

Town
SET

APPROVED	
SUBJECT TO BUILDING DEPT. APPROVAL TOWN OF APPLE VALLEY PLANNING DEPT.	
PROJECT MEETS ZONING STANDARDS-NO FURTHER PLANNING PERMITS ARE REQUIRED	
SIGNATURE <i>Plupp</i>	DATE 10-6-11

TOWN OF APPLE VALLEY

ADDRESS 16177 Ramona RD.

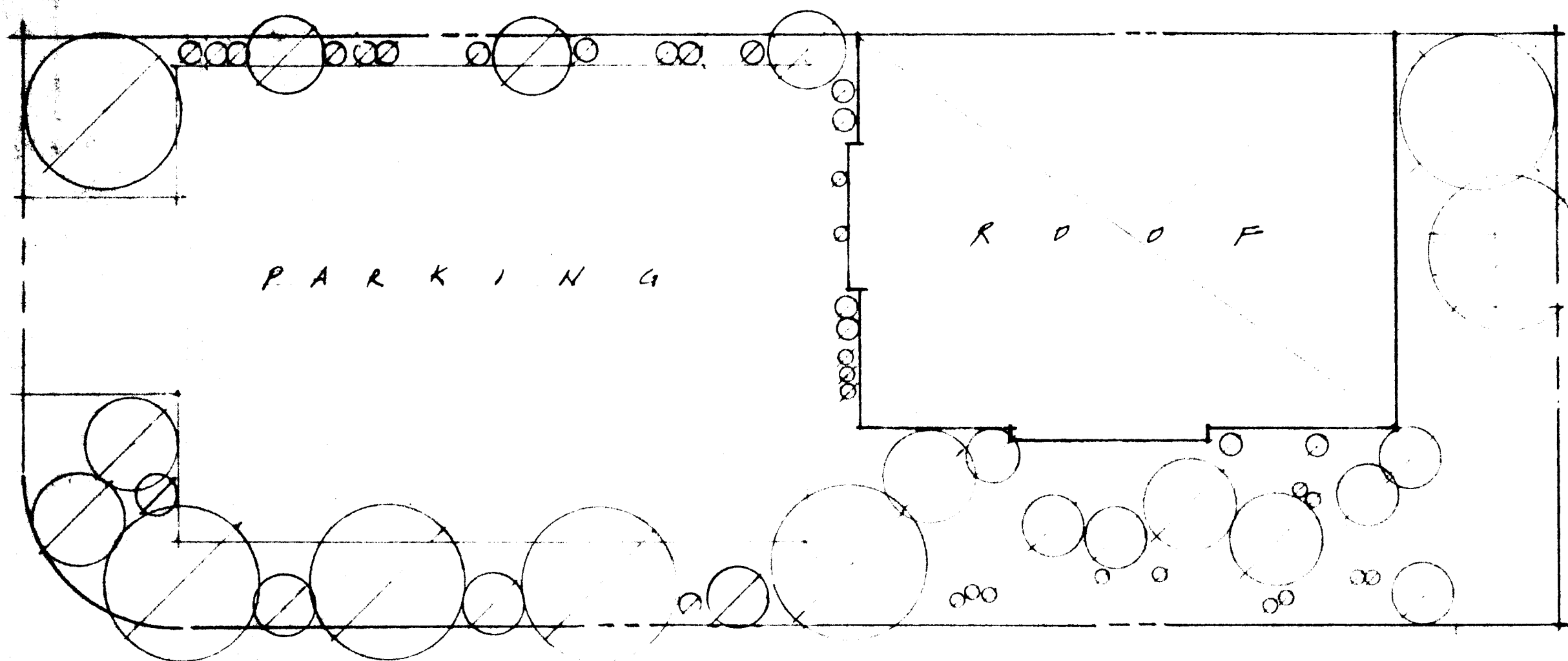
OWNER Carlucci ZONING 7-10-11

APPROVED 7-28-11 DATE 10/6/11 SIGNATURE James G. Peterson

58929 59494

Medicine Bldg

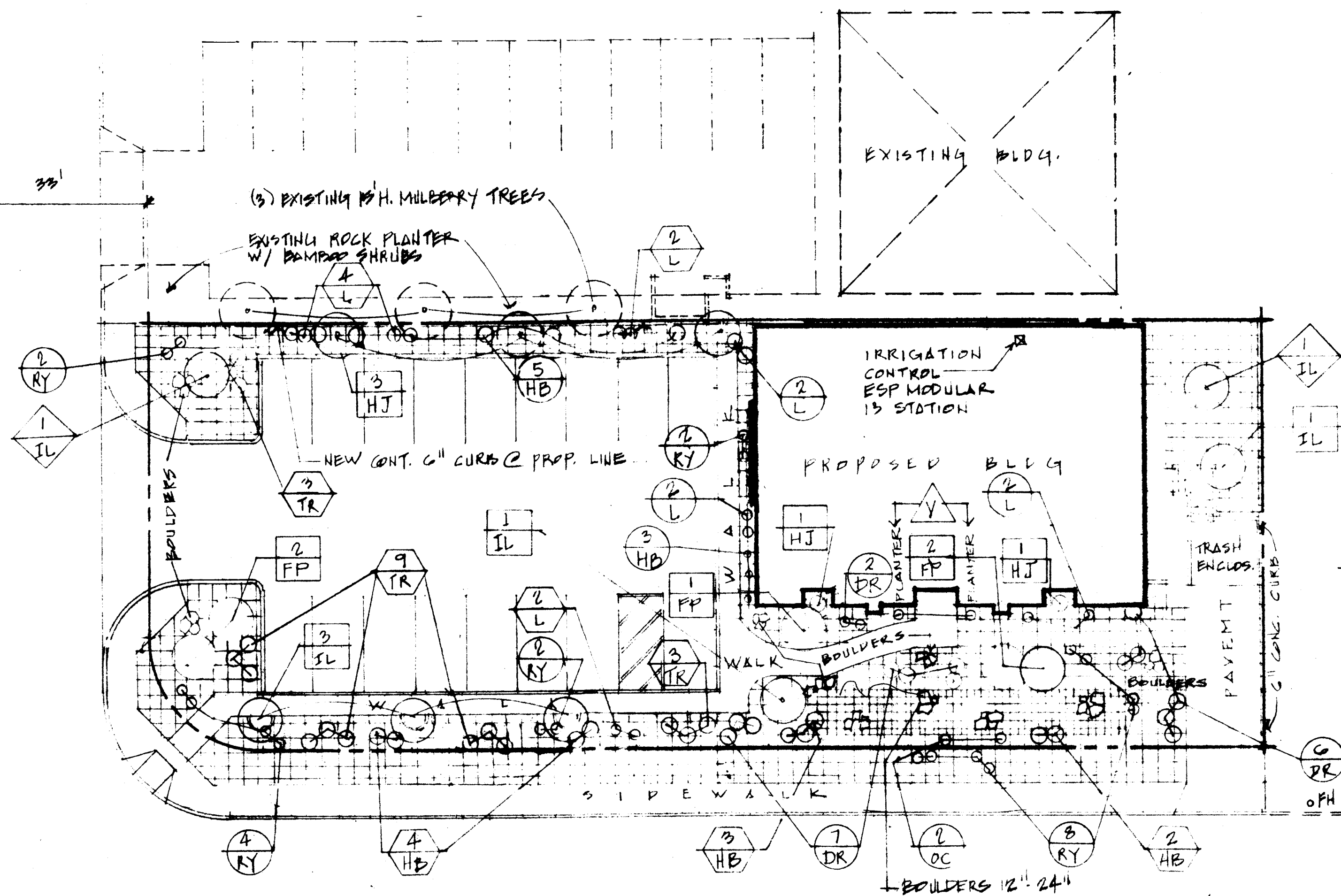
(F) 4/27/12



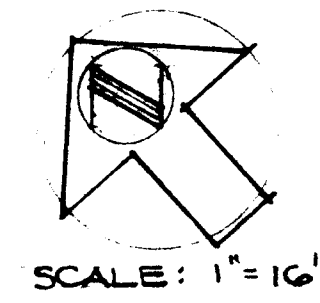
SHADE DIAGRAM 1"=16'
 LANDSCAPE (MATURE) W/ SUN AT APEX.

