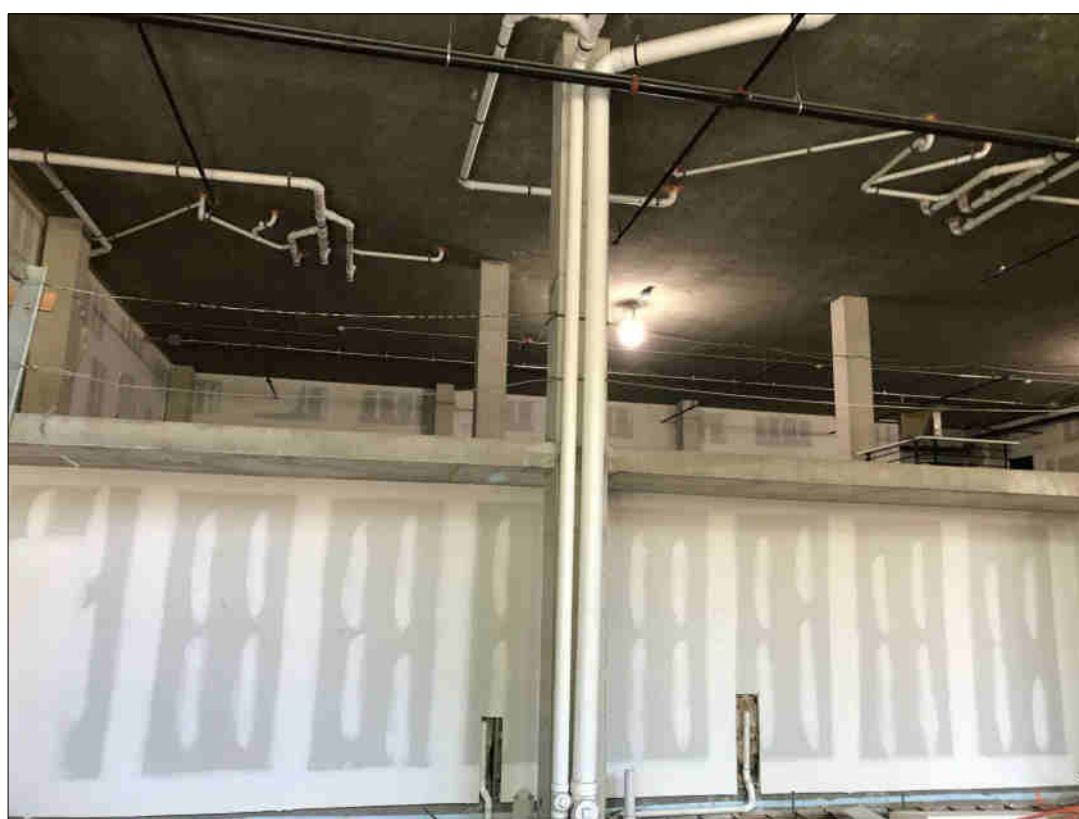
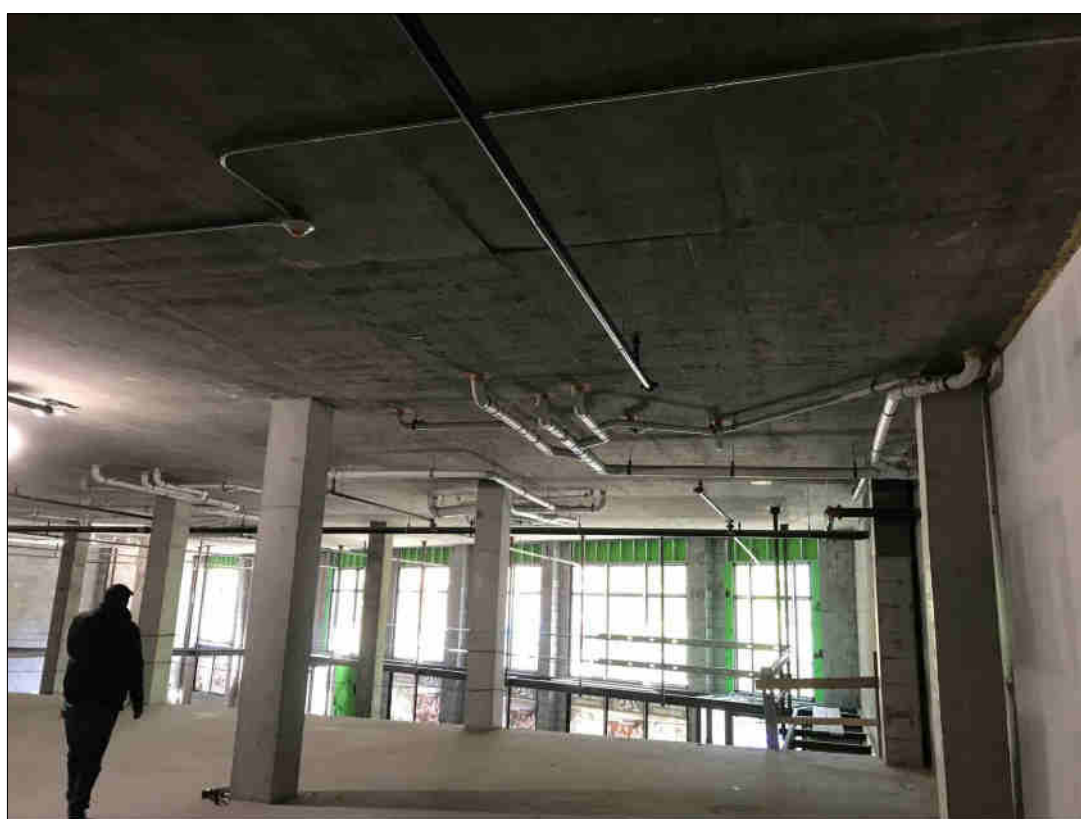




