROJECT AREA	= 48,942 SF
CANOPY TREES REQUIRED	= 85 @ 10' / 8500 SF
CANOPY TREES PROVIDED	= 85

**FOUNDATION PLANTINGS**

PUBLIC BUILDING FRONTAGE	= 110 LF
ORNAMENTAL TREES REQUIRED	= 64 @ 10' / 640 LF
ORNAMENTAL TREES PROVIDED	= 7 @ 10' / 70 LF

**OFF-STREET VEHICULAR PARKING AREA PLANTINGS**

VA FRONTSIDE	= 208 LF (195 - 20)
CANOPY TREES REQUIRED	= 87 @ 10' / 870 LF
CANOPY TREES PROVIDED	= 87 @ 10' / 870 LF
GRASSES REQUIRED	= 87 @ 10' / 870 LF
GRASSES PROVIDED	= 87 @ 10' / 870 LF

**LANDSCAPE ISLANDS**

TOTAL VA FRONTSIDE	= 208 LF
LANDSCAPE ISLANDS REQUIRED	= 2,560 SF (128)
LANDSCAPE ISLANDS PROVIDED	= 2,560 SF (128)
MATURE CANOPY COVERAGE REQUIRED	= 3,200 SF (128)
MATURE CANOPY COVERAGE PROVIDED	= 3,200 SF (128)

**% OF PARKING SPACES ARE WITHIN 50' OF A CANOPY OVER TREE**

A	= 475 SF
B	= 400 SF
C	= 300 SF
D	= 200 SF
E	= 575 SF
F	= 100 SF
G	= 475 SF
H	= 200 SF
I	= 400 SF



ENVIRONMENTAL DESIGN  
ANDY KESSELRING ARCHITECT  
200 SE 8th STREET  
OCALA, FLORIDA 34478  
(352) 622-8888  
LANDSCAPE ARCHITECTURE, SITE PLANNING  
GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN

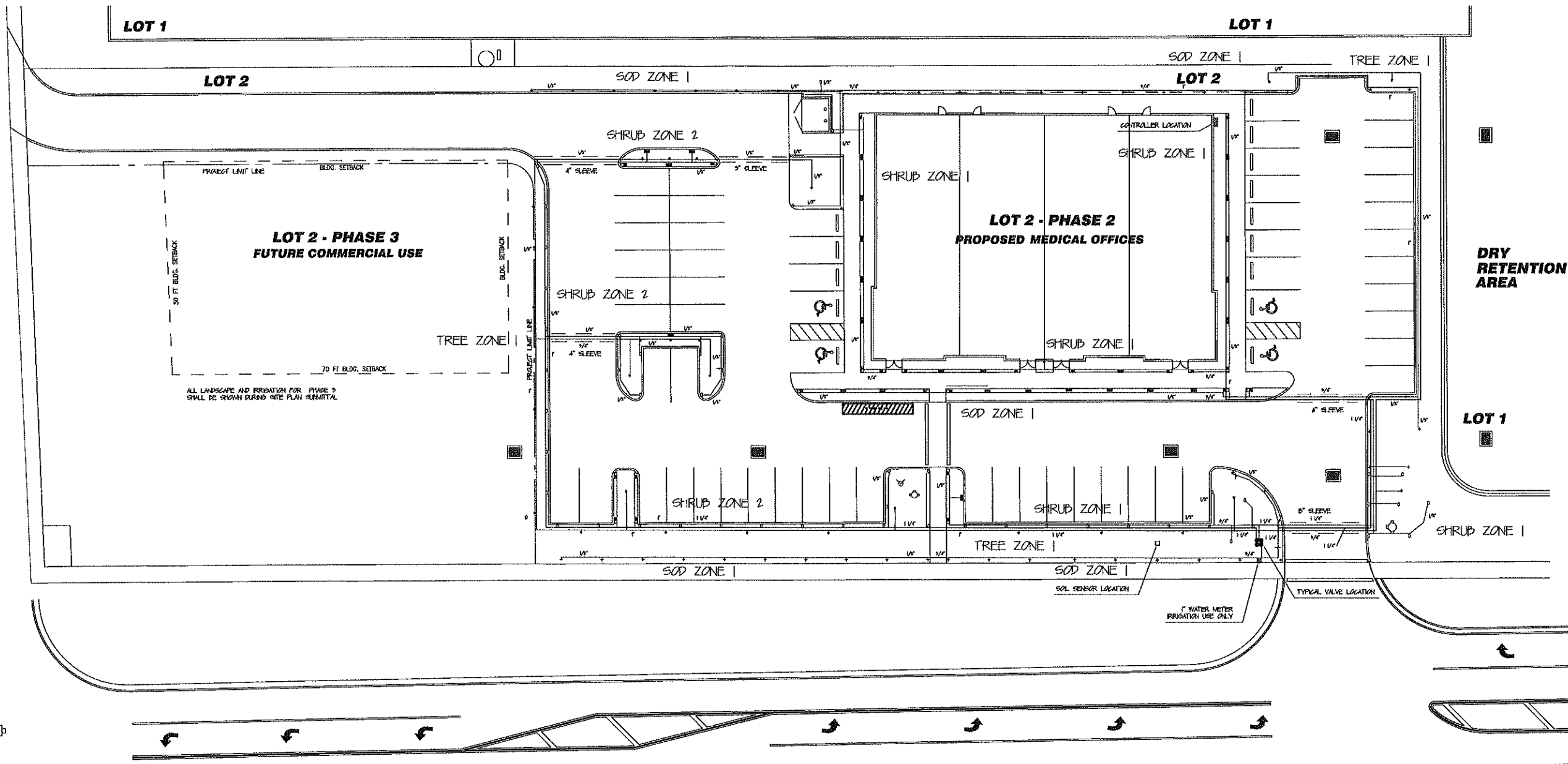
**EDK**

LANDSCAPE PLAN  
WEST APOPKA STORAGE - PHASE 2  
CITY OF APOPKA FLORIDA

DATE: 2 / 24  
DRAWING NO.:  
SHEET NAME:  
SCALE: 1" = 20'  
JOB NO.:  
PC:  
FR:  
BY:

RICHARD A KESSELRING JR., PLA, ASLA  
LANDSCAPE ARCHITECT, STATE OF FLORIDA #858

SHEET 1001 of 1001



**LOT 2 - PHASE 3  
FUTURE COMMERCIAL USE**

PROJECT LIMIT LINE  
BLDG. SETBACK  
50 FT BLDG. SETBACK  
70 FT BLDG. SETBACK  
TREE ZONE

ALL LANDSCAPE AND IRRIGATION FOR PHASE 3  
SHALL BE SHOWN DURING SITE PLAN SUBMITTAL

**IRRIGATION LEGEND**

- HUNTER MP 1000 SERIES POP-UP SPRAY HEADS
- ◻ HUNTER MP 1000 SERIES POP-UP SIDE-SPRAY HEADS
- ⊕ HUNTER MP 1000 SERIES POP-UP SPRAY HEADS FOR SOD
- ⊕ HUNTER P60 SERIES BUBBLER HEADS FOR TREES
- SOIL SENSOR LOCATION
- ⊕ 1" WATER METER - IRRIGATION USE ONLY
- ⊕ HUNTER X-CORE (4 STATION) CONTROLLER
- 2" NELSON VALVES IN WATER-RESISTANT BOXES
- SLEEVES - SOL AD PVC

**IRRIGATION ZONE DATA**

- TREE ZONE 1 = 140 GPM
  - SHRUB ZONE 1 = 151 GPM
  - SHRUB ZONE 2 = 140 GPM
  - SOD ZONE 1 = 151 GPM
- 813 GPM x 15 = 12195 GPD  
 2 = 140 GPM / 1 = 274 GPD
- GPM = GALLONS PER MINUTE  
 GPD = GALLONS PER DAY  
 GPDW = GALLONS PER WEEK  
 GPD = GALLONS PER DAY

SCALE 1" = 20'

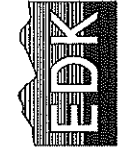


NO.	DATE	DESCRIPTION	BY

DATE	2 / 24
DRAWING NO.	
REV. NAME	
SCALE	1" = 20'
JOB NO.	
FB	
PC	

ENVIRONMENTAL DESIGN  
 ANDY KESSELRING, LANDSCAPE ARCHITECT  
 6240 W. BIRCH ST. SUITE 100  
 Ocala, FLORIDA 34478  
 (352) 822-8899

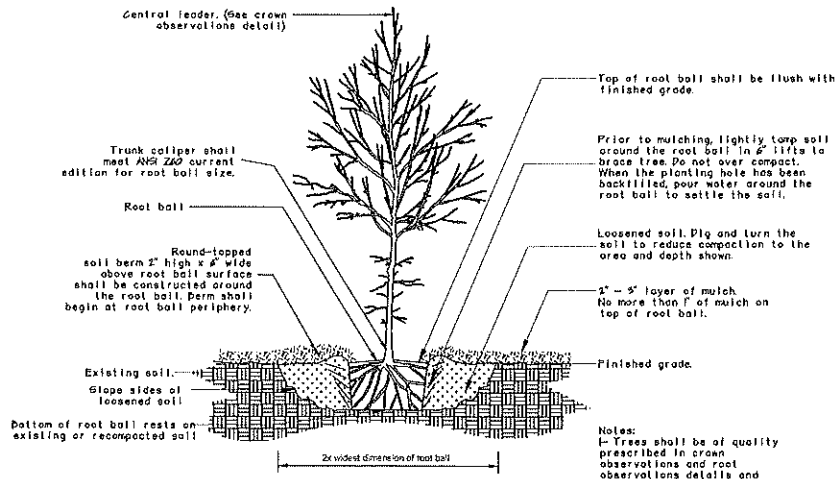
LANDSCAPE ARCHITECTURE, SITE PLANNING,  
 SOIL COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN



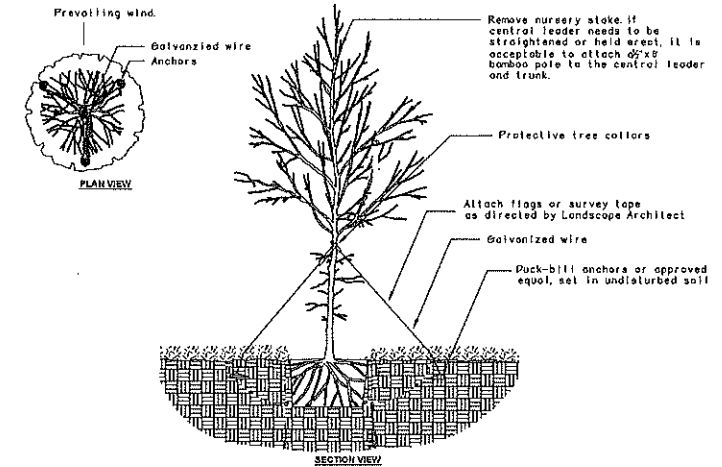
IRRIGATION PLAN  
 WEST APOPKA STORAGE - PHASE 2  
 CITY OF APOPKA FLORIDA

LANDSCAPE NOTES

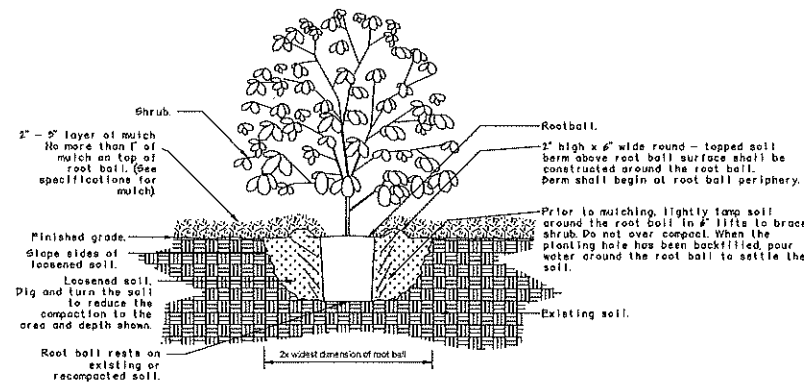
1. ALL MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
2. ALL LANDSCAPED AREAS SHALL BE MULCHED WITH 1" - 5" OF FINE DARK MULCH.
3. MULCH SHALL NOT BE INSTALLED ON TOP OF THE ROOT BALLS OF ANY SHADE OR ORNAMENTAL TREES.
4. ALL MATERIAL INSTALLED SHALL MEET THE 2015 GRACES AND STANDARDS FOR LANDSCAPE INSTALLATION.
5. CERTIFICATION IS REQUIRED FROM THE NURSERY AND/OR THE LANDSCAPE CONTRACTOR THAT THE TREE ROOT BALL HAS BEEN GRADDED PER GRACES AND STANDARDS.
6. ALL TREES MUST BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE.
7. ALL NEW TREES MUST BE GUIDED OR STAKED AS DETAILED.
8. EXISTING TREES THAT ARE TO REMAIN MUST BE PROTECTED THROUGHOUT CONSTRUCTION.
9. THE LANDSCAPE ARCHITECT SHALL REVIEW WITH THE CONTRACTOR ALL LANDSCAPING THAT IS TO BE DONE AND SHALL VERIFY THE LIMIT OF WORK.
10. PLACEMENT OF ALL LANDSCAPE MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
11. ALL LANDSCAPE MATERIAL MUST BE INSTALLED WITH NATIVE PEAT AND SLOW-RELEASE NITROGEN FERTILIZER.
12. ALL PALMS SHALL HAVE STRAIGHT, UNDEFORMED TRUNKS AS APPROVED BY LANDSCAPE ARCHITECT.
13. PALMS MAY BE HURRICANE CUT BUT MUST MAINTAIN A FULL HEALTHY BID.
14. PRIORS INSTALLATION OF ALL PALMS DESIGNED PALM TRANSPLANT SHALL BE APPLIED PER MANUFACTURERS SPECIFICATIONS AND CONTRACTOR MUST VERIFY THIS TO THE LANDSCAPE ARCHITECT.
15. ALL MATERIAL SHALL BE GUARANTEED FOR 90 DAYS FROM THE DATE OF ACCEPTANCE.
16. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING IN ALL TREES & PALMS AND REMOVING AIR-POCKETS.
17. DURING THE ESTABLISHMENT PERIOD (FIRST 90 DAYS) THE LANDSCAPE CONTRACTOR SHALL APPLY A MESH OF 40 - 60 GPD TO ALL NEW TREES AND PALMS.
18. LANDSCAPE CONTRACTOR MUST LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION.
19. NO PLANTINGS OR OTHER OBSTRUCTIONS MAY BE WITHIN THE 5' VERTICAL OVERHUNG AREA.
20. NEW SOD SHALL BE INSTALLED BETWEEN NEW AND EXISTING PLANTINGS AS SHOWN.
21. ALL SOD SHALL BE ARGENTINE-PARMA AND SHALL BE INSTALLED WITH NO GAPS OR OVERLAPS.
22. PLANTING SOIL USED FOR THE BUILDING PLANTERS AND BACKFILLING OF THE LANDSCAPE ISLANDS, ETC. MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION. ALL SOIL SHALL BE WEED-FREE, CONTAIN NO STICKS, ROCKS, OR OTHER FOREIGN OBJECTS, AND SHALL BE A MIXTURE OF 40% SAND, 20% LOAM, AND 40% TOP-SOIL.
23. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL PLANT MATERIAL, ROOTS, SOIL, AND OTHER LANDSCAPE ITEMS REMOVED FROM THIS SITE.
24. THE LANDSCAPE CONTRACTOR MUST PROVIDE AN AS-BUILT OF THE IRRIGATION SYSTEM TO THE LANDSCAPE ARCHITECT PRIOR TO REQUESTING ANY INSPECTIONS AND/OR APPROVALS.
25. THE CONTRACTOR SHALL KEEP THE SITE CLEAN OF ALL DEBRIS, SEDIMENT, DIRT, ETC. AND ENSURE THAT THAT DRAINAGE SYSTEM REMAINS CLEAR AND THAT PEDESTRIAN WAYS ARE NOT BLOCKED.
26. DO NOT PLANT NEW TREES TOO DEEP. UNCOVER THE TRUNK FLARE AND SET THIS AT OR ABOVE THE SURROUNDING SOIL LEVEL.
27. REMOVE ANY TREE WRAP FROM AROUND THE TRUNKS OF NEW TREES TO BE INSTALLED.
28. ALL NEW TREES AND SHRUBS MUST MEET THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z603).
29. LANDSCAPE ARCHITECT MAY REQUIRE PRUNING OF NEW TREES AFTER INSTALLATION IF IT IS DETERMINED THAT THE TREES NEED A SINGLE DOMINANT LEADER ESTABLISHED OR CLUSTER BRANCHES REMOVED.
30. ALL PLANT MATERIAL MUST MEET ALL OF THE SIZE SPECIFICATIONS, NOT JUST THE CONTAINER SIZE.
31. HAVING THE LANDSCAPE ARCHITECT APPROVAL OF PLANT PLACEMENT IS ESSENTIAL FOR ACCEPTANCE.
32. ALL SIZE SPECIFICATIONS SHOWN ON THE MATERIAL LIST ARE FOR THE HEIGHT OF THE MATERIAL UNLESS OTHERWISE NOTED. MEASUREMENT SHALL BE AS PER THE CURRENT INDUSTRY GRACES AND STANDARDS.



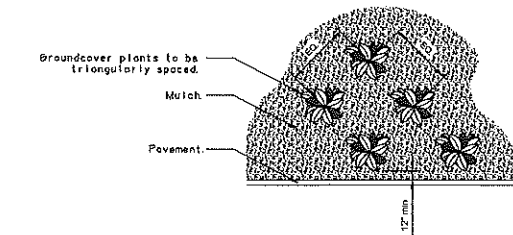
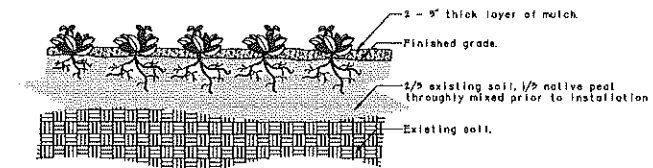
TREE INSTALLATION



TREE STAKING - TREES < 2" CALIPER

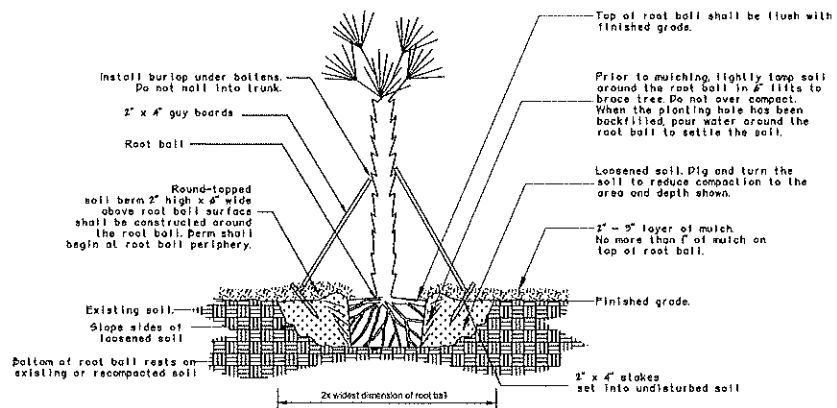


SHRUB INSTALLATION



Notes:  
- See planting legend for groundcover species, size, and spacing dimension.

GROUNDCOVER INSTALLATION

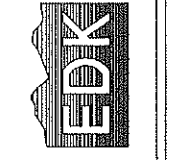


PALM INSTALLATION

NO.	DATE	DESCRIPTION	BY

DATE: 2 / 24	DRAWING NO.:	SCALE: 1" = 20'	JOB NO.:
DRAWN BY: RAK	NEW NAME:	FB	PG.