1. The landscape design shall be based on the following assumptions:
 a. The landscape design shall be based on the following assumptions:
 b. The landscape design shall be based on the following assumptions:
 c. The landscape design shall be based on the following assumptions:
 d. The landscape design shall be based on the following assumptions:
 e. The landscape design shall be based on the following assumptions:
 f. The landscape design shall be based on the following assumptions:
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 u. The landscape design shall be based on the following assumptions:
 v. The landscape design shall be based on the following assumptions:
 w. The landscape design shall be based on the following assumptions:
 x. The landscape design shall be based on the following assumptions:
 y. The landscape design shall be based on the following assumptions:
 z. The landscape design shall be based on the following assumptions:

KAMANA ROAD



KOKANEE ROAD



SCALE: 1"=16'

LANDSCAPE PLAN

SYMBOL	DESCRIPTION
FP	CALIFORNIA FAN PALM WASHINGTONIA FILIFERA
HJ	HOLLYWOOD JUNIFER JUNIPERUS CHINENSIS TORULOSA
R	ROSEMARY BUSH ROSMARINUS OFFICINALIS
OC	OCOTILLA FOURIERA SPLENDENS
L	LAVENDER LAVENDULA ANGUSTIFOLIA
RY	RED YUCCA HESPERALOE ENGLEMANII (PAKVIDLORA)
DR	DWARF ROSEMARY ROSMARINUS PROSTRATUS
V	VERBENA - FLATS & 24" D.C. VERBENA GOODINGII
HB	HEAVENLY BAMBOO NANDINA DOMESTICA
IL	IDaho LOCUST ROBINIA AMBIGUA
TR	TEXAS RANGER LEUCOPHYLLUM FRUTESCENS

SYMBOLS LEGEND

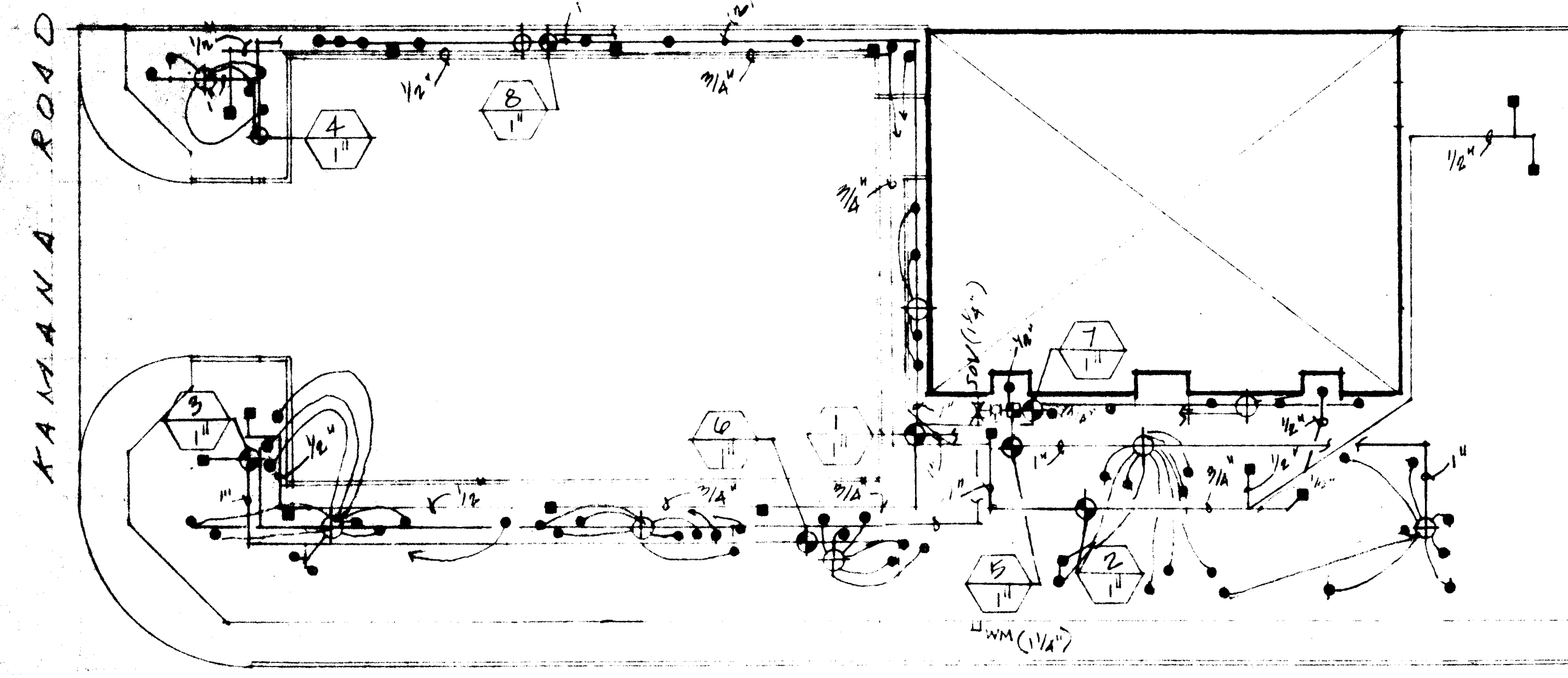
QTY	24" BOX (LARGE TREE)
TYPE	10' TREE +
QTY	15 GALLON
TYPE	8' HI. TREES
QTY	5 GALLON
TYPE	4' HI. TREES OR 2' HI. SHRUBS
QTY	1 GALLON
TYPE	2' HI. SHRUBS
TYPE	FLAT (GROUND COVER) SPECIFY O.C.