PIC-A



PIC-B



PIC-C



PIC-D

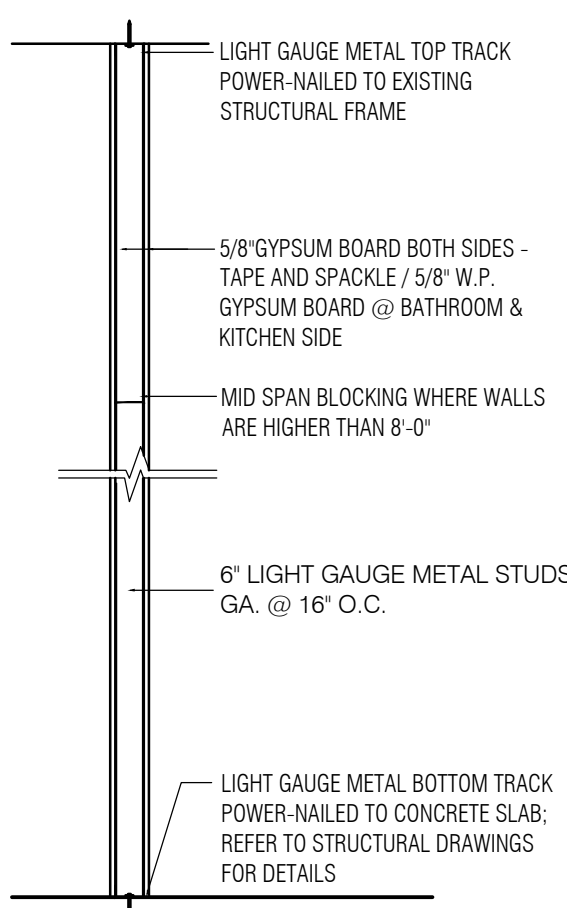
TENANT FIT-OUT OF EXISTING VACANT COMMERCIAL SPACE INTO A VANILLA BOX SPACE

245 NEWARK JERSEY CITY, NJ



CURRENT VIEW ALONG 1st STREET

NOT TO SCALE

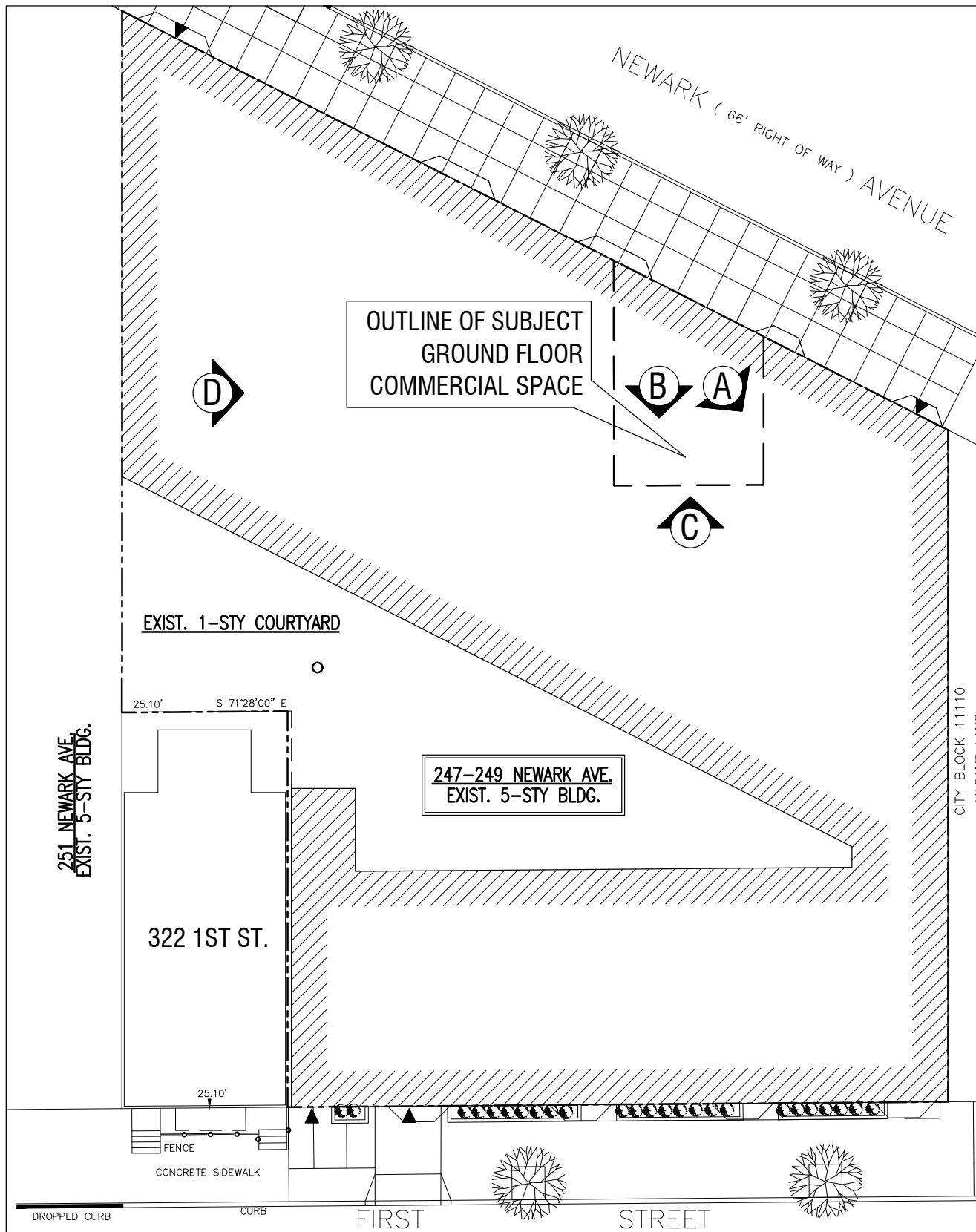


NON-LOAD BEARING INTERIOR PARTITION UNRATED



LOCATION MAP

NOT TO SCALE



SITE LEGEND

NOT TO SCALE

PROJECT DESCRIPTION:

- PRESENT USE: VACANT COMMERCIAL COMMERCIAL SPACE
- PROPOSED USE: VANILLA BOX FIT-OUT
- CONSTRUCTION TYPE: 1-A, NFPA 13 FULLY SPRINKLERED
- EXISTING GROSS FLOOR AREA: 761 sf (Tenant Space Only)
- PROPOSED GROSS FLOOR AREA: 761 SF (NO CHANGE)
- USE GROUP: M - Mercantile
- PROPOSED WORK:
 - NEW UNRATED FULL-HEIGHT PARTITIONS;
 - NEW ADA BATHROOM & SERVICE SINK
 - ADJUST/EXTEND SPRINKLER HEADS AS NEEDED;
 - NEW WALL, FLOOR & CEILING FINISHES;
 - NEW DUCTLESS MULTI-ZONE SPLIT HVAC SYSTEM;
 - ELECTRICAL & LOW VOLTAGE FIRE ALARM WORK TIED TO EXISTING FA SYSTEM
- APPLICABLE CODE: NJUCC REHABILITATION SUB-CODE/
 - INTERNATIONAL BUILDING CODE 2021 - NJ Ed.
 - NATIONAL STANDARD PLUMBING CODE 2021
 - INTERNATIONAL MECHANICAL CODE 2021
 - NATIONAL ELECTRICAL CODE 2020
 - INTERNATIONAL FUEL GAS CODE 2021
 - INTERNATIONAL ENERGY CODE (IECC) 2021

UTILITIES NOTES:

- MECHANICAL:**
- ALL EXISTING EQUIPMENT, DUCTS, REGISTERS AND HVAC CONTROL DEVICES WITHIN FIT-OUT SPACE TO REMAIN.
 - ALL EXISTING VENTING, FLUES & CHIMNEYS TO REMAIN.
 - ALL EXISTING SYSTEMS SHALL BE INSPECTED, CLEANED, REPAIRED AS NEEDED, AND TESTED FOR PROPER OPERATION.
 - NEW HVAC WORK PROPOSED FOR THIS APPLICATION:
 - NEW DUCTLESS MINI-SPLIT SYSTEM, CONDENSER IN GARAGE
 - NEW BATHROOM EXHAUST FAN
- ELECTRICAL:**
- ALL EXISTING ELECTRICAL INSTALLATION INCLUDING WIRING, EQUIPMENT BOXES, LIGHTING FIXTURES, RECEPTACLES, AND OTHER ELECTRICAL DEVICES/FIXTURES SHALL REMAIN.
 - VERIFY LOCATIONS OF EXISTING LIFE SAFETY DEVICES IN FIELD (SMOKE DETECTORS, CO DETECTORS, HEAT DETECTORS, EMERGENCY LIGHTS, MANUAL PULLS, HORNSTROBES, ETC.).
 - ALL NEW FIXTURES AND DEVICES SHALL BE AS INDICATED "NEW" ON THE PLANS.
 - CONTRACTOR TO CONFIRM ADEQUACY OF EXISTING FIRE ALARM PANEL FOR PROPOSED ADDITIONAL DEVICES.
 - ALL EXISTING SYSTEMS SHALL BE INSPECTED, CLEANED, REPAIRED AS NEEDED, AND TESTED FOR PROPER OPERATION.
- PLUMBING:**
- ALL EXISTING WATER SUPPLY AND SANITARY INSTALLATION, INCLUDING ALL PIPING, CONTROL DEVICES, FIXTURES AND ACCESSORIES SHALL REMAIN.
 - ALL EXISTING SYSTEMS SHALL BE INSPECTED, CLEANED, REPAIRED AS NEEDED, AND TESTED FOR PROPER OPERATION.
 - EXISTING WATER, SEWER, VENT PIPING TO BE EXTENDED TO NEW FIXTURE LOCATIONS.
 - ALL EXISTING SYSTEMS SHALL BE INSPECTED, CLEANED, REPAIRED AS NEEDED, AND TESTED FOR PROPER OPERATION.
 - ALL PLUMBING FIXTURES SHOWN ON THE PLANS ARE NEW.
 - ALL NEW PLUMBING FIXTURES TO USE EXISTING WATER PIPING, SEWER/VENT STUB-OUTS AS ALREADY PROVIDED TO THE VACANT SPACE

GROUND FLOOR COMMERCIAL

TOTAL TENANT AREA SQ FOOTAGE: 10,099 SQ. FT.
CONSTRUCTION TYPE: 1A
OCCUPANCY LOAD: 13 Total
FLOOR AREA @ SQ FT/15: 761 SF/60 = 13 Occupants
EXITS REQUIRED: 1 (1006.2.1)
EXISTING EXITS PROVIDED: 1
USE GROUP: M (Mercantile)
FIRE SPRINKLER: YES (SEC. 903.1.1)
MINIMUM CLEAR AISLE WIDTH (SEC. 1017.2/2018 IBC): 36"
MINIMUM CLEAR AISLE ACCESSWAY WIDTH (SEC. 1017.2/2018 IBC): 30"
MAX. EXIT ACCESS TRAVEL DISTANCE IS 75 FEET (1006.2.1)

GENERAL NOTES:

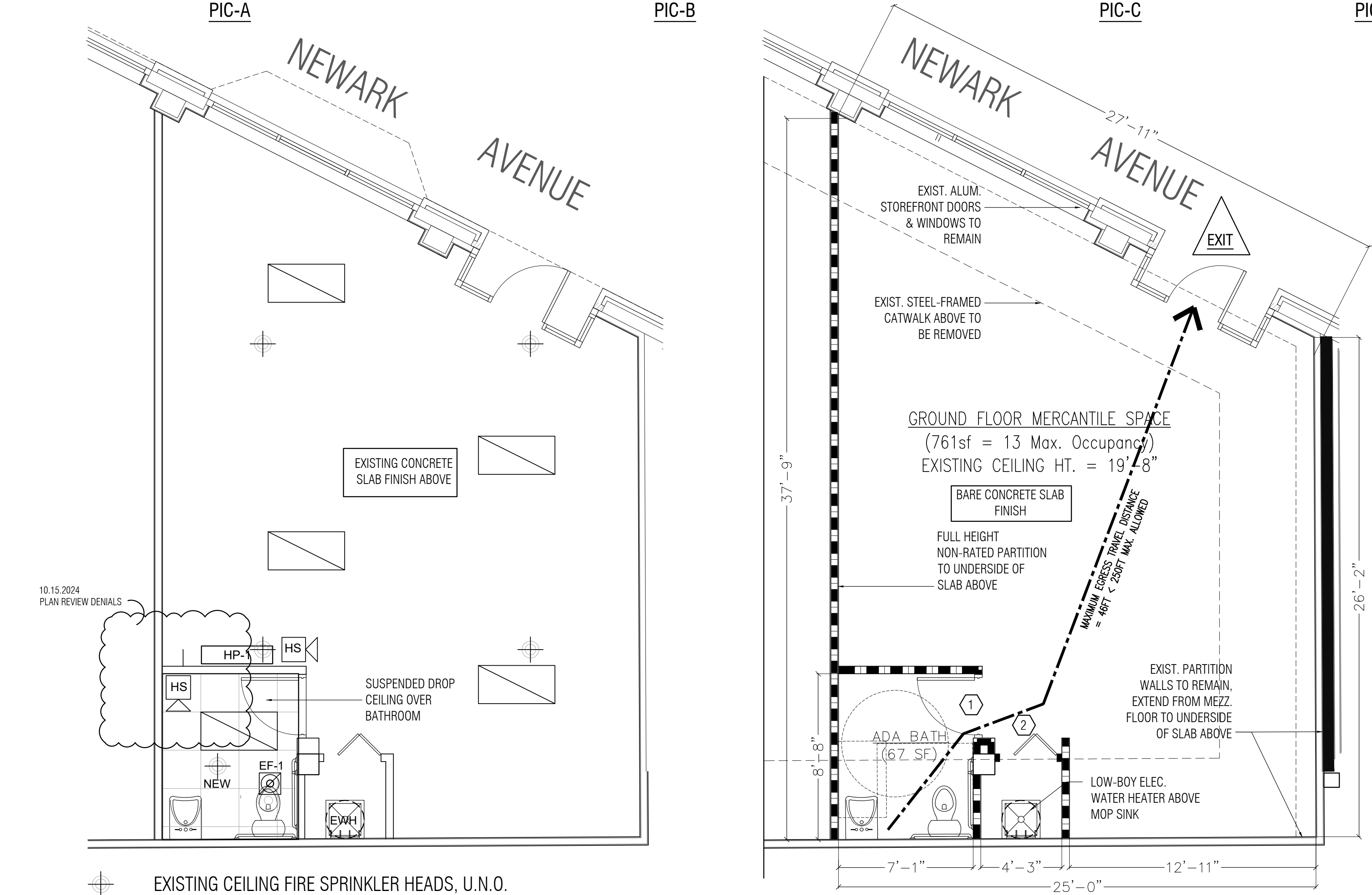
- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY, OR CONSULT THE ARCHITECT FOR ANY NECESSARY DIMENSIONS WHICH ARE NOT INDICATED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS AND ALL NECESSARY DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND ALL APPLICABLE SUB-CODES.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR THE WORK BEFORE COMMENCING CONSTRUCTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE WORK OF ALL SUBCONTRACTORS, AND FOR INSURING PROPER COORDINATION BETWEEN THE VARIOUS TRADES. ALL NECESSARY CUTTING AND PATCHING FOR MECHANICAL, ELECTRICAL AND PLUMBING WORK, INCLUDING ALL NECESSARY OPENINGS IN FLOOR, WALL OR ROOF FRAMING TO ACCOMMODATE THE WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR WHETHER INDICATED ON THE DRAWINGS OR NOT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION, INCLUDING THE INSTALLATION OF ALL TEMPORARY SHORING, SHEETING AND BRACING OF THE EXCAVATIONS AND STRUCTURE DURING CONSTRUCTION. THE G.C. IS ALSO RESPONSIBLE FOR ALL JOBSITE SAFETY AND SECURITY MEASURES TO PROTECT THE WORK, WORKMEN, THE PUBLIC AND ADJACENT PROPERTY DURING CONSTRUCTION.
- ALL MATERIALS USED ON THE PROJECT SHALL BE NEW, AND NO SUBSTITUTIONS OF ANY SPECIFIED MATERIALS SHALL BE PERMITTED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT/OWNER.

DEMOLITION NOTES:

- CONFORM TO APPLICABLE CODE FOR ANY DEMOLITION WORK, DUST CONTROL AND PRODUCTS REQUIRING ELECTRICAL DISCONNECTION.
- OBTAIN REQUIRED PERMITS FROM AUTHORITIES AND DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS OF PUBLIC AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE METHODS, MEANS AND DESTINATION OF ALL OFF-SITE DISPOSAL.
- DO NOT CLOSE OR OBSTRUCT EGRESS WIDTH TO ANY BUILDING OR SITE EXIT.
- PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
- NOTIFY AFFECTED UTILITY COMPANIES
- CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT UNITS.
- CONTRACTOR IS TO DESCRIBE DEMOLITION REMOVAL PROCEDURES AND SCHEDULE OF WORK.
- CONTRACTOR IS TO CONTACT ARCHITECT/ENGINEER BEFORE REMOVAL OF ANY EXISTING WALL IN WHICH CONTRACTOR IS UNSURE OF.
- DISCONNECT, REMOVE OR CAP AND IDENTIFY DESIGNATED UTILITIES WITHIN DEMOLITION AREAS.
- ERECT AND MAINTAIN WEATHERPROOF CLOSURES FOR EXTERIOR OPENINGS IF REPLACEMENT WILL NOT BE INSTALLED SIMULTANEOUSLY WITH THE REMOVAL OF EXISTING WORK.
- ALL EXISTING HVAC, WATER & SPACE HEATING EQUIPMENT TO REMAIN.
- EXISTING UTILITY LINES/CONNECTIONS ARE TO REMAIN.

COLD FORMED STEEL STUDS GENERAL NOTE:

- LIGHT GAUGE METAL TOP TRACK: CONTINUOUS CAULK SEALANT BETWEEN GYP. AND INTERIOR LEG OF TRACK.
- LIGHT GAUGE METAL BOTTOM TRACK FASTENED TO CONCRETE SLAB: REFER TO CLARK/DEITCH STRUCTURAL DRAWINGS FOR DETAILS; PROVIDE CONTINUOUS FOAM SILL SEALER BETWEEN STEEL TRACK AND SLAB AND CONTINUOUS CAULK SEALANT BETWEEN GYP. AND INTERIOR LEG OF TRACK (BOTH SIDES).



PROPOSED GROUND FLOOR PLAN

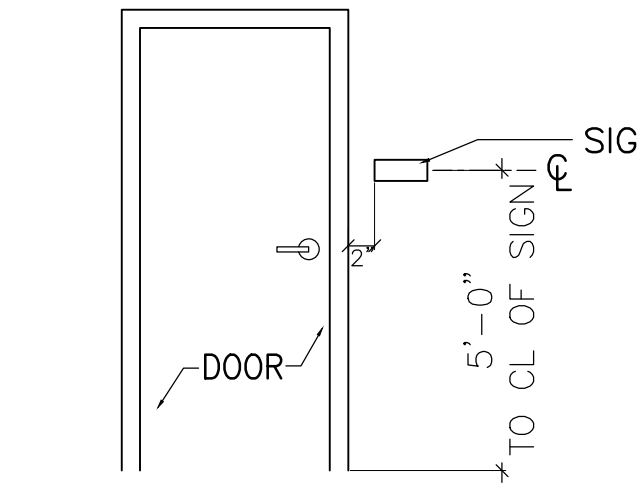
SCALE: 1/8" = 1'-0" TENANT GROSS FLOOR AREA = 761sf

WALL LEGEND

- EXISTING EXTERIOR & INTERIOR WALLS
- NEW METAL STUD FRAMED UNRATED PARTITION
- EXISTING 2-HR RATED CMU WALL
- UL# U-905

DOOR SCHEDULE:

- EXISTING TENANT SPACE STOREFRONT ENTRY DOORS TO REMAIN
- NEW 3'-0"x7'-0" INTERIOR BI-FOLD DOOR; SOLID WOOD CORE, 1" UNDERCUT, SELF-CLOSING PIANO HINGE, KEYED LATCH, PAINTED, VERIFY FINAL DESIGN WITH OWNER
- NEW 3'-0"x7'-0" INTERIOR PRE-HUNG SWINGING DOOR; SOLID WOOD CORE, 1" UNDERCUT, 1.5 PAIR SELF-CLOSING HINGES, LEVER PRIVACY LOCKSET, PAINTED, VERIFY FINAL DESIGN/FINISH WITH OWNER