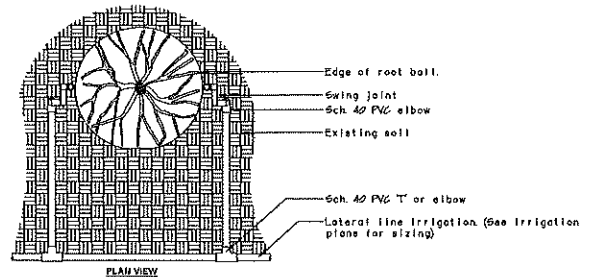
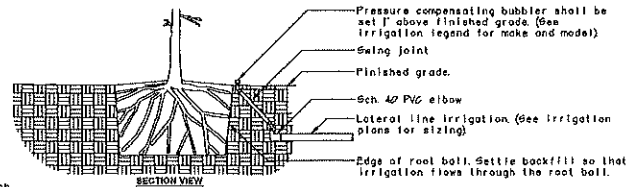
ENVIRONMENTAL DESIGN ARCHITECT  
ANDY KESSELRING, LANDSCAPE ARCHITECT  
1820 SE 8th STREET P.O. BOX 9121  
OCALA, FLORIDA 34478 (352) 622-8899  
LANDSCAPE ARCHITECTURE, SITE PLANNING  
GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN



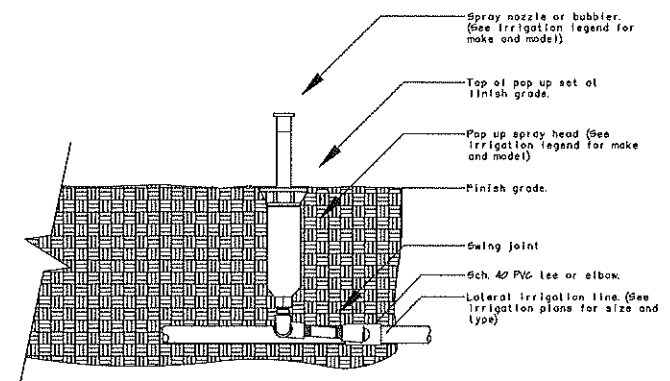
LANDSCAPE NOTES & DETAILS  
WEST APOKA STORAGE - PHASE 2  
CITY OF APOKA FLORIDA

**IRRIGATION NOTES**

1. MINOR CHANGES MAY BE MADE IN THIS LAYOUT WITH APPROVAL BY THE LANDSCAPE ARCHITECT
2. ALL HEAD LOCATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
3. HEADS SHALL BE 1/4, 1/2, OR FULL CIRCLE AS EACH LOCATION REQUIRES
4. SPRAY PATTERNS SHALL BE SET TO MINIMIZE SPRAY ONTO ADJACENT WALKS, DRIVES, AND BUILDINGS
5. WATER SOURCE SHALL BE A NEW 1" WATER METER FOR IRRIGATION USE ONLY
6. PRIOR TO ANY INSTALLATION, THE IRRIGATION CONTRACTOR SHALL INSPECT THE EXISTING SITE CONDITIONS AND PROVIDE ANY QUESTIONS TO THE LANDSCAPE ARCHITECT IN WRITING. CONTRACTOR MUST KEEP EXISTING IRRIGATION OPERATIONAL THROUGHOUT CONSTRUCTION. ANY MODIFICATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION
7. THE CONTROLLER SHALL BE LOCATED IN THE GENERAL AREA SHOWN AND SHALL BE MOUNTED AS APPROVED BY THE LANDSCAPE ARCHITECT IN A LOCKABLE CASE
8. THE OWNER WILL PROVIDE AN ELECTRICAL CIRCUIT IN THE CONTROLLER AREA
9. ALL VALVES SHALL BE INSTALLED IN WATER-RESISTENT BOXES
10. ALL SLEEVES MUST BE INSTALLED PRIOR TO THE LAYERS OF THE PAVED AREAS
11. ALL SLEEVINGS SHALL BE SCH 40 PVC AND INSTALLED A MINIMUM OF 18" DEEP
12. ALL FEEDER LINES SHALL BE INSTALLED A MINIMUM OF 18" DEEP
13. RAINFALL TRANSDUCER DEVICE SHALL BE INSTALLED TO MINIMIZE IRRIGATION DURING SUFFICIENT RAINFALL (RSD SERIES). IN ADDITION, AN ANGLE TILT SENSOR WITH SOX CONTROL MONITOR MUST BE INSTALLED AS LOCATED BY THE LANDSCAPE ARCHITECT FOR PROPER IRRIGATION ADJUSTMENTS
14. THE ENTIRE SYSTEM MUST BE OPERATIONAL, REVIEWED, AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
15. THE CONTRACTOR SHALL RETURN WITHIN THE FIRST 90 DAYS TO ADJUST THE SYSTEM AS NECESSARY AND DIRECTED BY THE LANDSCAPE ARCHITECT
16. ALL LABOR AND MATERIALS SHALL BE GUARANTEED FOR 1 YEAR FOR FINAL ACCEPTANCE
17. THE CONTRACTOR MUST PROVIDE AN AS-BUILT DRAWING TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE
18. BACKFLOW PREVENTION DEVICE MUST BE INSTALLED AT THE METER LOCATION PER APPLICABLE CODES
19. SLEEVES MUST BE INSTALLED IN ALL AREAS WHERE IRRIGATION PIPING IS INSTALLED UNDER PAVEMENT
20. ZONES ARE DESIGNED TO FUNCTION AT 35 GPM AND 40 PSI AT THE VALVE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING AT ALL HEADS TO INSURE PROPER PRESSURE AND WATER QUANTITY FOR THE DESIGNED COVERAGE
21. CONTRACTOR SHALL CONSULT WITH BOTH OWNER AND THE LANDSCAPE ARCHITECT FOR THE TUNING OF THE SYSTEM BASED ON CURRENT WATER RESTRICTIONS
22. SYSTEM DOES NOT PROVIDE 100% COVERAGE OF THE ENTIRE PROJECT SITE. CONTRACTOR MUST ADJUST HEADS TO COVER NEW PLANT INSTALLATION AND SOD AREAS AS DIRECTED BY THE LANDSCAPE ARCHITECT
23. ALL LINE LOCATIONS MUST BE ADJUSTED ON-SITE TO INSURE THAT THEY DO NOT IMPACT THE MAJOR ROOT SYSTEMS OF THE TREES TO BE PRESERVED
24. ALL IRRIGATION HEADS SHALL BE LOW-VOLUME MICRO-IRRIGATION TO MINIMIZE WATER CONSUMPTION
25. SET RUN TIMES FOR THE SYSTEM PER RECOMMENDATIONS BY FWS @ EMS/ENG/PLER/RES/CO
26. ON HEADS LOCATED BELOW THE VALVE LOCATIONS, INSURE CHECK VALVES ARE INSTALLED AT THE HEAD
27. POP-UP HEIGHTS WITHIN SOD AREAS SHALL BE SET AT 6"
28. ALL VALVES SHALL HAVE A FACTORY-INSTALLED FILTER ENTRY AND VERIFIED BY CONTRACTOR
29. VERIFY CONTROLLER SET-UP WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
30. ALL IRRIGATION INSTALLATION SHALL MEET 2015 GRAPES AND STANDARDS
31. NO IRRIGATION HEADS SHALL BE INSTALLED ON RISERS UNLESS SPECIFICALLY NOTED AND DETAILED
32. ALL AS-BUILTS, VERIFICATIONS, ETC. MUST BE SUBMITTED PRIOR TO FINAL INSPECTION AND ACCEPTANCE
33. BUBBLERS AT ALL TREES AND PALMS SHALL BE STAKED AT THEIR PROPER LOCATIONS