AREA TABULATION (LOT TOTAL = 14,754 SF)

	SQ. FEET
BUILDING	3400
PARKING	5502
HARDSCAPE	1728
LANDSCAPE	4044
GROUND COVER	2100 (MATURE)
INORGANIC	1944

LANDSCAPE	SQ. FEET	QUANTITY
SETBACK	3104	203 L.F. (4) TREES; (53) SHRUBS; 1562 # COVER
INTERIOR	48	#/500 # (1) TREES; (6) SHRUBS; 24 # COVER
RETEN. POND	600	19 #
PERIMETER	842	183 L.F. (5) TREES; (30) SHRUBS; 446 # COVER

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IRRIGATION PLAN

PLAN KEY

- REMOTE CONTROL VALVE 'RAINBIRD' 100-PEB 1/4" OR EQUAL.
- BACKFLOW DEVICE 'FECO' 3/4" 1/4" OR EQUAL.
- BALL VALVE SHUT OFF 'HAREINGTON' 1/4" BRASS, OR EQUAL.
- SPRINT EMITTER 'RAINBIRD' XBT 10/20 PG. SCH. 80, OR EQUAL.
- XERI-BUBBLER - 'HARDIE' #5333 ADJUST. TO 2 GPH OR EQ.
- XERI-SPRAY - 'RAINBIRD' 300TS OR EQUAL.
- XERI-BIRD - XBD 80-B1 'RAINBIRD'

STATION	PLANT	GPH	PRESS. LOSS (PSI)
1	TREES	18	2.9
2	"	12	1.8
3	SHRUBS	10	2.9
4	"	10	1.8
5	"	18	2.9
6	"	14	2.0
7	"	18	2.9
8	"	14	2.0

REVISIONS
 AUG 30, 2011
 SEP 13, 2011

JENNINGS LANDSCAPING
 13464 CENTRAL ROAD, APPLE VALLEY, CA
 760-403-8590
 KEN JENNINGS
 BRIAN LAIRD
 C271 #543967

RYLAR INVESTMENTS, INC.
 8888 SVL BOX
 VICTORVILLE, CA 92395
 760 403 3919

NOV 17 2011
 3460 CON
 SHEET NO.
 11

IRRIGATION NOTES

- THESE SYSTEMS ARE DESIGNED ACCORDING TO A AVAILABLE PRESSURE AT THE POINT OF CONNECTION AND ARE TO SUPPLY A MINIMUM OF 30 PSI AT THE SPRINKLER HEADS
- CONTRACTOR SHALL VERIFY A STATIC WATER PRESSURE OF 50 PSI AT POINT OF CONNECTION PRIOR TO INSTALLING IRRIGATION SYSTEM. SHOULD STATIC WATER PRESSURE BE DIFFERENT, CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO STARTING ANY WORK
- IRRIGATION MAINLINE IS SHOWN DIAGRAMMATICALLY. INSTALL MAINLINE IN PLANTING AREAS WHEREVER POSSIBLE 18" FROM WALKS, CURBS AND WALLS
- VERIFY EXACT LOCATION OF ALL UNDERGROUND UTILITIES AND CONSTRUCTION
- CONTRACTOR SHALL VERIFY SITE FOR LOCATION OF ELECTRICAL SOURCE AND PROVIDE CONNECTION TO CONTROLLER
- INSTALL QUICK COUPLINGS VALVES AND REMOTE CONTROL VALVES ADJACENT TO WALKS AND CURBS (12" MAX FROM SUCH EDGES). VALVES BE LOCATED IN PAVED AREAS
- ALL LATERAL END RUNS ARE 1/2" SIZE UNLESS INDICATED OTHERWISE
- ALL IRRIGATION LINES UNDER PAVING SHALL BE SLEEVED WITH PVC SCH 40. SLEEVE SHALL BE 2 TIMES THE DIAMETER OF PIPE TO BE SLEEVED. ALL IRRIGATION LINES SHALL BE PVC CLASS B UNLESS NOTED OTHERWISE
- CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN PVC SCH 40 SLEEVES AT LEAST 2 TIMES THE DIAMETER OF WIRE BUNDLE. KEEP SEPARATE FROM WATER LINE SLEEVES. WIRE SLEEVES SHALL BE A MINIMUM 2 INCH DIAMETER
- ALL WORK SHALL CONFORM TO REQUIREMENTS OF LOCAL CODES
- ELECTRICAL POWER SOURCES AND REMOTE CONTROL WIRING ROUTE SHALL BE SHOWN ON THE "AS BUILT" DRAWINGS
- ALL SPRINKLER HEADS IMMEDIATELY ADJACENT TO PEDESTRIAN CIRCULATIONS OR HIGH CURBS SHALL BE POP-UP HEADS
- IRRIGATION CONTROLLER SHALL BE RAINBIRD MODEL 4000
- MASTER IRRIGATION CONTROL VALVE SHALL BE RAINBIRD MODEL 4000

GENERAL NOTES

- Contractor shall be responsible for making himself familiar with all underground utilities pipes and structures. Contractor shall take sole responsibility for costs incurred due to damage and replacement of said utilities
- Contractor shall not willfully proceed with any operation as designed when it is obvious that unknown obstructions, area discrepancies and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the Owner's authorized representative. The Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification
- Contractor shall be responsible for any coordination with subcontractors as required to accomplish operations
- Refer to City and/or County Standard Plans and specifications where applicable
- All property lines and lot lines shall be verified prior to commencing work
- Contractor is responsible for replacement of any existing materials that are damaged during construction operations. The Contractor shall be responsible to preserve and protect all existing plant materials noted as to remain. Plant materials destroyed due to Contractor's neglect shall be replaced with plant material of equal size at no additional expense to the Owner