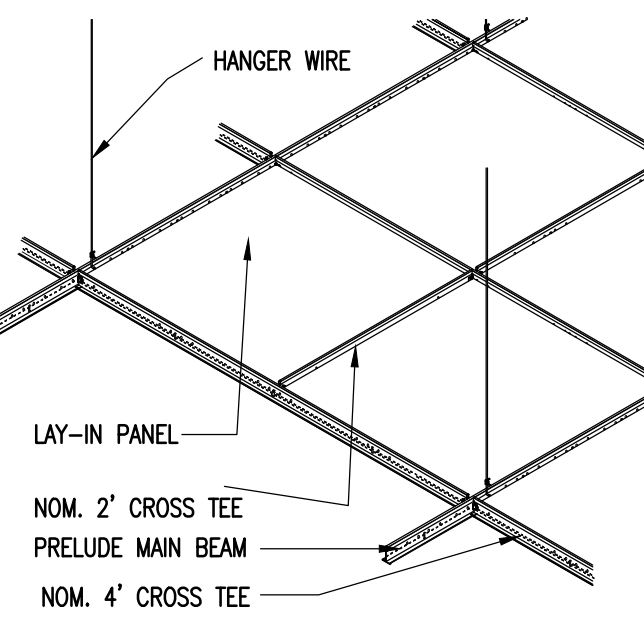


ADA BATHROOM SIGNAGE DETAIL

NOT TO SCALE

PROPOSED REFLECTED CEILING PLAN

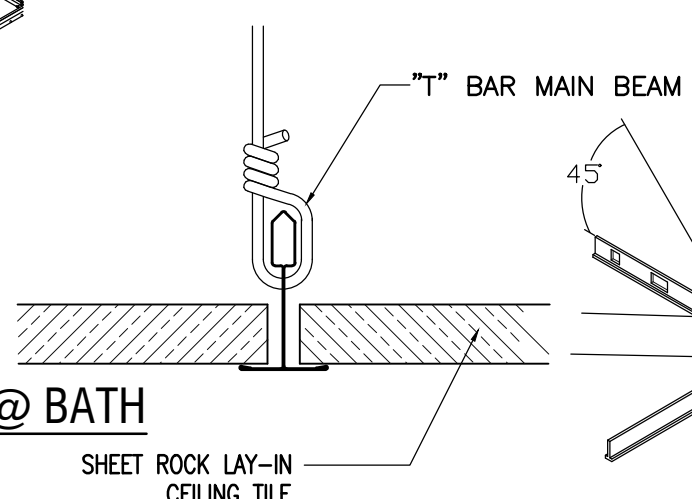
SCALE: 1/8" = 1'-0" TENANT GROSS FLOOR AREA = 761sf



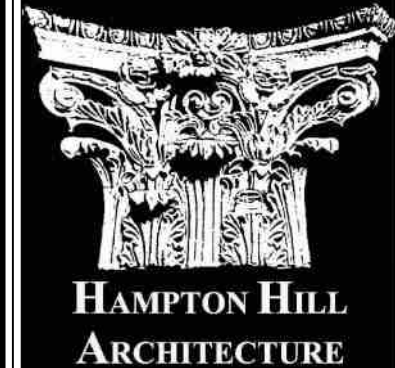
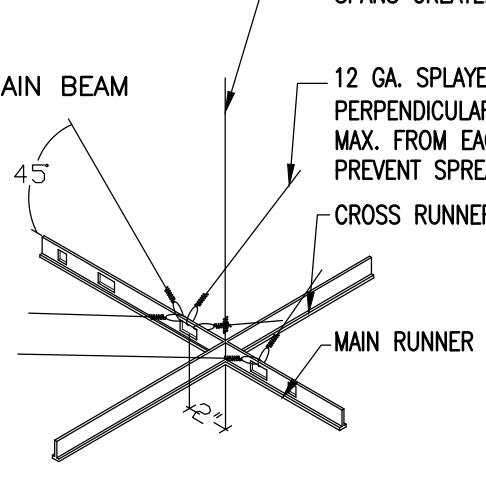
DROPPED CEILING DETAIL @ BATH

NOT TO SCALE

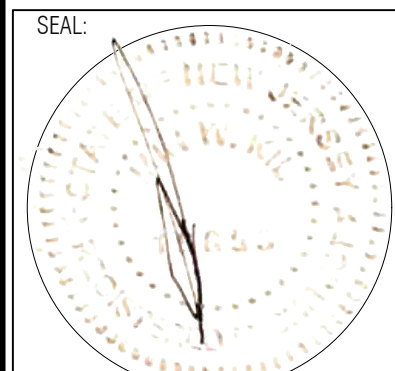
- NOTES:
- ALL HANGERS & SUPPORTS TO BE ATTACHED WITH 4 TURNS IN 1/2" (TYP.)
 - EDGE ANGLE PIECES FASTENED TO ADJACENT WALLS
 - ALL MAIN AND CROSS TEES, THEIR SPLICES AND INTERSECTING CONNECTIONS SHALL BE ADEQUATE TO RESIST 72 LB. IN TENSION.



- NOTES:
- 12 GA VERTICAL HANGER @ 4'-0" O.C., ATTACHED TO TRAPEZE @ MAX. FROM EACH END OR BREAK TO PREVENT SPREADING FOR SPANS GREATER THAN 4'-0"
 - 12 GA SPAYLED WIRE BRACING PERPENDICULAR TO EACH RUNNER 8" MAX. FROM EACH END OR BREAK TO PREVENT SPREADING



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MIN W. KIL
Registered Architect: NJ LIC 21 A101953300

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TENANT FIT-OUT OF EXISTING VACANT COMMERCIAL SPACE INTO A VANILLA BOX SPACE

245 Newark Avenue
Jersey City, NJ
Block: 11110
Lots: 6.02

SUBMISSIONS:

REVISIONS:
PLAN REVIEW DENIALS 10.15.2024

DRAWN BY: RAA
CHKD BY: MK
ISSUE DATE: 06.20.2024
PROJECT NO: 20016_1

SHEET TITLE:
PROJECT INFORMATION
CURRENT SITE PLAN/LEGEND
PROPOSED FLOOR PLAN
NOTES & DETAILS

SHEET No.

A-100

MECHANICAL NOTES:

- RESTROOM EXHAUST AIR DUCTWORK MOUNTED TIGHT TO THE CEILING AS POSSIBLE.
- REMOTE PROGRAMMABLE THERMOSTATS MOUNTED @ 48" +/- ABOVE FINISHED FLOOR. MOUNT ON WALL FOR DESIGNATED AREAS WITH LOCKABLE COVERS. FIELD VERIFY FINAL LOCATIONS.
- COORDINATE DUCT LOCATIONS WITH OTHER TRADES AND WITH OWNER FOR FINAL DESIGN OF THE SPACE.

LOCATION OF EXHAUST OUTLETS

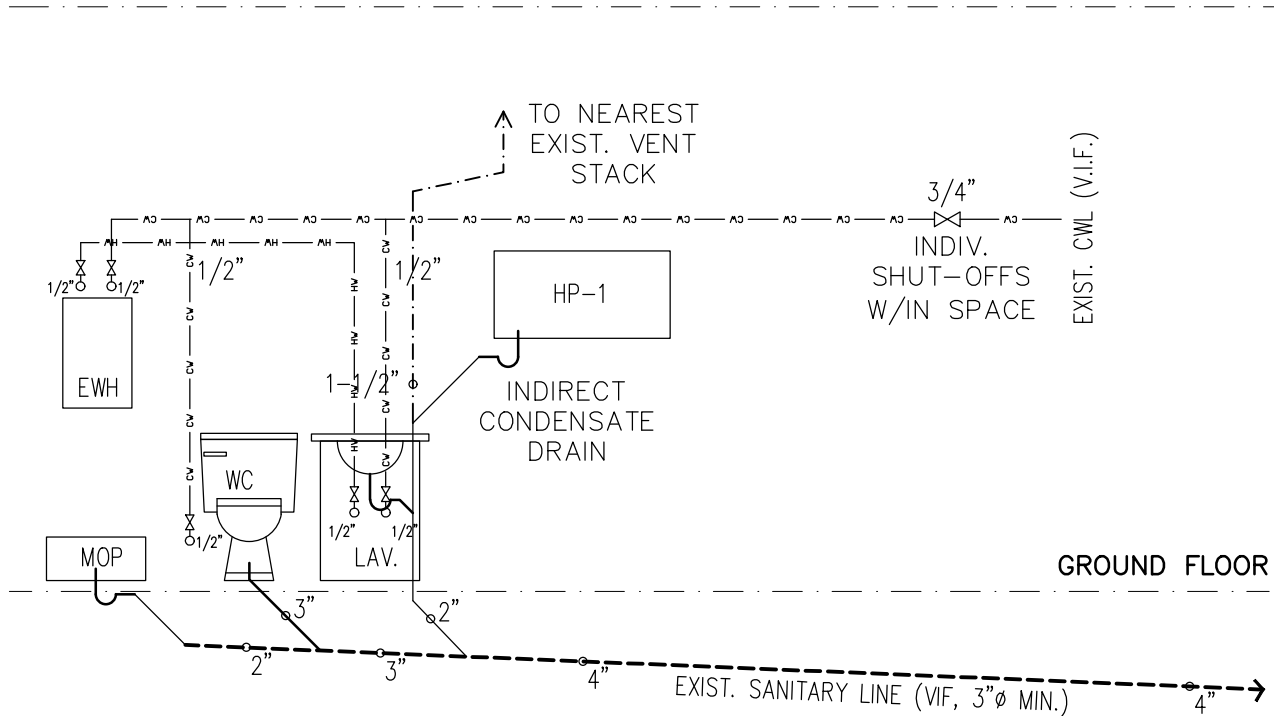
2021 IMC CHAPTER 501.3.1
BATHROOM EXHAUST (ENVIRONMENTAL AIR)
DIRECTION OF EXHAUST DISCHARGE SHALL BE:
- 3 FEET MINIMUM FROM PROPERTY LINES;
- 3 FEET MINIMUM FROM OPERABLE OPENINGS INTO BUILDING;
- 3 FEET FROM MECHANICAL AIR INTAKES