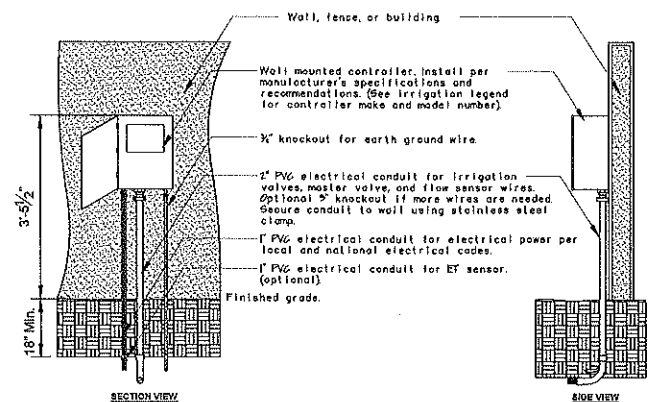


**TREE BUBBLER LAYOUT**



- Notes:  
 1- 4" pop ups shall be used in turf areas.  
 2- Contractor shall settle soil around the pop up after installation.  
 3- All pop up spray heads shall have check valves.  
 4- All Sch 40 PVC to Sch 80 PVC connections shall be made using lefton tops.

**POP UP-SPRAY HEAD**



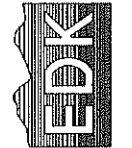
- Notes:  
 1- Common and controller wires to be bundled using electrical tape at 1/2" on center.  
 2- Grounding rods shall be located between 6" to 18" away from the controller. Grounding rods shall be 6' in length, connect the grounding rod to the controller using # gauge bare copper wire per manufacturer's specifications.  
 3- Rain sensor device shall be installed within 2' of the controller, a minimum of 8' high, and out from any overhead obstructions such as building overhangs, trees, or utilities.

**WALL MOUNTED CONTROLLER**

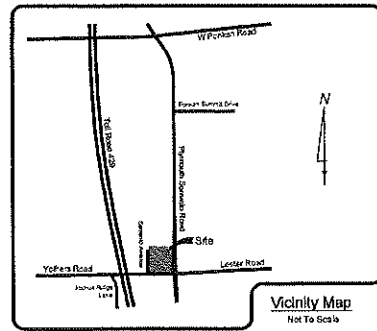
NO.	DATE	DESCRIPTION	BY

DRAWN BY: RAK	DATE: 2 / 24	DRAWING NO.:	PG.
SCALE: 1" = 20'			
JOB NO.:			

ENVIRONMENTAL DESIGN  
 ANDY KESSELING, LANDSCAPE ARCHITECT  
 1920 SE. 8th STREET  
 Ocala, Florida 34478  
 (352) 622-8899  
 LANDSCAPE ARCHITECTURE, SITE PLANNING,  
 GOLF COURSE DESIGN, COMMERCIAL-RESIDENTIAL DESIGN



IRRIGATION NOTES & DETAILS  
 WEST APOPKA STORAGE - PHASE 2  
 CITY OF APOPKA FLORIDA



# WEST APOPKA STORAGE AND RETAIL CENTER

A REPLAT OF LOTS 14 AND 17, BAILEY'S ADDITION TO PLYMOUTH, PLAT BOOK B, PAGE 145 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

LYING IN  
SECTION 30, TOWNSHIP 20 SOUTH, RANGE 28 EAST  
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

**SETBACKS:**

- LOT 1 - 50.00' Front Setback From Centerline  
100.00' Rear Setback  
15.00' Side Setback From Adjacent Right-of-Way  
10.00' Side Setback From Adjacent Lots
- LOT 2 - 65.00' Front Setback  
15.00' Side Setback  
10.00' Rear Setback

TRACT TABLE		
DESIGNATION	PURPOSE	DEDICATED TO:
TRACT A	Landscape Buffer & Utility Easement	Owner of Lot 1
TRACT B	Dry Retention Pond	Owner of Lot 1
TRACT C	Landscape Buffer & Utility Easement	Property Owners Association - P.O.A
TRACT D	Development Signage	Property Owners Association - P.O.A
TRACT E	Landscape Buffer & Utility Easement	Property Owners Association - P.O.A
TRACT F	Access to Lot 1 & Utility Easement	Owner of Lot 1
TRACT G	Landscape Buffer & Utility Easement	Owner of Lot 1
TRACT H	Private Lift Station	Property Owners Association - P.O.A
TRACT RW-1	30' R.o.W. Dedication	Orange County BCC

**LEGAL DESCRIPTION:**

LOTS 14 AND 17, BAILEY'S ADDITION TO PLYMOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK B, PAGE 145 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS THE EAST 5.00 FEET FOR RIGHT-OF-WAY PER DEED BOOK 402, PAGE 128 ;BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 30 TOWNSHIP 20 SOUTH, RANGE 28 EAST ALSO BEING THE POINT OF INTERSECTION OF CENTERLINE OF YOTHERS ROAD AND SORRENTO AVENUE; THENCE ALONG THE CENTERLINE OF YOTHERS ROAD, SAID CENTERLINE BEING THE SOUTH LINE OF SECTION 30, RUN NORTH 88°10'31" EAST, A DISTANCE OF 20.67 FEET TO A POINT ON SAID SOUTH LINE; THENCE DEPARTING SAID SOUTH LINE RUN NORTH 01°49'29" WEST, A DISTANCE OF 20.00 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF AFORESAID YOTHERS ROAD, SAID POINT ALSO BEING THE POINT OF INTERSECTION OF SAID NORTH RIGHT-OF-WAY AND THE EAST RIGHT-OF-WAY LINE OF SORRENTO AVENUE, BEING THE POINT OF BEGINNING;

THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE AND ALONG SAID EAST RIGHT-OF-WAY LINE RUN NORTH 00°06'22" EAST, A DISTANCE OF 640.00 FEET TO THE SOUTHWEST CORNER OF LOT 13, BAILEY'S ADDITION TO PLYMOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK B, PAGE 145 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN NORTH 88°10'31" EAST ALONG THE SOUTH LINE OF SAID LOT 13, A DISTANCE OF 610.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF PLYMOUTH SORRENTO ROAD (PLATTED AS MAGNOLIA AVENUE), BAILEY'S ADDITION TO PLYMOUTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK B, PAGE 145 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE DEPARTING AFORESAID SOUTH LINE OF LOT 13 AND ALONG SAID WEST RIGHT-OF-WAY LINE RUN SOUTH 00°05'50" WEST, A DISTANCE OF 640.00 FEET TO A POINT, SAID POINT BEING THE POINT OF INTERSECTION OF SAID WEST RIGHT-OF-WAY LINE OF PLYMOUTH SORRENTO ROAD (PLATTED AS MAGNOLIA AVENUE) AND THE AFORESAID NORTH RIGHT-OF-WAY OF YOTHERS ROAD; THENCE DEPARTING SAID WEST RIGHT-OF-WAY LINE AND ALONG SAID NORTH RIGHT-OF-WAY LINE RUN SOUTH 88°10'31" WEST, A DISTANCE OF 610.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 371,586.120 SQ FT MORE OR LESS; 8.530 ACRES MORE OR LESS

**Ireland & Associates Surveying, Inc.**  
Patrick K. Ireland, FSM 6637/LB 7623  
800 Currency Circle, Suite 1020  
Lake Mary, Florida 32748  
www.irelandssurveying.com  
Office - 407.678.3366  
Fax - 407.320.8165

**NOTES:**

- ALL LOT CORNERS SHOWN HEREON ARE TO BE SET IN ACCORDANCE WITH CHAPTER 177.091(8) FLORIDA STATUTES.
- BEARINGS SHOWN HEREON ARE BASED UPON THE EAST LINE OF TRACT RW-1, TO BE THE WEST RIGHT-OF-WAY LINE OF PLYMOUTH-SORRENTO ROAD, BEING SOUTH 00°05'50" WEST, BASED UPON FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD 83 DATUM.
- ALL PLATTED UTILITY EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL NOT INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION, SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.

**NOTICE:**  
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

**CERTIFICATE OF APPROVAL BY MUNICIPALITY**  
THIS IS TO CERTIFY THAT ON 4/12/22, THE CITY COUNCIL OF THE CITY OF APOPKA APPROVED THE FOREGOING PLAT.  
*Bryan Nelson* *Suec M. Bore*  
BRYAN NELSON, MAYOR CITY CLERK

**CERTIFICATE OF APPROVAL BY COUNTY COMPTROLLER**  
I HEREBY CERTIFY THAT THE FOLLOWING PLAT WAS RECORDED IN THE ORANGE COUNTY OFFICIAL RECORDS ON 4/12/2022  
AS FILE NO. 20220259195

COUNTY COMPTROLLER IN AND FOR ORANGE COUNTY, FLORIDA BY  
*Shirley Kane*

**WEST APOPKA STORAGE AND RETAIL CENTER DEDICATION**  
KNOWN ALL MEN BY THESE PRESENTS, THAT **DAFFLYN PROPERTY 2 LLC** being the owner in fee simple of the lands described in the foregoing caption to this plat, hereby dedicates said lands and plat for the uses and purposes therein expressed and dedicates the Drainage Easement and Access & Utility Easement shown hereon to the perpetual use of the lot owners shown on this plat. The owner does hereby grant to the City of Apopka the non-exclusive and perpetual right of ingress egress over and across all of the cross access easements shown and does hereby grant to delivery, pickup and fire protection services, police, authorities of the United States postal service mail carriers, representatives of utilities authorized by the owner, holders of mortgage liens on such lands, and invitees of the lot owners, the non-exclusive and perpetual right of ingress egress over and across said easements. Regardless of the preceding provisions, the lawful owner reserves the unrestricted and absolute right to deny the right of ingress to any person who, in the opinion of the lawful owner may create or participate in a disturbance or nuisance on any part of the land shown on this plat.

Tract RW-1 (Additional Right-of-Way) is dedicated in fee simple to Orange County without any restriction whatsoever upon Orange County. County ownership of Tract RW-1 and any improvements thereon vests upon approval of this plat by the City of Apopka Commissioners. Recording of this Plat shall act as conveyance to the County and no further instrument shall be necessary to vest fee simple title in the County as aforementioned.

IN WITNESS WHEREOF,  
HAS CAUSED THESE PRESENTS TO BE SIGNED, SEALED, AND ATTESTED TO, BY THE PERSONS NAMED BELOW:

IN WITNESS THEREOF, has caused these presents to be signed and attested to or witnessed this 12<sup>th</sup> day of April, 2022.

By: *Robert Bliss* *Robert Bliss*  
Printed Name  
Attest: *Savannah Eversen* *Savannah Eversen*  
Printed Name

Signed in the presence of:  
By: *Clairie Grandy* *Clairie W. Grandy*  
Printed Name  
By: *Charles Brownward* *Charles Brownward*  
Printed Name

STATE OF Florida COUNTY OF Seminole THIS IS TO CERTIFY, That on 4/11/22 before me, an officer duly authorized to take acknowledgments in the State and County aforesaid, personally appeared Robert Bliss and Clairie Grandy respectively of the above named Corporation incorporated under the laws of Florida who I believe personally known to me or have produced the following identification Drivers License and and respectively and who executed the foregoing dedication and severally acknowledged the execution thereof to be their free act and deed as such officers thereto duly authorized and that said dedication is the act and deed of said Corporation.

IN WITNESS WHEREOF, I have hereunto set my hand and the seal of my office, this 11<sup>th</sup> day of April, 2022.  
NOTARY PUBLIC *Shirley Kane*  
My Commission Expires 11/17/25

**CERTIFICATE OF APPROVAL BY CITY ENGINEER**  
THIS IS TO CERTIFY THAT ON April 12, 2022, THE FOREGOING PLAT WAS EXAMINED AND APPROVED BY  
*Richard Earp*  
RICHARD EARP, CITY ENGINEER

**CERTIFICATE OF APPROVAL BY APOPKA PLANNING COMMISSION**  
THIS IS TO CERTIFY THAT ON 4/12/22, THE FOREGOING PLAT WAS APPROVED BY THE APOPKA PLANNING COMMISSION OF THE CITY OF APOPKA.  
*Jamie W. Hume* 4/12/22  
CHAIRMAN DATE

**CERTIFICATE OF APPROVAL BY REVIEWING SURVEYOR**  
PURSUANT TO SECTION 177.061 FLORIDA STATUTES, I HAVE REVIEWED THIS PLAT FOR CONFORMITY TO CHAPTER 177 PART 1 OF THE FLORIDA STATUTES AND THAT SAID PLAT COMPLIES WITH THE TECHNICAL REQUIREMENTS OF THAT CHAPTER, PROVIDED HOWEVER THAT MY REVIEW DOES NOT INCLUDE FIELD VERIFICATION OF ANY OF THE COORDINATES, POINTS, OR MEASUREMENTS SHOWN ON THIS PLAT.  
*Andrew Perry* 4-12-2022  
Surveyor's Signature Date

*Andrew Perry* 6124  
Surveyor's Name Registration No.