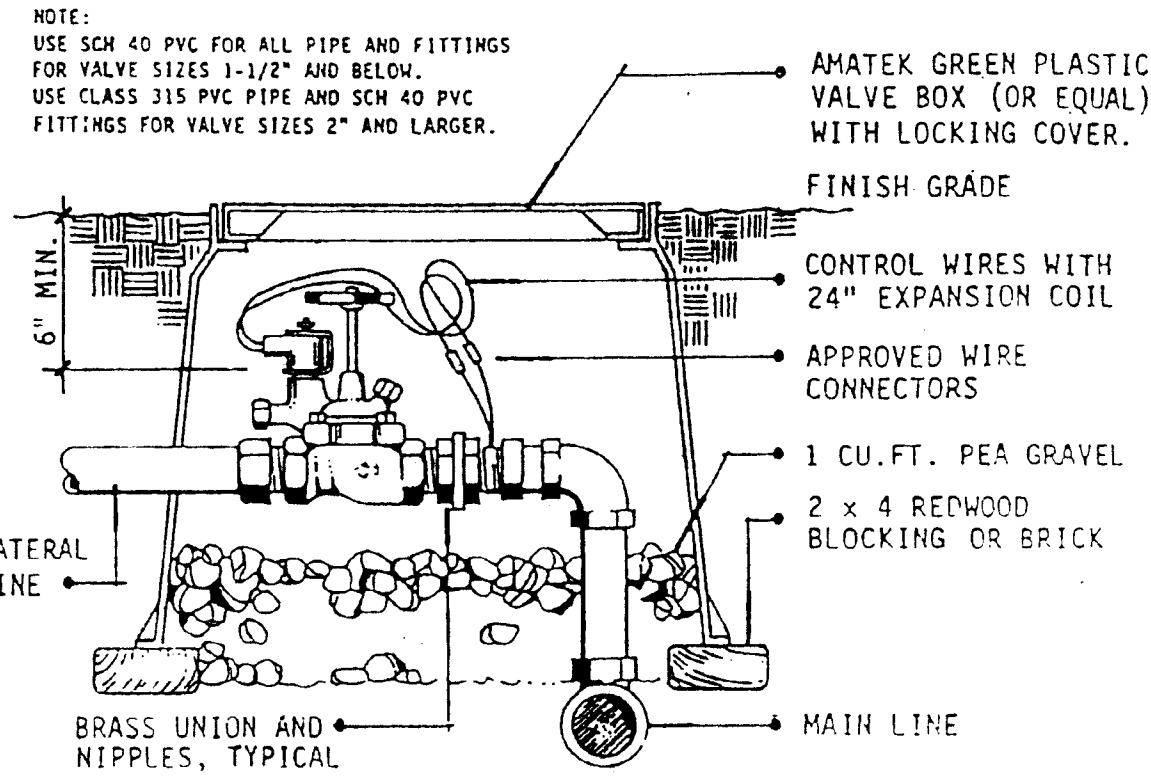
LANDSCAPE GRADING/DRAINAGE NOTES

- Refer to Civil engineer's utility and precise grading plans for utility locations and final grading. If actual site conditions vary from what is shown on the landscape plans, the Contractor shall contact the Owner and Landscape Architect for direction as to how to proceed
- All proposed grades are to meet and blend in with existing grades at project limits and existing sidewalk. Proposed elevations indicated on plans to be verified in field to as-built conditions
- Contractor shall be responsible to "round off" all sharp ridges existing on site unless otherwise noted
- All planting areas shall slope at a minimum of 2% away from building foundations and footings towards drains and gutters. Eliminate puddling and trapped water by fine grading all areas to create smooth grades
- All grading to be supervised in the field by the Owner's authorized representatives
- Contractor to receive site grades as they exist per Civil Engineer's drawings and fine grade to plus or minus one tenth of a foot

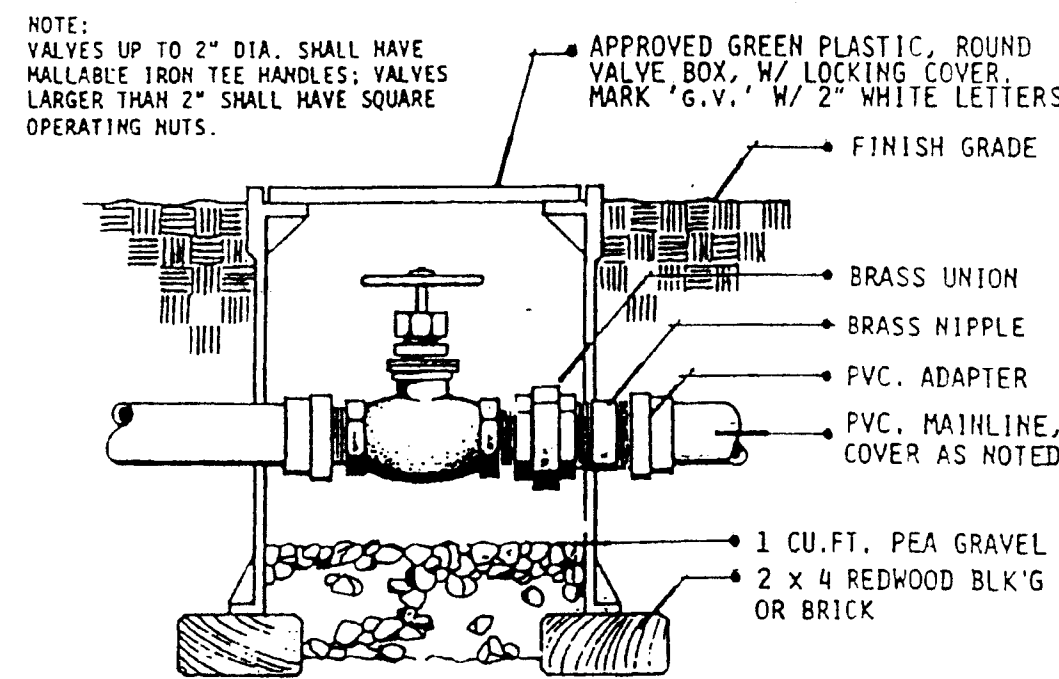
PLANTING NOTES

- Exact locations of plant materials shall be approved by the Landscape Architect in the field prior to installation. The Landscape Architect reserves the right to adjust plants to exact location in field
- See specifications for planting requirements, materials and execution
- Contractor shall be responsible for verifying all plants counts and square footage. Quantities are provided as Owners information only
- All trees to be planted a minimum of (4) feet from face of building, curb or pavement except as approved by Landscape Architect
- Provide matching forms and sizes for all plant materials within same species and sizes designated on the drawings
- Prune newly planted trees 'only' as directed by Landscape Architect
- Align and equally space all directions all shrubs so designated per these notes and drawings
- All trees in rows to be aligned. Spaced trees between parking stalls as shown on the drawings
- Finish grades of all shrubs areas shall be 2" below adjacent curb, pavement or header. In areas where 2" mulch is to be applied finish grades shall be 3" below adjacent curb or pavement
- Provide a 2" layer of mulch at shrub and groundcover areas designated per these plans and notes