MECHANICAL EQUIPMENT SCHEDULE

MARK	LOCATIONS	ITEM	MANUFACTURER
CU-1	REAR 1-STORY ROOF (VERIFY IN FIELD)	NEW 2.5-TON DUCTLESS SPLIT SYSTEM AC CONDENSER DUAL-ZONE	LG OR EQUAL
HP-1	COMMERCIAL SPACE	NEW WALL MOUNTED 15MBTU HEAT PUMP	LG OR EQUAL
EF1	HALF BATH	50 CFM COMBINATION LIGHT/EXHAUST FANS	
EWB	COMMERCIAL BATH	19GAL. 4.5KW LOW-BOY ELECTRIC WATER HEATER	BRADFORD WHITE OR EQUAL

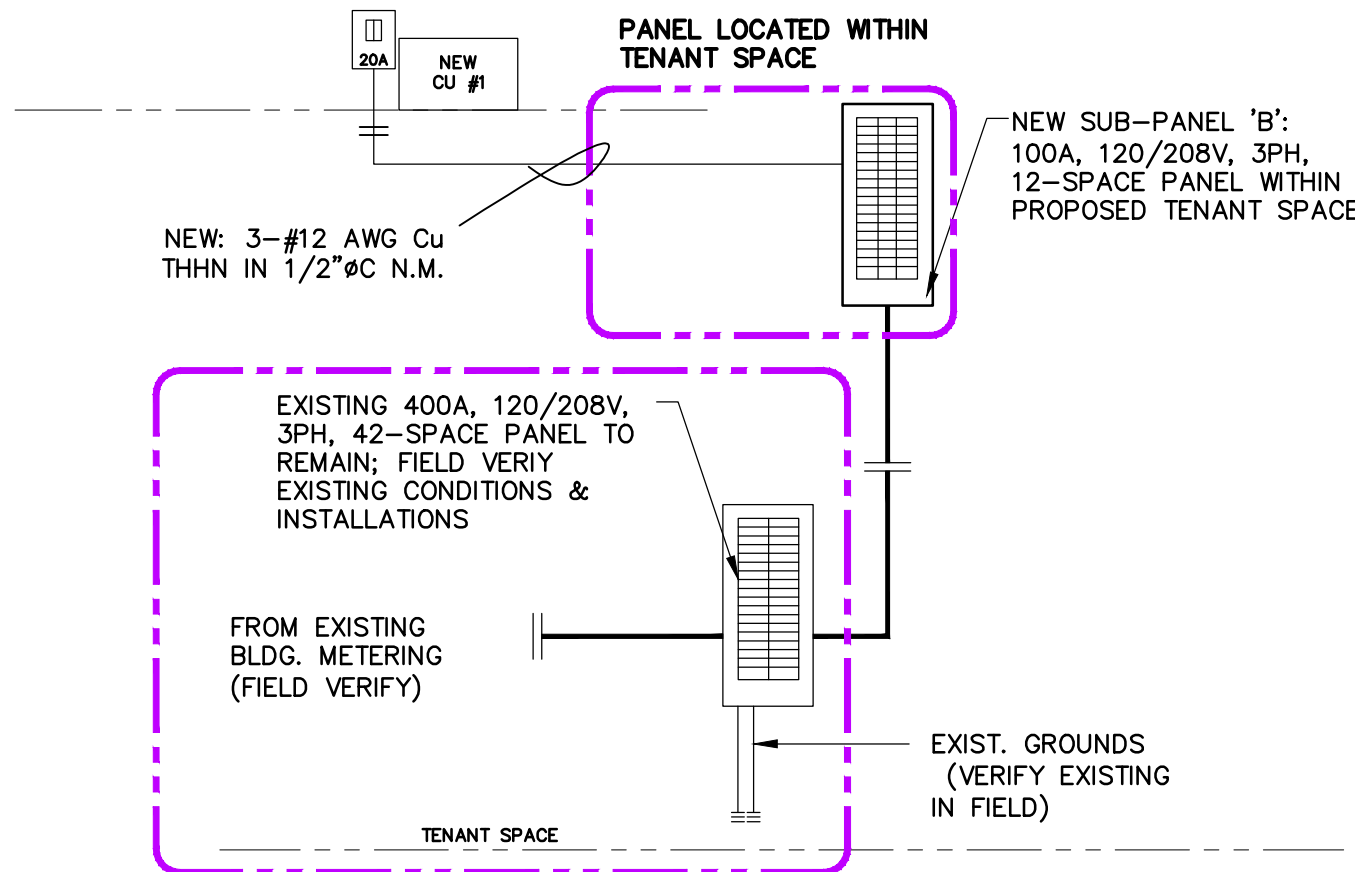
*VERIFY ALL EQUIPMENT/FIXTURE TYPES, COLORS, FINISHES AND ASSOCIATED ACCESSORIES WITH OWNER/ARCHITECT PRIOR TO PURCHASING MATERIALS AND/OR INSTALLATION. SUBMIT SAMPLES FOR APPROVAL.

