

# LOREBURNE SHOPPING CENTRE, HIGH STREET

DUMFRIES, DG1 2BD





# SUMMARY

- Prime location within the Town Centre
- Strong footfall of 3 million per annum
- Safe and secure car park
- Established local & national retailers
- Broad range of unit layouts to support all business sizes
- Strong sense of community amongst retailers

# DESCRIPTION

The Loreburne Shopping Centre is Dumfries' prime retail destination, offering a wide mix of national and independent retailers in a modern, well-maintained environment. Anchored by leading high street brands, the superbly managed centre benefits from strong daily footfall and serves as the go-to shopping hub for Dumfries and the wider region.

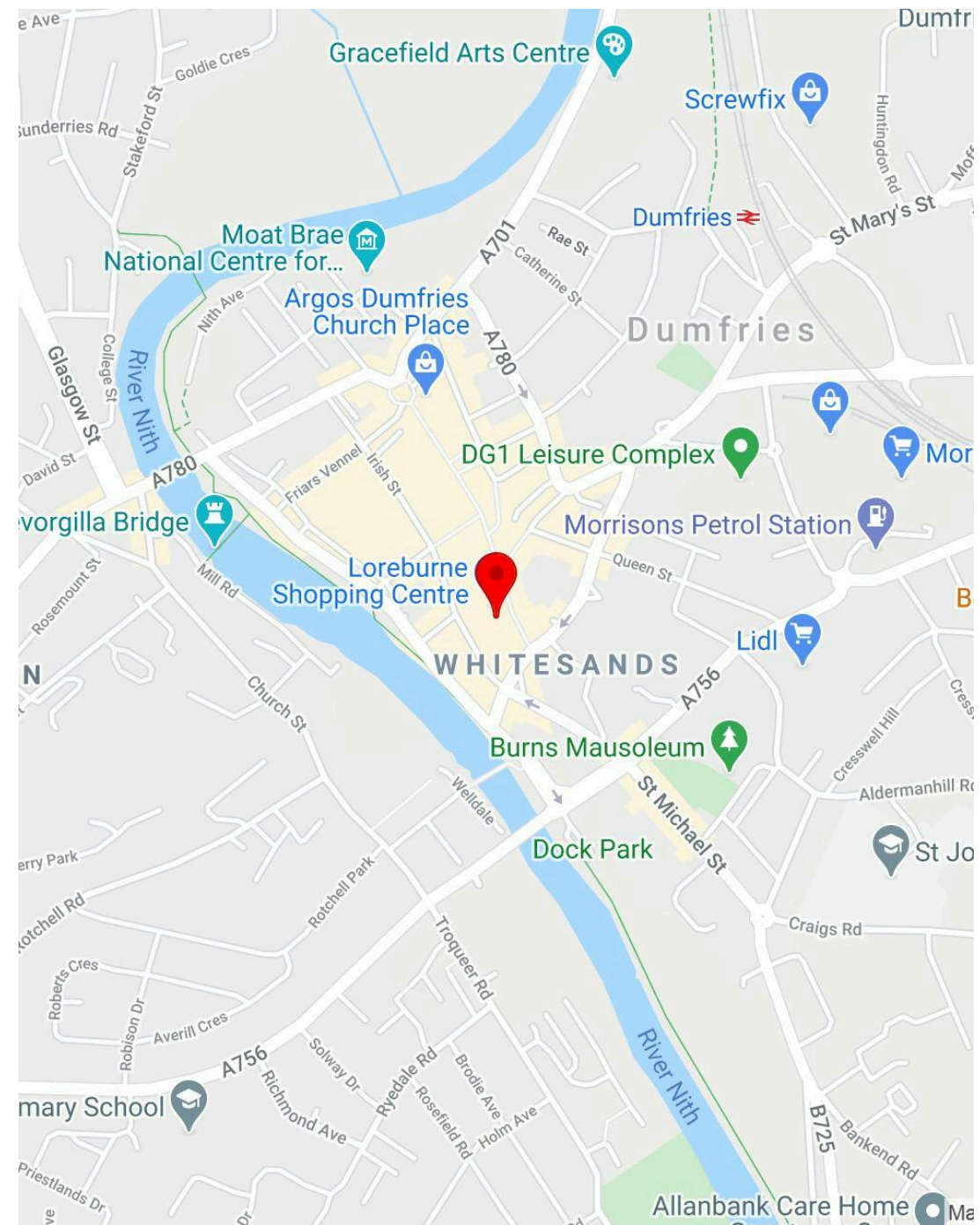
Units are available in a range of sizes, providing flexible opportunities for retailers, service providers, and leisure operators. Recent investment and upgrades have enhanced the centre's appeal, making it a vibrant location for both established brands and growing businesses.



# LOCATION

Located in the heart of Dumfries town centre, Loreburne Shopping Centre enjoys a highly prominent position with direct pedestrian access from both High Street and Shakespeare Street. Dumfries is the principal retail and administrative centre for southwest Scotland, drawing customers from a wide catchment area.