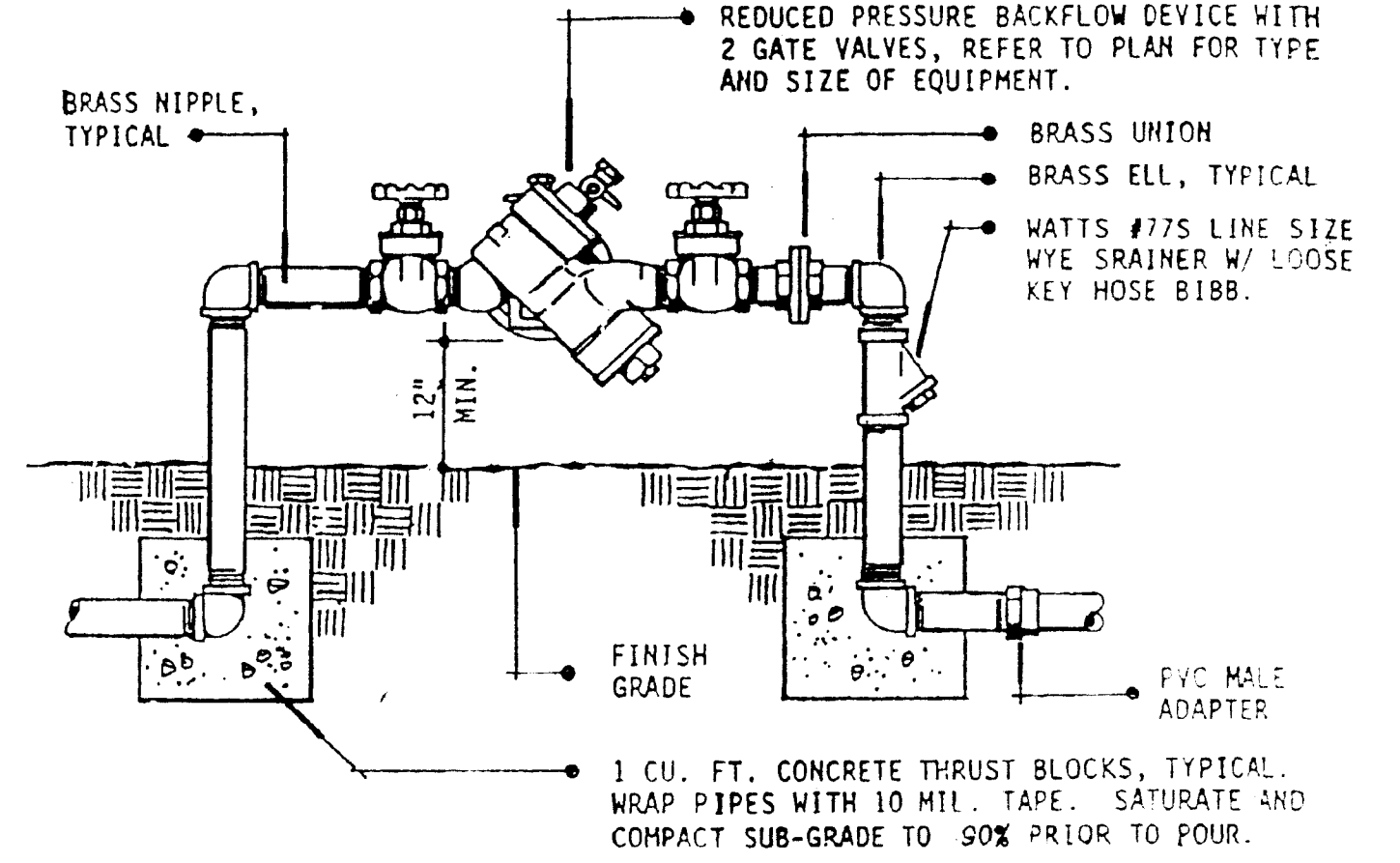
REMOTE CONTROL VALVE



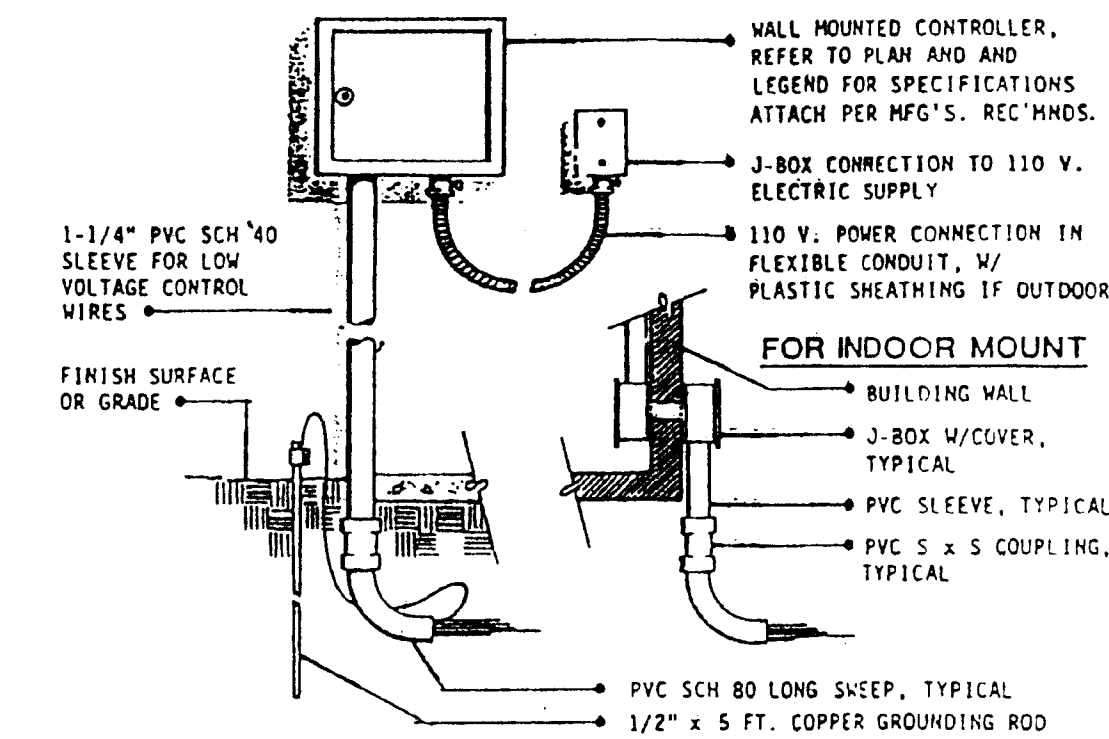
GATE VALVE



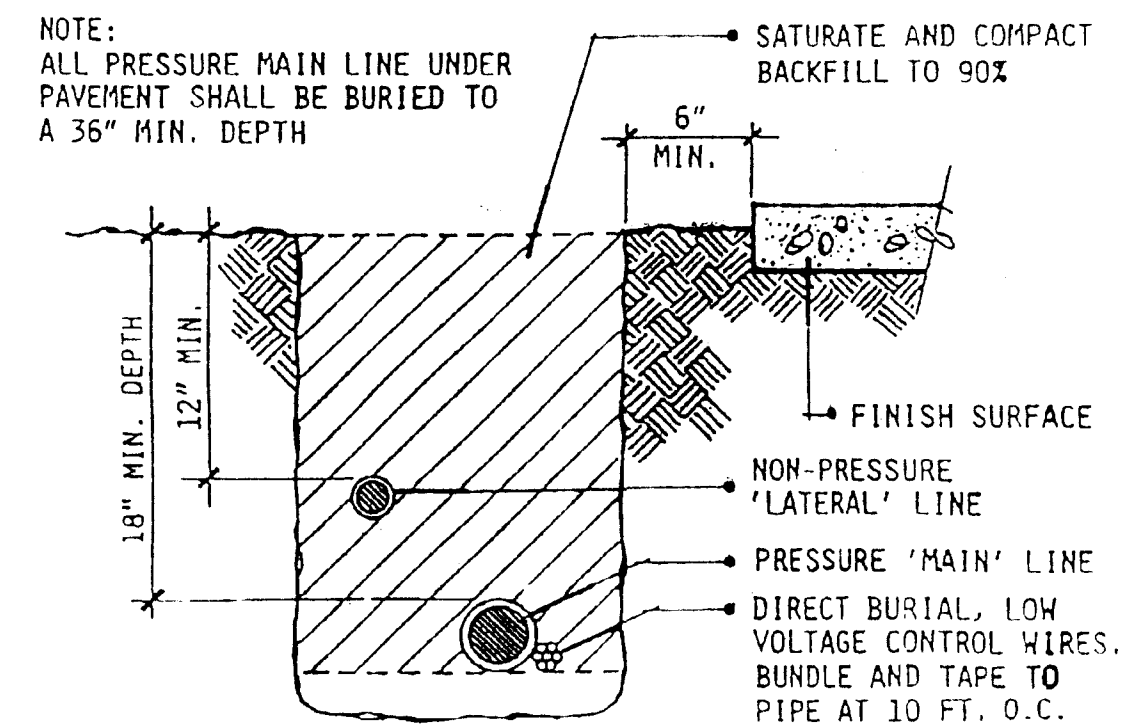
BACKFLOW PREVENTOR



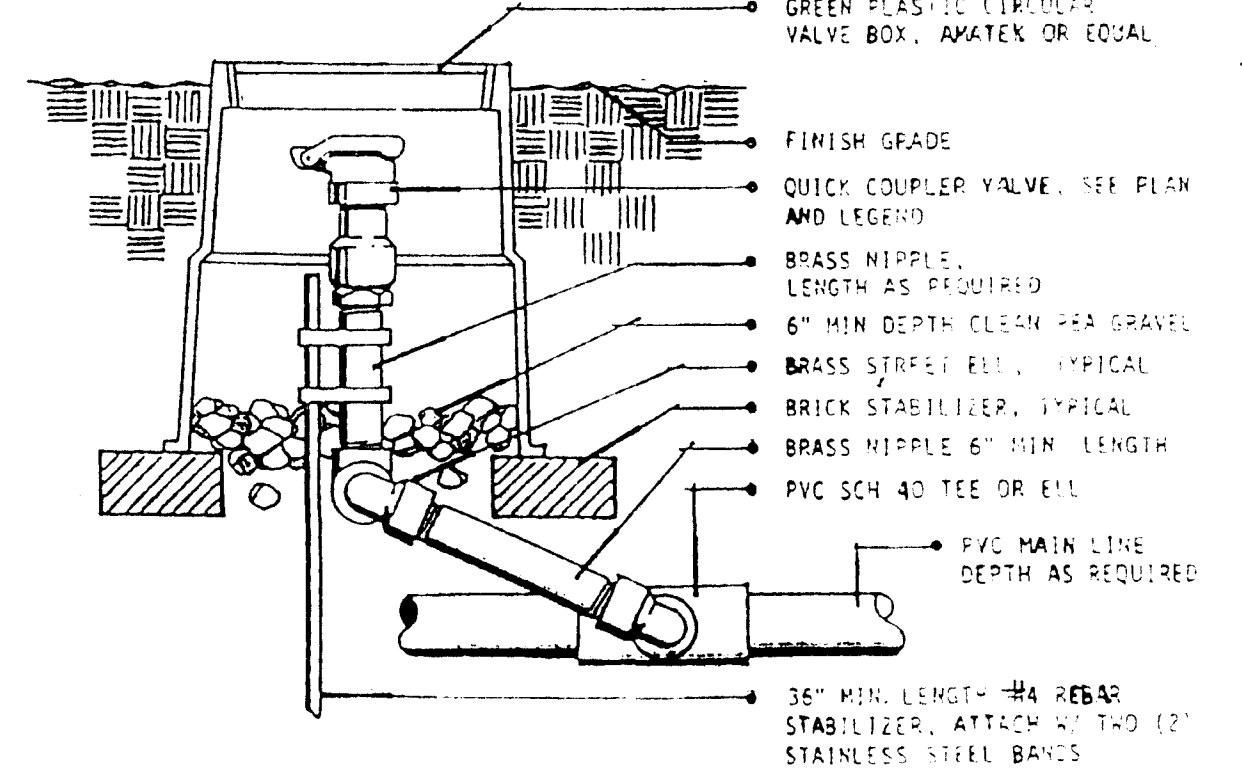
AUTOMATIC CONTROLLER