EXISTING RESIDENTIAL UNITS ABOVE



10 PLUMBING/SANITARY/VENTING RISER DIAGRAM

NOT TO SCALE

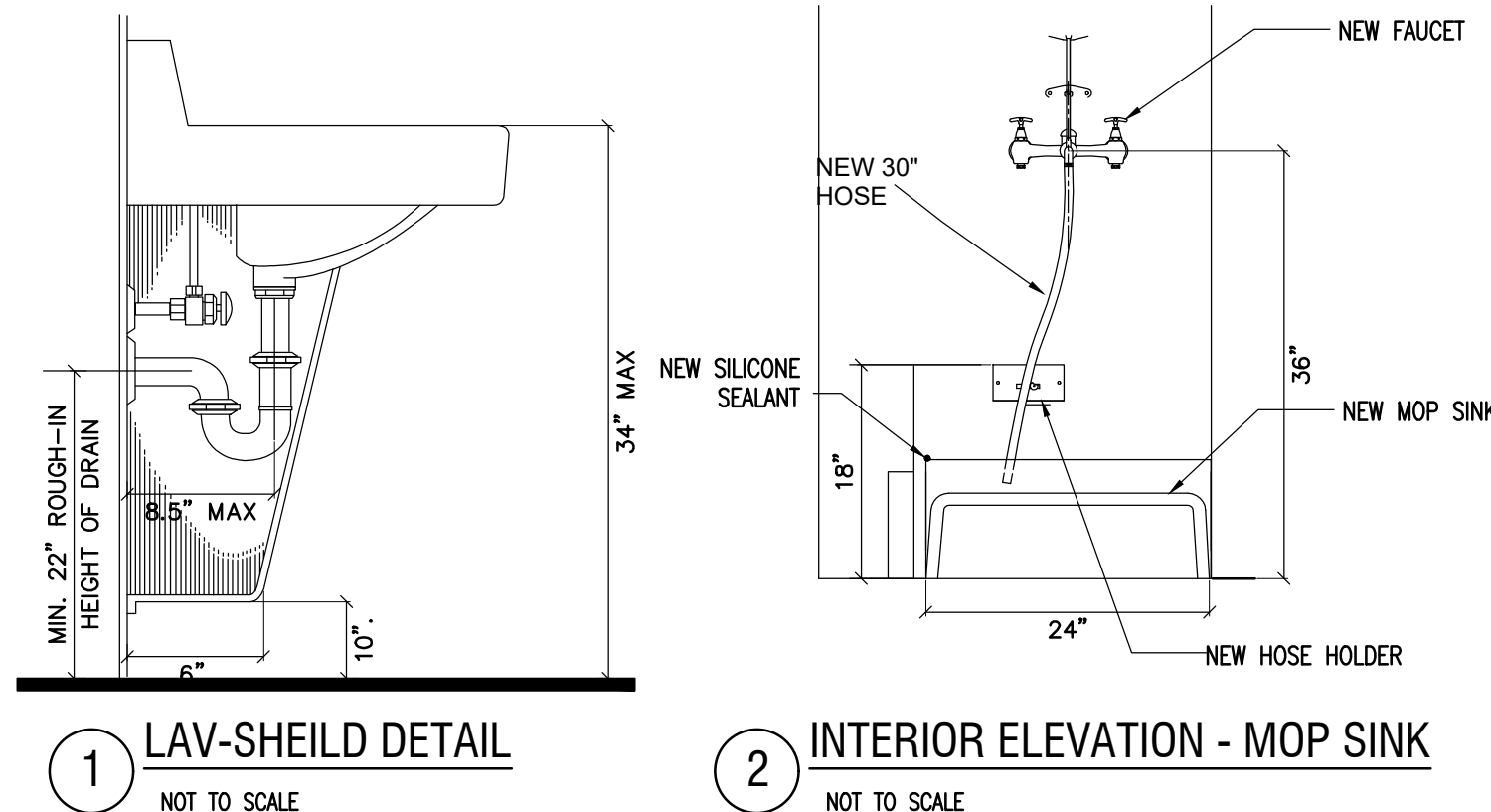


9 ELECTRICAL SERVICE RISER DIAGRAM

NOT TO SCALE

ELECTRICAL NOTES:

- ALL ELECTRICAL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION, NEW JERSEY UNIFORM CONSTRUCTION CODE, NEW JERSEY UNIFORM FIRE CODE, AND PSE&G REQUIREMENTS.
- ALL ELECTRICAL WORK IS TO BE PERFORMED BY AN ELECTRICAL CONTRACTOR LICENSED IN THE STATE OF NEW JERSEY.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AS WELL AS SCHEDULING AND OBTAINING ALL NECESSARY INSPECTIONS OF THE WORK BY LOCAL AUTHORITIES HAVING JURISDICTION.
- EXISTING ELECTRICAL SERVICE TO REMAIN. INSTALL NEW MAIN SERVICE CONNECTIONS TO THE BUILDING, WITH NEW MAIN DISCONNECT, EXTERIOR CONDUIT AND CONDUCTORS AS NECESSARY.
- REFER TO DIAGRAMS FOR GENERAL ARRANGEMENT OF ELECTRICAL SERVICE EQUIPMENT.
- COORDINATE LAYOUT OF ELECTRICAL SERVICE EQUIPMENT WITH G.C. AND TELEPHONE/CABLE TV UTILITIES PRIOR TO INSTALLATION TO COORDINATE ARRANGEMENT OF EQUIPMENT ON PANEL.
- SCOPE OF WORK: THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR INSPECTING AND PROVIDING REPLACEMENT FIXTURES AND DEVICES TO DAMAGED OR NON-WORKING UNITS, AS WELL AS ALL WORK WITHIN THE TENANT SPACE WHICH IS REQUIRED TO PROVIDE A FINISHED INSTALLATION.
- ALL ELECTRICAL FIXTURES AND EQUIPMENT ARE TO BE AS CHOSEN OR SUPPLIED BY OWNER.
- ALL WIRING IS TO BE RUN CONCEALED IN WALL, FLOOR OR CEILING CONSTRUCTION. FIRE CAULK AND SEAL ALL WIRE PENETRATIONS THROUGH FIRE RATED PARTITIONS OR FLOOR-CEILING ASSEMBLIES. FIRE SEALING OF PENETRATIONS IS THE ELECTRICAL SUBCONTRACTOR'S RESPONSIBILITY.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING ALL ELECTRICAL WORK IN THE DWELLING UNITS, AND VERIFYING THE CONTINUITY AND GROUNDING OF EACH BRANCH CIRCUIT AND THE PROPER OPERATION OF ALL DEVICES.
- ALL INTERIOR WIRING IS TO BE:
 - ALL WIRING THAT WILL BE EXPOSED IN THE FINISHED CONSTRUCTION MUST BE IN CONDUIT.
 - ALL EXTERIOR AND SERVICE ENTRANCE WIRING IS TO BE RUN IN NON-METALLIC CONDUIT OR EMT.
 - ALL COUNTERTOP RECEPTACLES SHALL HAVE GFCI PROTECTION, AS WELL AS ANY RECEPTACLES WITHIN 6 FT. OF ANY SINK.
- ALL TOILET ROOM RECEPTACLES SHALL HAVE GFCI PROTECTION.
- ALL OUTDOOR RECEPTACLES SHALL BE WEATHER-PROOF AND HAVE GFCI PROTECTION.
- ALL DWELLING UNIT RECEPTACLES EXCEPT THOSE IN THE BATHROOM SHALL BE PROVIDED WITH ARC FAULT CIRCUIT INTERRUPTER PROTECTION.
- LIGHTING FIXTURES, SWITCHES AND OUTLETS SHALL BE CHOSEN BY OWNER. FINAL LIGHTING FIXTURE LOCATIONS TO BE VERIFIED BY OWNER IN FIELD.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS IN FIELD AND PROVIDE HIS ASSESSMENT OF EXISTING ELECTRICAL INSTALLATION WITH REGARDS TO PROPOSED INSTALLATION, AND SHALL NOTIFY THE OWNER/ARCHITECT.
- EXISTING EQUIPMENT NOT TO BE REUSED SHALL BE REMOVED. UNUSED EXISTING CONDUCTORS TO BE DISCONNECTED AND REMOVED IF POSSIBLE.

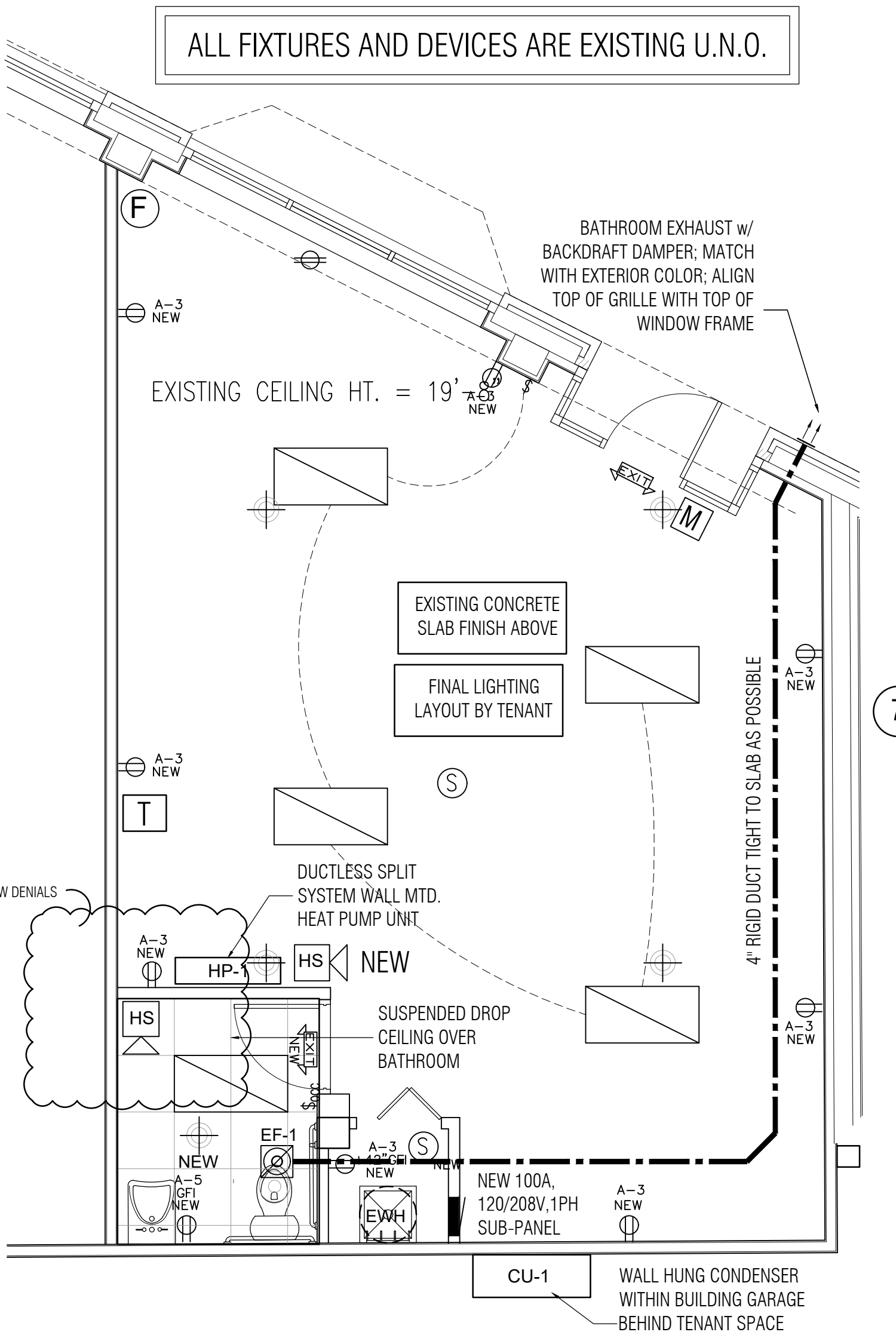


1 LAV-SHIELD DETAIL

NOT TO SCALE

2 INTERIOR ELEVATION - MOP SINK

NOT TO SCALE



8 PROPOSED MECHANICAL & ELECTRICAL PLAN

SCALE: 1/8" = 1'-0" TENANT GROSS FLOOR AREA = 761sf

EXISTING CEILING FIRE SPRINKLER HEADS, U.N.O.