**QUALIFICATION AND STATEMENT OF SURVEYOR AND MAPPER**

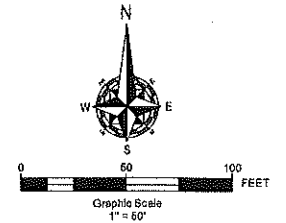
KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING A PROFESSIONAL SURVEYOR AND MAPPER CERTIFIES THAT I HAVE PREPARED THE FOREGOING PLAT AND IT WAS MADE UNDER MY DIRECTION AND SUPERVISION AND THAT THE PLAT COMPLIES WITH ALL OF THE SURVEY REQUIREMENTS OF CHAPTER 177, PART 1, PLATTING, FLORIDA STATUTES; AND THAT SAID LAND IS LOCATED IN THE CITY OF APOPKA, ORANGE COUNTY, FLORIDA.  
*Patrick Ireland* 3/31/2022  
Surveyor's Signature Date  
Ireland & Associates Surveying  
800 Currency Circle, Suite 1020  
Lake Mary, Florida 32748  
Patrick K. Ireland ; P.S.I.  
Florida Registration Number 6637  
Licensed Business No. 7623

# WEST APOPKA STORAGE AND RETAIL CENTER

A REPLAT OF LOTS 14 AND 17 LESS THE EAST 5.00 FEET THEREOF, BAILEY'S ADDITION TO PLYMOUTH, PLAT BOOK B, PAGE 145 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

LYING IN

SECTION 30, TOWNSHIP 20 SOUTH, RANGE 28 EAST  
ORANGE COUNTY, FLORIDA



Line #	Direction	Length
L1	S00° 06' 22" W	15.01'
L2	S00° 06' 22" W	82.32'
L3	N89° 47' 58" E	387.18'
L4	S00° 57' 16" W	12.32'
L5	S88° 48' 09" E	177.80'
L6	S00° 05' 50" W	185.90'
L7	S88° 10' 31" W	564.93'
L8	N88° 10' 31" E	15.00'
L9	S88° 10' 31" W	30.00'
L36	S88° 10' 31" W	333.72'
L37	S01° 49' 29" E	6.58'
L38	N88° 10' 31" E	51.82'
L39	N88° 10' 31" E	143.51'
L40	S00° 06' 57" W	527.24'
L42	N89° 48' 18" W	15.00'
L43	S00° 06' 22" W	542.67'
L44	N88° 10' 31" E	144.08'
L45	S88° 10' 31" W	79.28'
L46	S88° 10' 31" W	356.88'
L49	N00° 14' 46" W	10.44'

Line #	Direction	Length
L50	N89° 53' 07" W	34.00'
L51	N00° 06' 53" E	3.42'
L52	N00° 06' 53" E	6.58'
L53	S00° 06' 53" W	10.00'
L55	S89° 54' 10" E	10.00'
L56	S00° 05' 50" W	18.00'
L57	N00° 05' 50" E	16.00'
L58	N89° 54' 10" W	10.00'
L59	N88° 10' 31" E	30.00'
L60	S89° 53' 07" E	18.00'
L61	S88° 53' 07" E	34.00'
L62	N88° 10' 31" E	148.73'
L63	N88° 10' 31" E	185.00'

Curve #	Length	Radius	Delta	Chord Bearing	Chord Distance
C1	36.06'	30.00'	070° 35' 27"	N28° 15' 03" E	34.67'
C2	21.59'	30.00'	041° 13' 38"	N42° 55' 57" E	21.12'
C3	2.97'	3.00'	056° 41' 03"	S26° 31' 02" W	2.85'
C4	24.81'	25.00'	056° 51' 38"	S30° 15' 18" E	23.80'
C5	15.37'	30.00'	029° 21' 46"	N07° 36' 14" E	15.21'
C6	5.99'	25.00'	013° 43' 47"	S08° 41' 23" E	5.98'
C7	18.82'	25.00'	043° 07' 51"	S37° 07' 12" E	18.38'