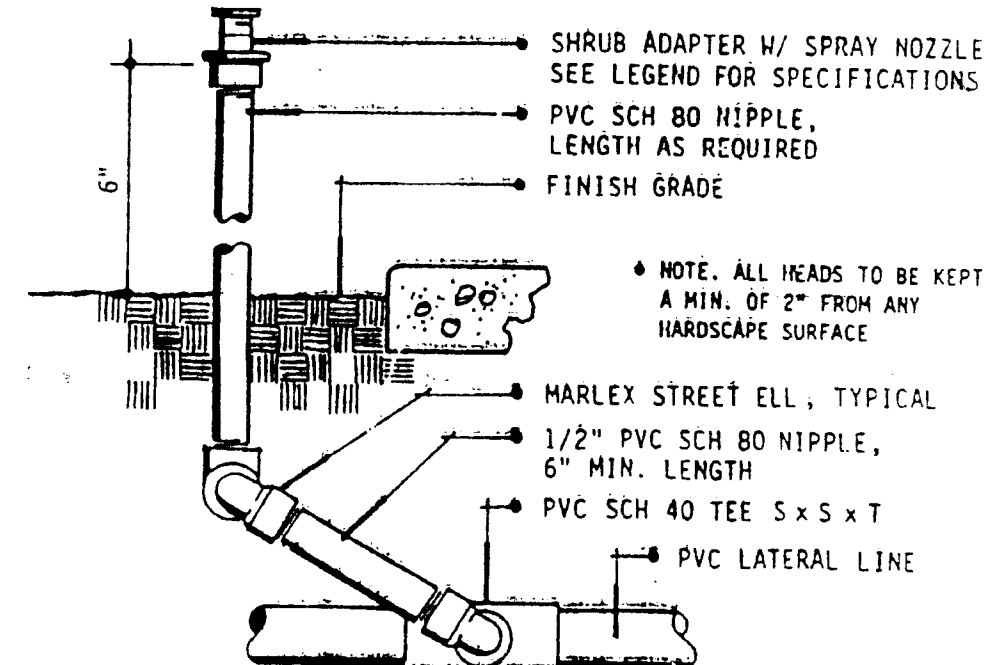
TRENCHING



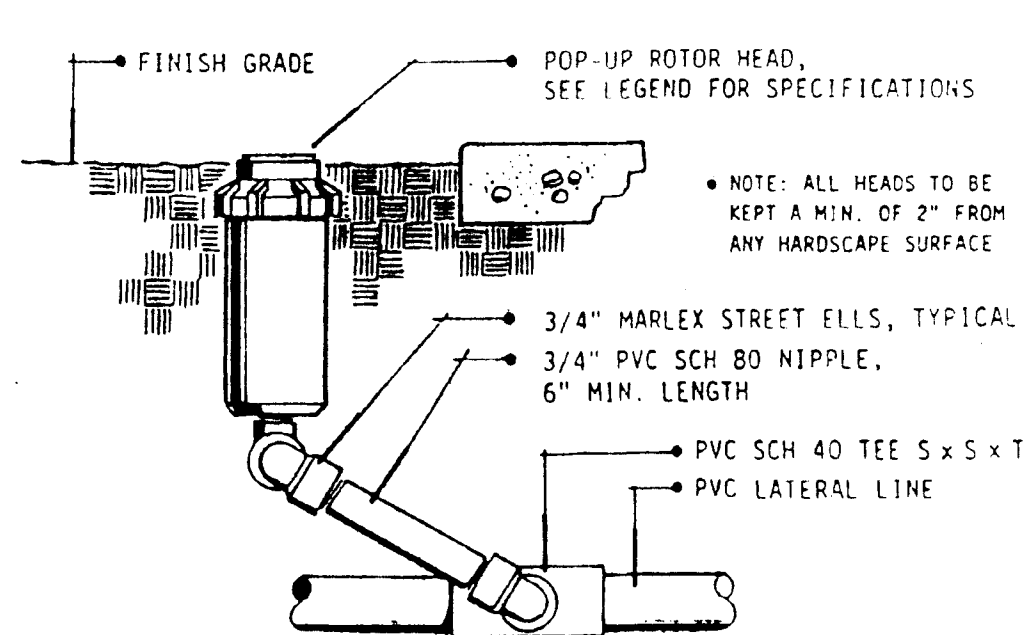
QUICK COUPLER VALVE



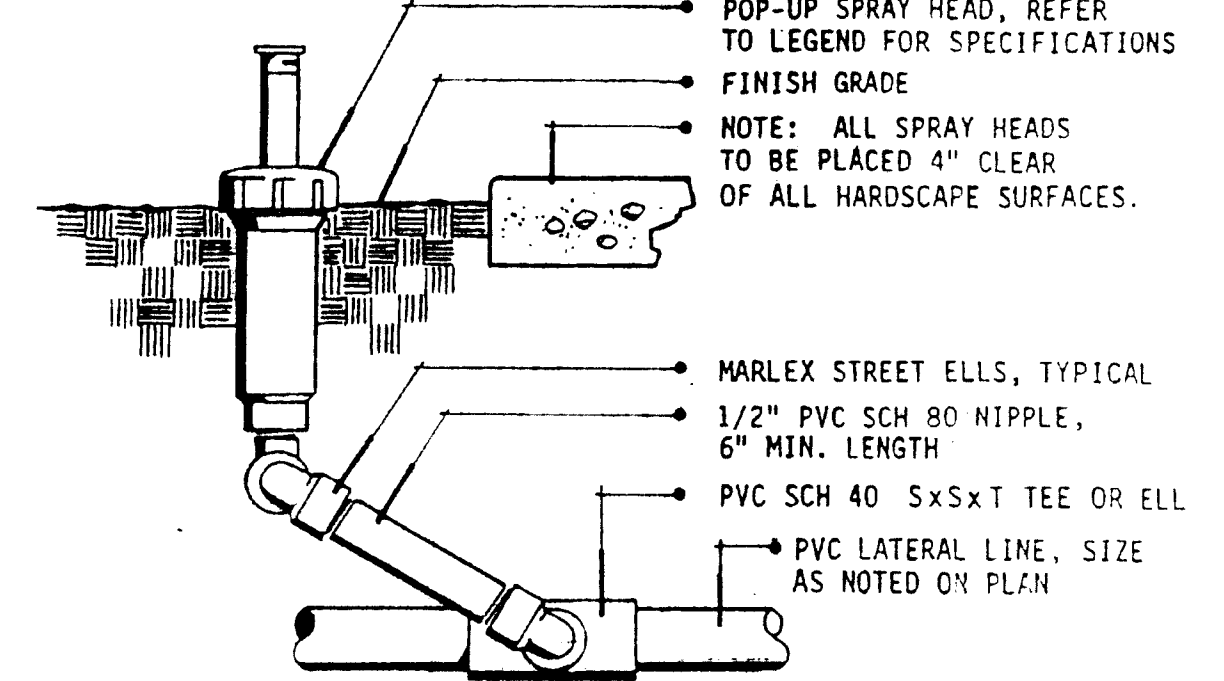
SHRUB SPRAY RISER



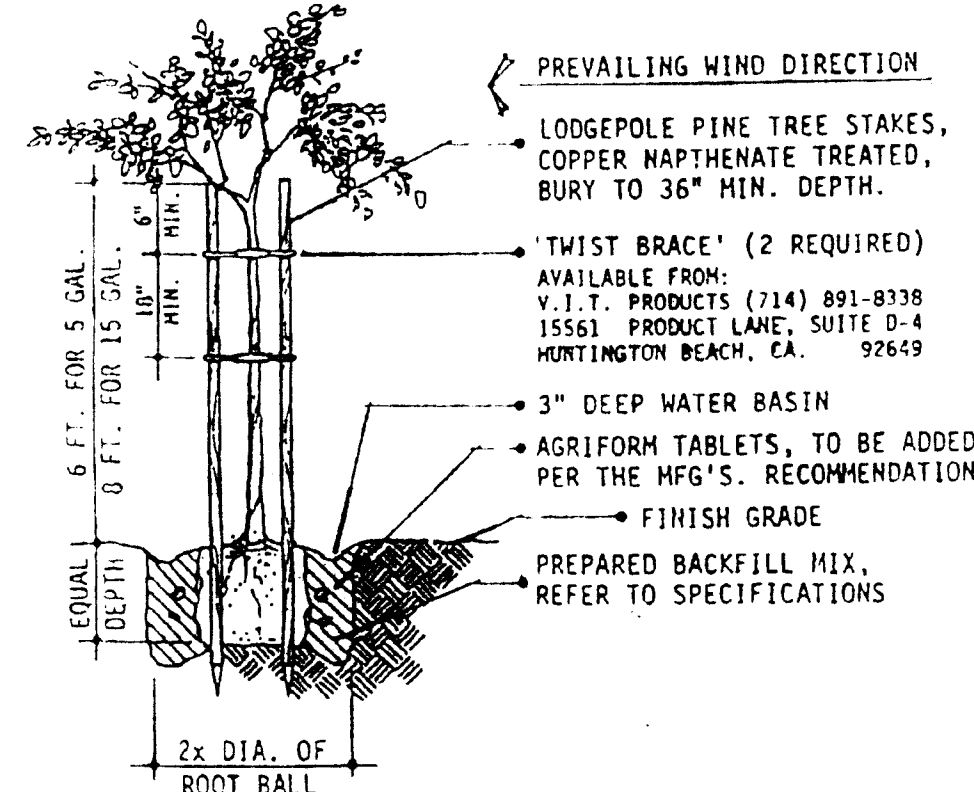
