

LIONSHEAD LANDING



1483-1499 POINSETTIA AVENUE // VISTA, CA // 92081

BROKER BONUS 
&
TENANT INCENTIVE

\$1.00/SF BROKER BONUS

**3 MONTHS FREE ON A
3 YR LEASE**

**(ALL DEALS MUST BE FOR
QUALIFIED TENANTS)**

FOR MORE INFORMATION:

Conor Boyle
+1 760 458 5739
conor.boyle@cushwake.com
Lic. No. 01813305

Joe Crotty
+1 760 473 1811
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Lic. No. 01369821

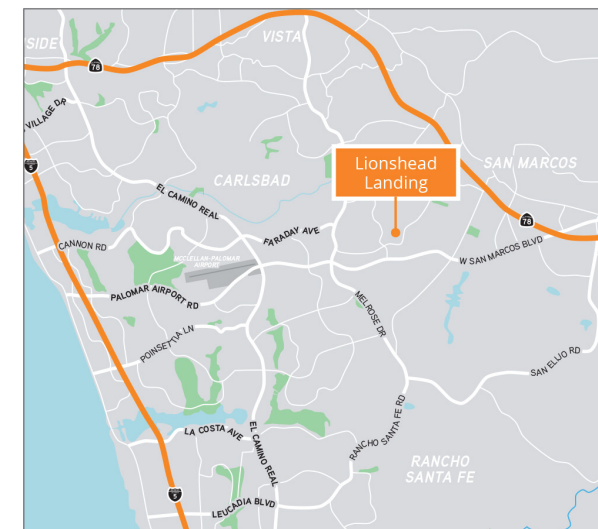
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Carson Odabashian
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Cushman & Wakefield
12830 El Camino Real, Suite 100
San Diego, CA 92130 | USA
cushmanwakefield.com

PROPERTY FEATURES

- » Move-in ready industrial/flex units with high-quality office build-out
- » Within walking distance of numerous amenities and trails
- » Strategically located on the border of Vista and Carlsbad
- » Heavy Power Available - 3 Phase, 277/480v
- » 8 EV Charging Stations
- » Loading: 14' oversized roll up doors
- » Power – superior power in incubation suites
- » Parking 3.0/1,000 SF
- » Warehouse: 16'-18' ceiling heights, fully sprinklered
- » High-image finishes to enhance brand identity



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SITE PLAN

■ OCCUPIED
■ AVAILABLE

 CHARGING STATION



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BUILDING	SUITE	TOTAL SF	TYPE	RATE	AVAILABILITY
1493	143	5,928	Climate Controlled Warehouse	\$1.55/SF + NNN	April 1, 2026
1497	153	4,750	Warehouse	\$1.55/SF + NNN	April 1, 2026
1497	154	5,032	Climate Controlled Warehouse	\$1.55/SF + NNN	April 1, 2026

Est. NNN: \$0.54/SF

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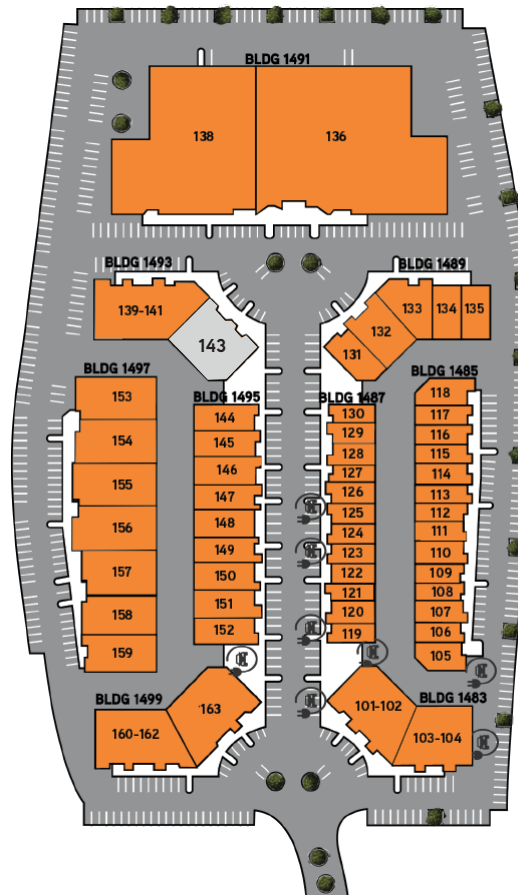
LIONSHEAD LANDING

FLOOR PLAN



*Proposed floor plan

SITE KEY PLAN



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BLDG. 1493 / SUITE 143

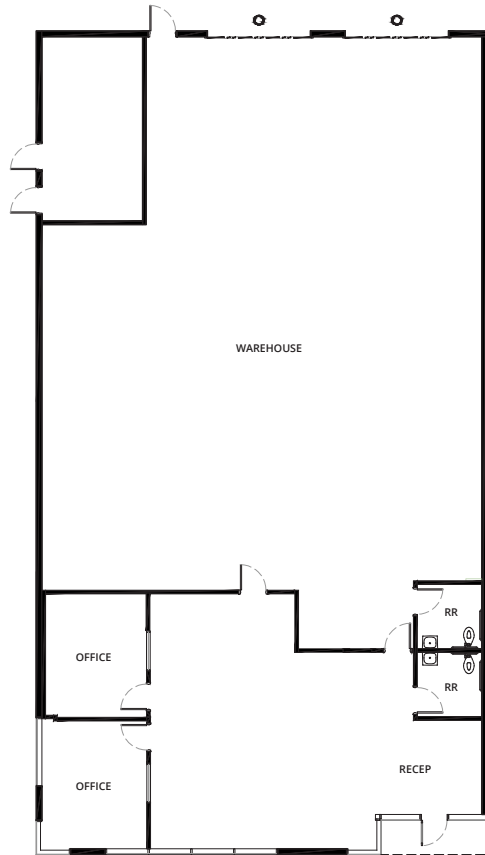
- 5,928 SF
- \$1.55/SF + EST. NNN
- Climate Controlled Warehouse
- Heavy Power Available - 3 Phase, 277/480v