PLUMBING CALCULATIONS:

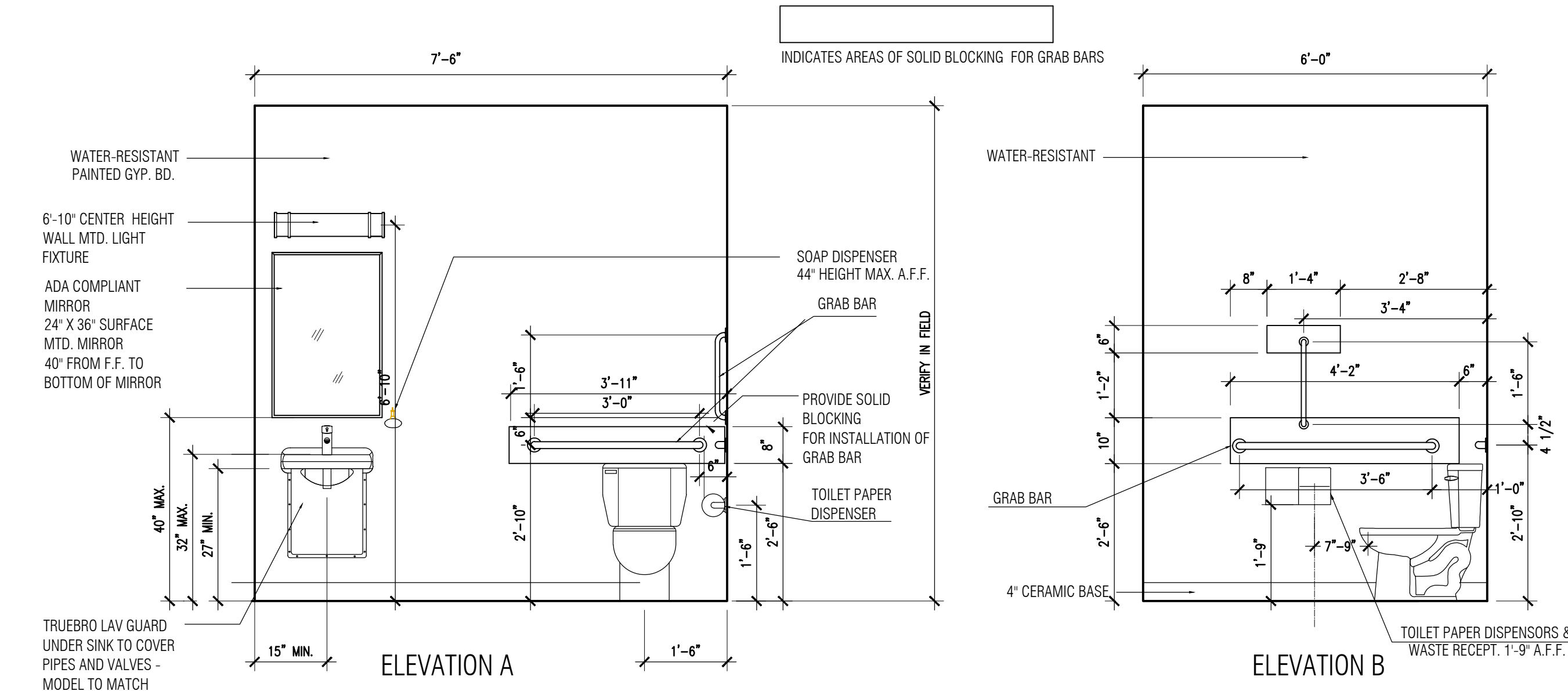
ESTIMATED DOMESTIC WATER USE - WSFU:
1. (1) HALF BATH @ 2.5 WSFU = 2.5 WSFU
2. (1) MOP SINK @ 1.5 WSFU = 1.5 WSFU
TOTAL = 4.0 WSFU

>>>1/2" WATER SUPPLY FROM EXISTING BUILDING SERVICE. VERIFY EXISTING SERVICE IN FIELD

ESTIMATED SEWER FLOW - DFU:
1. (1) HALF BATH @ 2.0 DFU = 2.0 DFU
2. (1) MOP SINK @ 1.0 DFU = 1.0 DFU
TOTAL = 3.0 DFU

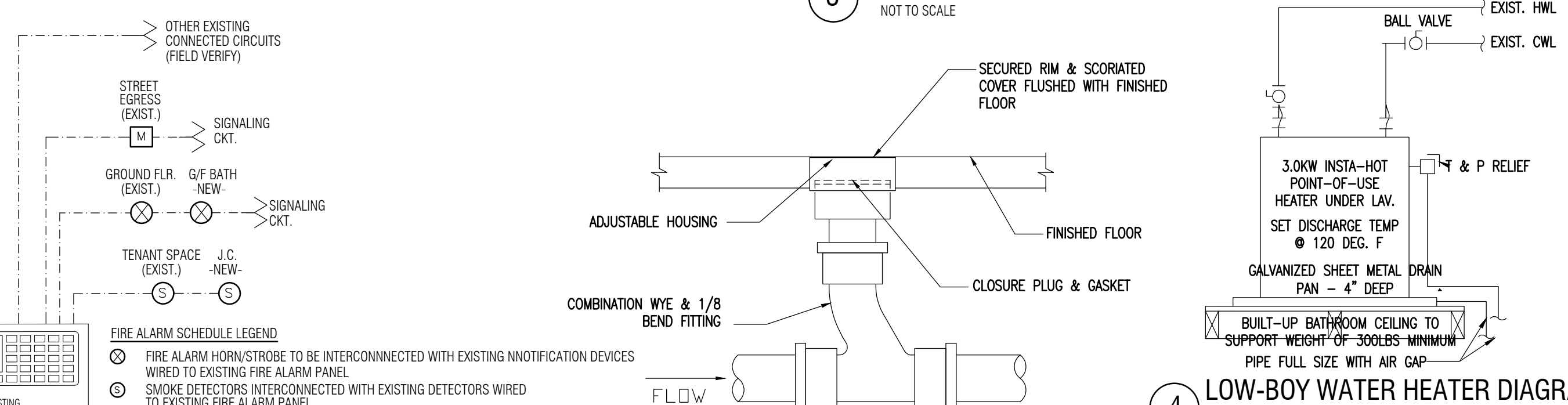
>>> 3/8" MIN. @ 1" PER FT. SLOPE
PER 2021 NSPC, 3/8" DRAIN @ 1" PER FT. SLOPE = 42 DFUS, EXISTING SANITARY LINES SHALL BE USED. VERIFY EXISTING CONDITIONS IN FIELD. PROVIDE VIDEO PIPE INSPECTION AND LICENSED PLUMBER'S REPORT.

NO PROPOSED NEW GAS APPLIANCES



3 TYPICAL ADA BATHROOM DETAILS

NOT TO SCALE



7 FIRE ALARM PANEL SCHEMATIC DIAGRAM

(COMMERCIAL SPACE ONLY, FIELD VERIFY EXIST. INSTALL)

PLUMBING FIXTURE COUNT CALCULATIONS

- PLUMBING FIXTURES ANALYSIS (NSPC 7.21.1)
- TOTAL OCCUPANTS (IBC 1004.1.2):
TOTAL 13 MAX
 - NSPC OCCUPANT CALC BASED ON EGRESS (7.21.2(b)):
0.66 x 13 = 9 OCCUPANTS
 - OCCUPANT COUNT PER GENDER:
5 FEMALE / 5 MALE

(1) ADA ACCESSIBLE RESTROOM PROVIDED FOR BOTH CUSTOMERS AND EMPLOYEES

*NSPC 7.21.4(a)(2): Separate Facilities
In occupancies serving 15 or fewer people, one toilet facility, designed for use by no more than one person at a time, shall be permitted for use by both sexes.