The town is well connected, with Dumfries railway station just a short walk away, offering regular services to Carlisle, Glasgow, and beyond. Road links are excellent, with the A75 trunk road providing access to the M6 motorway and wider UK network. Ample nearby parking and good public transport links make the centre convenient and accessible for shoppers and staff alike.





Loreburne Shopping Centre



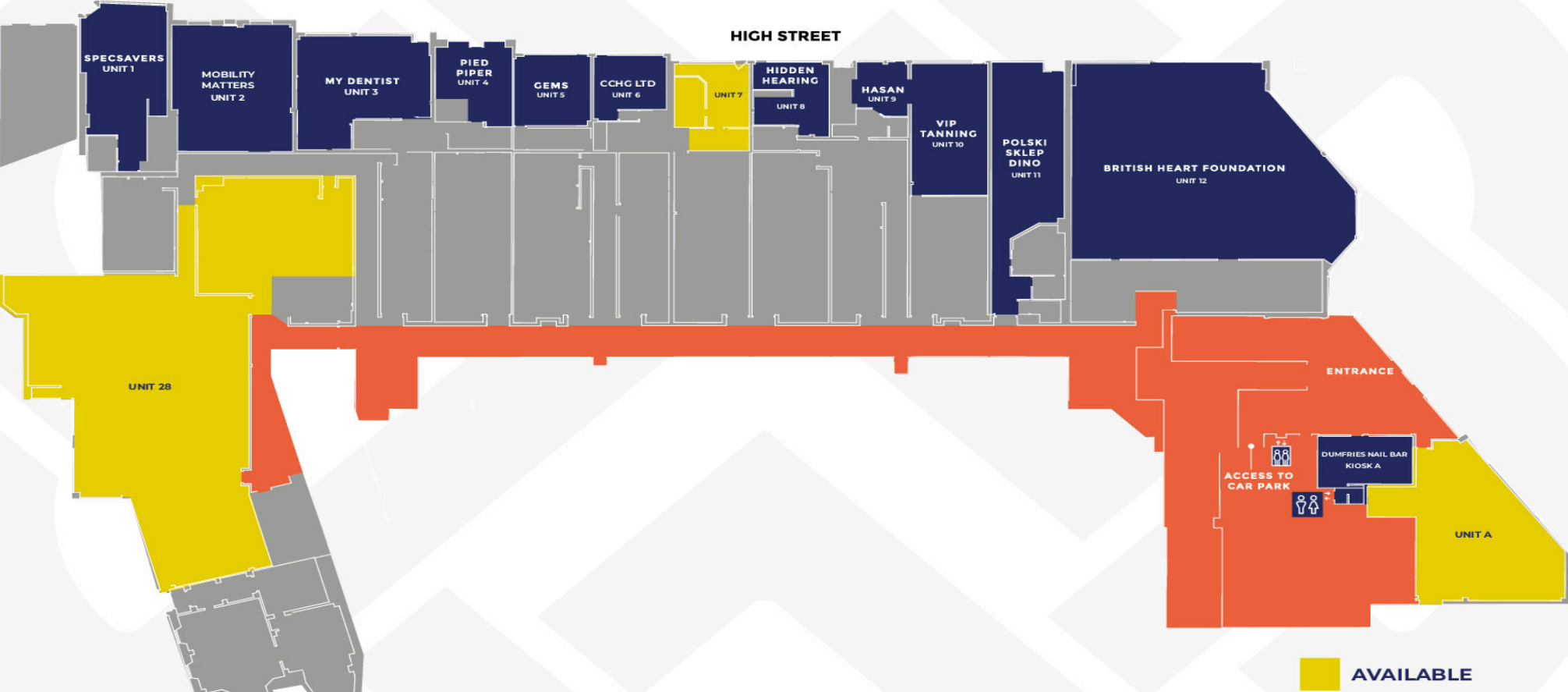


**Loreburne Shopping Centre**





LOWER GROUND FLOOR PLAN



GROUND FLOOR PLAN



# AVAILABILITY

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| NAME             | SQ FT | RENT          | SERVICE CHARGE |
|------------------|-------|---------------|----------------|
| Unit - 7         | 384   | £625 /month   | On Application |
| Unit - 17        | 1,486 | £1,916 /month | On Application |
| Unit - 24        | 1,157 | £1,666 /month | On Application |
| Unit - 26        | 2,189 | £2,708 /month | On Application |
| Unit - 28        | 5,730 | £2,083 /month | On Application |
| Unit - 30        | 2,829 | £3,750 /month | On Application |
| Unit - 33-34     | 2,805 | £3,958 /month | On Application |
| Ground - Store A | 1,492 | £1,000 /month | On Application |
| Unit - Store B   | 4,094 | £5,833 /month | On Application |
| Unit - 2         | 1,503 | £1,250 /month | n/a            |



TO ARRANGE A VIEWING, PLEASE CONTACT



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