POP-UP ROTOR



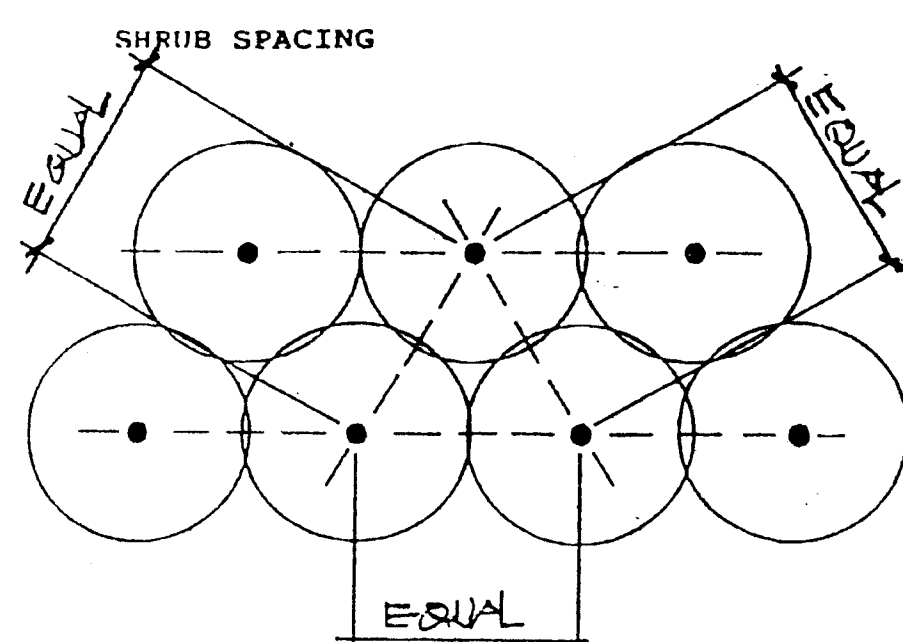
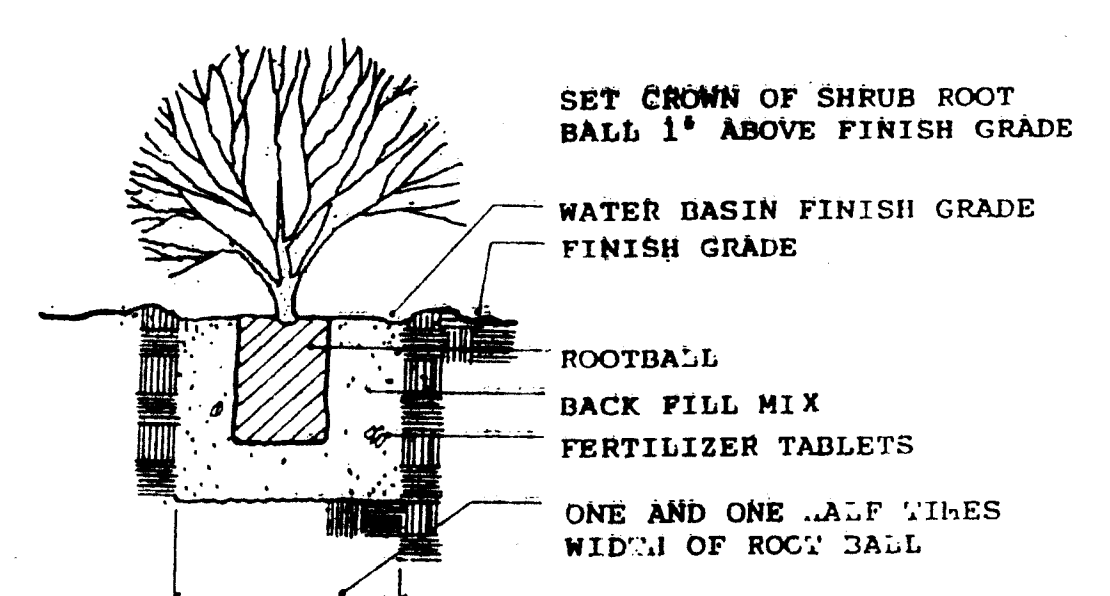
POP-UP SPRAY HEAD



TREE STAKING



SHRUB PLANTING



Refer to planting plan for on center spacing of groundcovers and shrubs.

REVISIONS