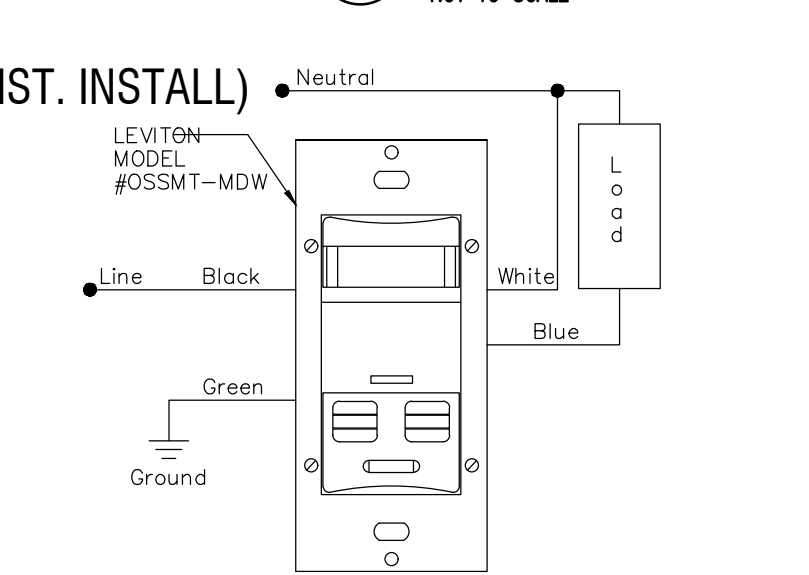
ELECTRICAL SYMBOLS:

- 2X4 TROFFER LED LIGHTS
- NEW SINGLE POLE SWITCH - LETTERS FIXTURE BEING SWITCHED
- NEW OCCUPANCY SENSOR SWITCH 'A'
- DUPLEX RECEPTACLE
- CEILING MOUNTED DUPLEX RECEPTACLE
- GROUND FAULT INTERRUPTER RECEPTACLE
- TELEPHONE/DATA OUTLET
- ELEC. DIST. SUB-PANEL
- FIELD VERIFY
- EMERGENCY EXIT SIGN W/ LED EMER. LIGHTS
- BATHROOM EXHAUST FAN
- SMOKE DETECTORS WIRED TO FIRE ALARM PANEL
- FIRE ALARM HORN/STROBE
- MANUAL FIRE ALARM PULL
- NEW ELECTRIC LOW-BOY WATER HEATER (208V)
- NEW FIRE EXTINGUISHERS

ALL FIXTURES AND DEVICES ARE EXISTING U.N.O.

5 FLOOR DRAIN DETAIL

NOT TO SCALE



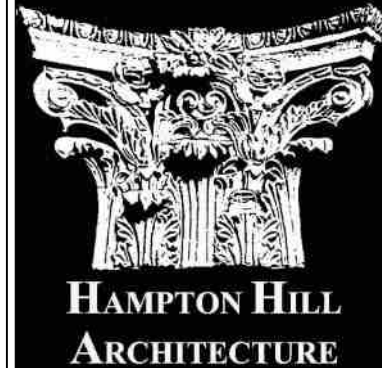
6 WALL SWITCH OCCUPANCY SENSOR

NOT TO SCALE

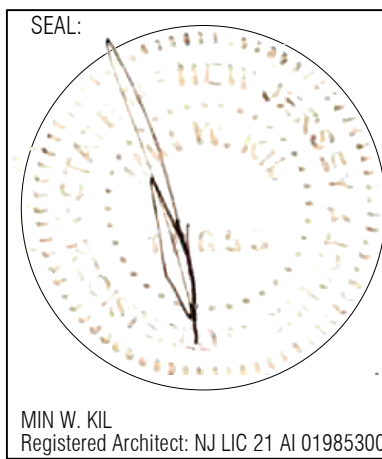
PLUMBING NOTES:

- ALL PLUMBING WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL STANDARD PLUMBING CODE.
- THE PLUMBING WORK IS TO BE PERFORMED BY A CONTRACTOR OR SUBCONTRACTOR LICENSED IN THE STATE OF NJ.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PLUMBING PERMITS AND INSPECTIONS FOR THE WORK.
- CONTRACTOR TO VERIFY IN FIELD ALL EXISTING CONDITIONS AND ASSESS ALL EXISTING INSTALLATIONS PLANNED TO REMAIN.
- EXTEND HOT AND COLD WATER PIPING TO NEW FIXTURE LOCATIONS.
- ALL NEW PLUMBING FIXTURES ARE TO BE AS CHOSEN BY OWNER.
- NEW DRAIN, WASTE AND VENT PIPING IS TO BE SCHEDULE 40 PVC WITH CEMENTED FITTINGS.
- NEW HOT AND COLD WATER PIPING IS TO BE EITHER COPPER PIPE/TUBING WITH SOLDERED FITTINGS OR CPVC WITH CEMENTED FITTINGS OR PEK TUBING WITH APPROPRIATE COMPRESSION FITTINGS.
- PLUMBER SHALL COORDINATE ALL JOIST CUTTING WITH FRAMER AND ENGINEER PRIOR TO CUTTING ANY FLOOR JOISTS. ANY INCORRECTLY CUT OR NOTCHED MEMBERS SHALL BE REPLACED OR REPAIRED SOLELY AT THE PLUMBING CONTRACTOR'S EXPENSE.
- EXISTING PIPES FOR HYDRONIC HEATING SHALL BE TERMINATED, ABANDONED AND CAPPED.
- PLUMBING CONTRACTOR TO VERIFY W/ PSE&G IF UPDATING EXISTING GAS SERVICE WILL BE NECESSARY.
- PROVIDE DRIP LEG, VALVE AND UNION AT EACH GAS APPLIANCE.
- CONTRACTOR TO VERIFY EXISTING GAS SERVICE PRESSURE AND COMPATIBILITY WITH PROPOSED APPLIANCES.
- ALL UNUSED WATER, SEWER AND GAS LINES TO BE CUT, CAPPED AND ABANDONED.
- PROVIDE THERMOSTATIC MIXING VALVES TO LIMIT HOT WATER TEMPERATURE TO MAX 120DEG.

NEW SUB-PANEL (SP-1): 100A 120/208V, 1PH., 60Hz MLO									
CKT. NO.	BRKR. AMPS	DESCRIPTION	KVA		KVA	DESCRIPTION	BRKR. AMPS	CKT. NO.	
1	20	LIGHTING CIRCUIT	0.8		1.0	RECEPTACLES CIRCUIT	20	2	
3	20	ACU-1	2.7		4.5	LOW-BOY WATER HEATER	40	4	
5	20							40	6
7	15	BATHROOM CIRCUIT	0.8			SPACE		15	7
9		SPACE				SPACE			8
11		SPACE				SPACE			12
			5.20		4.60	TOTAL CONNECTED LOAD:	9.80KVA		
A B PHASE									
TOTAL DEMAND LOAD = 9.8KW >>>47.13A - 100A PROVIDED									



109 Liberty View Drive, #1Ga
Jersey City, NJ 07302
201.516.4293
mnsval2@comcast.net
minwkl@msn.com
bob.a@hamptonhillnj.com



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TENANT FIT-OUT
OF EXISTING
VACANT
COMMERCIAL
SPACE INTO A
VANILLA BOX
SPACE

245 Newark Avenue
Jersey City, NJ
Block: 11110
Lots: 6.02

SUBMISSIONS:

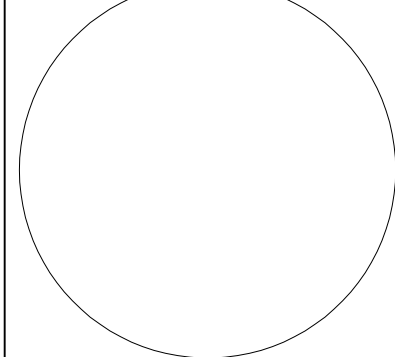
REVISIONS:
PLAN REVIEW DENIALS 10.15.2024

DRAWN BY: RAA
CHKD BY: MK
ISSUE DATE: 06.20.2024
PROJECT NO: 20016_1

SHEET TITLE:
MEP
NOTES, DETAILS & DIAGRAMS

SHEET No.

A-110



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**TENANT FIT-OUT
OF EXISTING
VACANT
COMMERCIAL
SPACE INTO A
VANILLA BOX
SPACE**

245 Newark Avenue
Jersey City, NJ
Block: 11110
Lots: 6.02

SUBMISSIONS:

F Rating - 3 Hr
T Rating - 0 Hr

L Rating At Ambient - Less Than 1 CFM/Sq Ft
L Rating At 400 F - 4 CFM/Sq Ft

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