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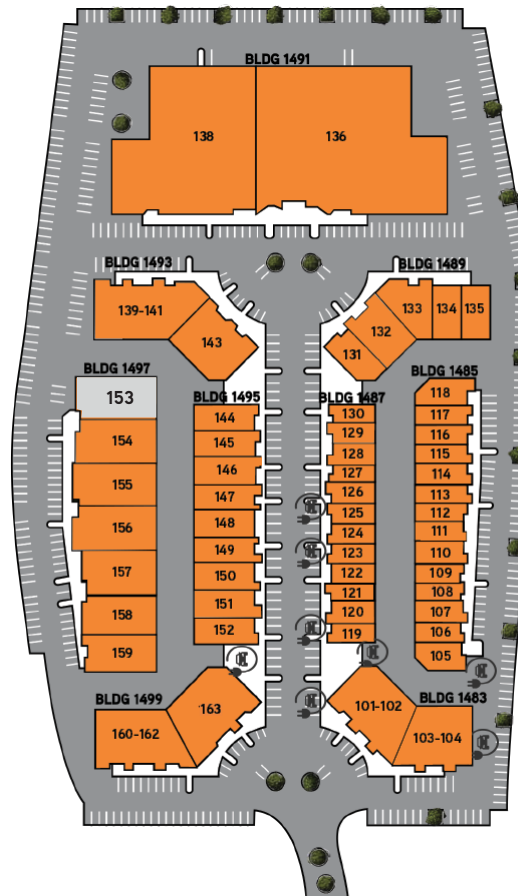
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FLOOR PLAN



**Proposed floor plan*

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BLDG. 1497 / SUITE 153

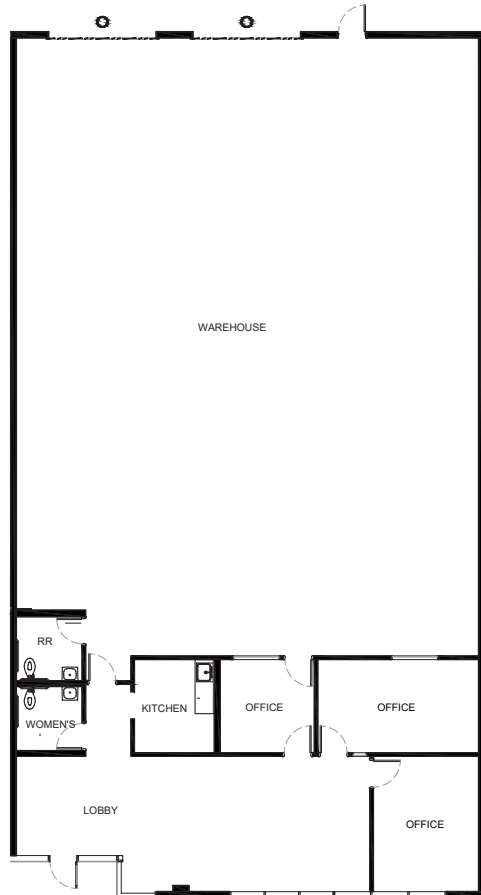
- 4,750 SF
- \$1.55/SF + EST. NNN
- Warehouse
- Heavy Power Available - 3 Phase, 277/480v

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FLOOR PLAN



*Proposed floor plan

SITE KEY PLAN



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BLDG. 1497 / SUITE 154

- 5,032 SF
- \$1.55/SF + EST. NNN
- Climate Controlled Warehouse
- Heavy Power Available - 3 Phase, 277/480v

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LIONSHEAD LANDING

CORPORATE NEIGHBORS



PODS

UNITE HYATT

BOOTHCRAFTERS INC.
Custom Exhibit Solutions

BACHEM

US FOODS

COX

RAYZIST
Floorbark, Inc.

HATCH
OUTDOORS

WatkinsWellness

roomors
HOME FURNISHINGS

Exagen
Patient Focused. Discovery Driven.

PRIMARCH
MANUFACTURING

leidos

ADS
GOLF

BATTLEMAGE
BREWING COMPANY

Sullivan
Since 1912
Moving & Storage

TARGET

CS ILLUMINATION
NORTH COUNTY SAN DIEGO
THE WALL
CLIMBING GYM

JON RENAU
EASHAIR

2.6 miles

THE SQUARE
at THE SQUARE

TESLA

MBE M
The Miniature Engineering Craftsmanship Museum

LIONSHEAD LANDING

2.1 miles

PIZZA PORTS
BREWING CO.

LOCAL ROOTS
KOMBUCHA

LIONSHEAD LANDING



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