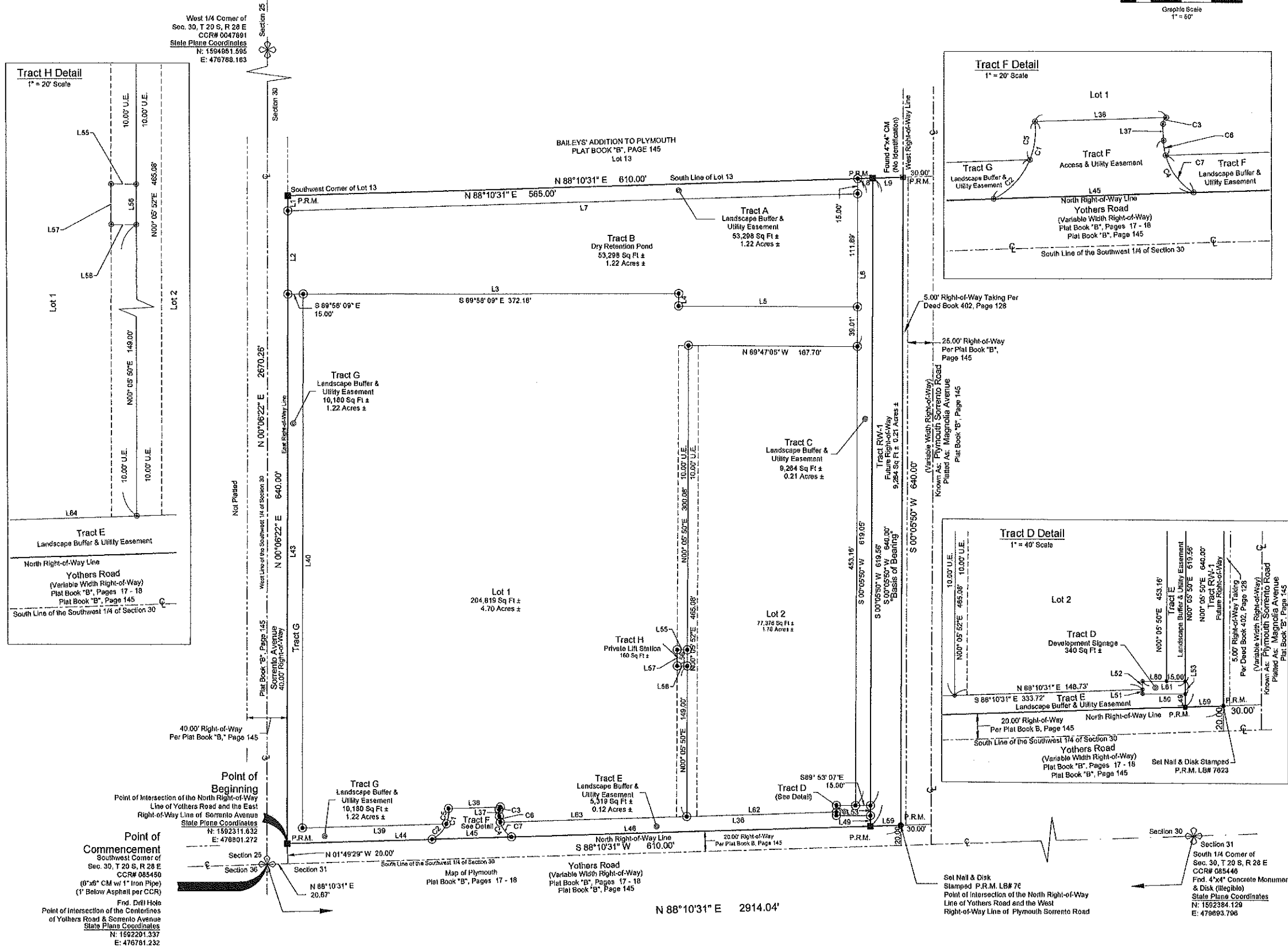
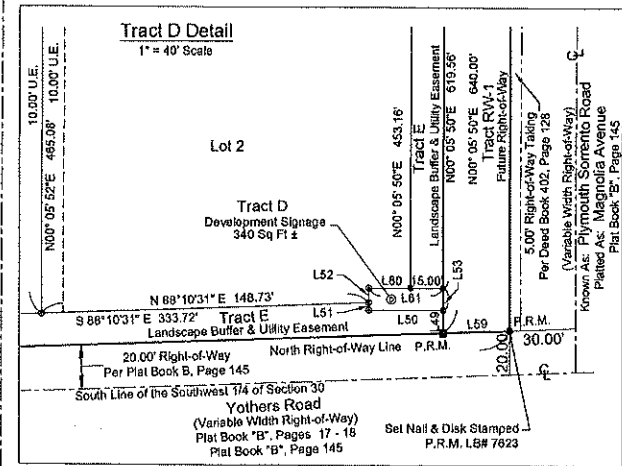
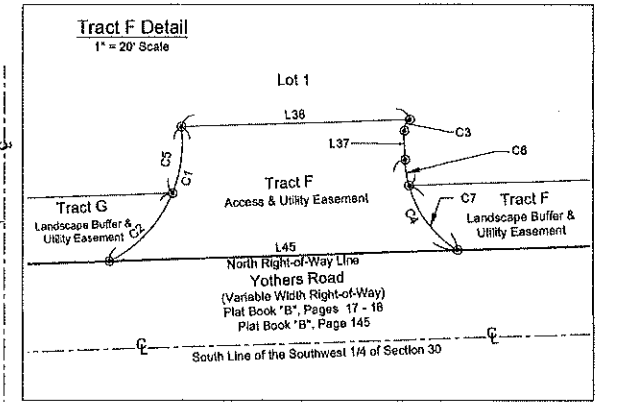
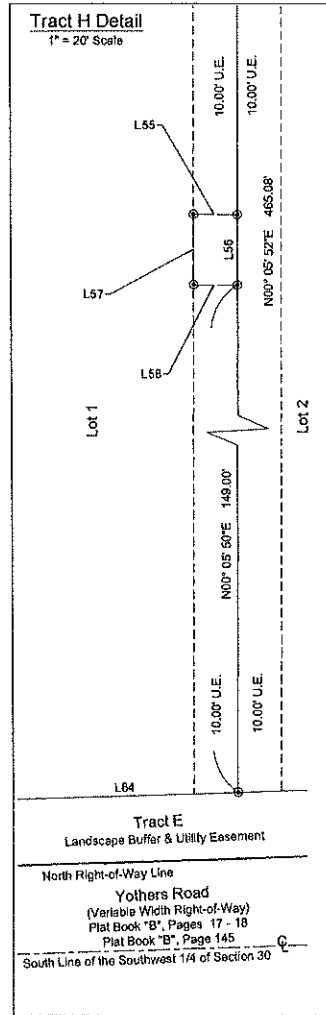
-Legend-

- SEC. - Section
- FND. - Found
- SQ FT - Square Foot
- ☉ - Centerline
- N.R. - Non-Radial
- P.I. - Point of Intersection
- R/W - Right-of-Way
- R.P. - Radius Point
- PC - Point of Curvature
- C - Chord Information
- C.M. - Concrete Monument
- ☉ - Section Corner
- - Set Iron Rod & Cap LB# 7823
- - Set Nail & Disk LB# 7623
- - Set 4"x4" Concrete Monument With Disk Stamped (P.R.M. - LB# 7823)
- ⊗ - Fnd. Concrete Monument as Denoted on Face of Plat
- CCR - Certified Corner Record
- P.R.M. - Permanent Reference Monument
- R - Radius
- Δ - Delta
- L - Length
- D.U.A.E. - Drainage, Utility, & Access Easement

**Ireland & Associates**  
*Surveying, Inc.*

Patrick K. Ireland, PSM 6637/LB 7823  
800 Currency Circle // Suite 1020  
Lake Mary, Florida 32746  
www.irelandsurveying.com

Office - 407.678.3366  
Fax - 407.320.8165



**Point of Commencement**  
Southwest Corner of  
Sec. 30, T 20 S, R 28 E  
CCR# 085450  
(0.76" CM w/ 1" Iron Pipe)  
(1' Below Asphalt per CCR)  
Fnd. Drill Hole  
Point of Intersection of the Centerlines  
of Yothers Road and Sorrento Avenue  
State Plane Coordinates  
N: 1592201.337  
E: 476781.232

Set Nail & Disk  
Stamped P.R.M. LB# 76  
Point of Intersection of the North Right-of-Way  
Line of Yothers Road and the West  
Right-of-Way Line of Plymouth Sorrento Road  
State Plane Coordinates  
N: 1592384.129  
E: 476893.796