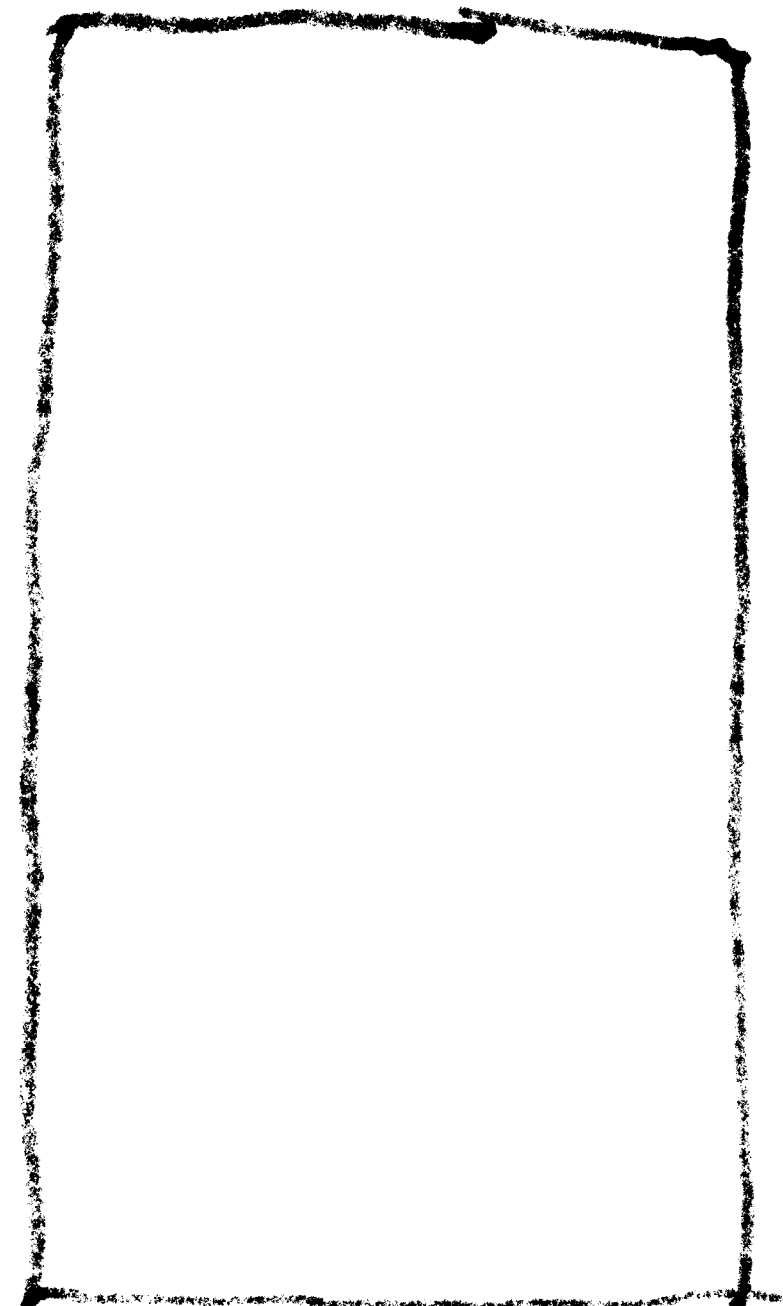
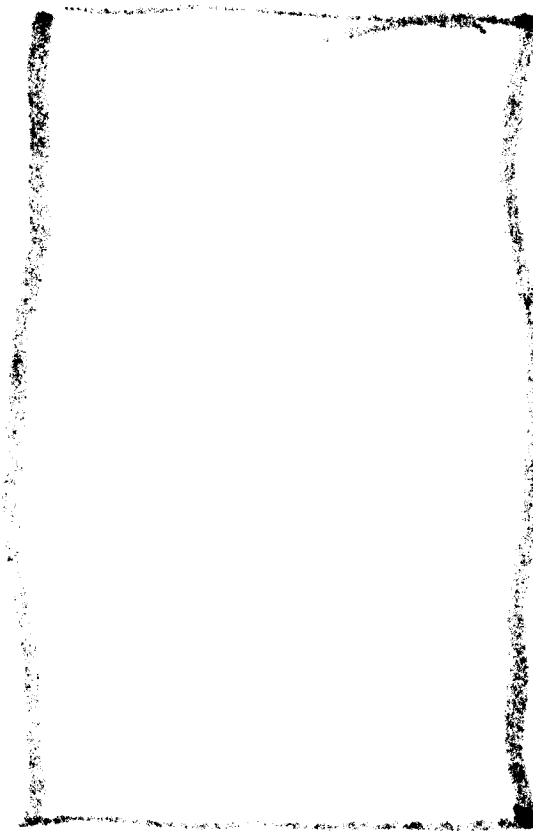
LANDSCAPE DETAILS

JAN. 1997

SHEET NO

L2

OF



TOWN OF APPLE VALLEY
APPROVED
THESE PLANS AND DETAILS ARE
APPROVED
NOT BE USED FOR ANY OTHER
FOR ANY OTHER TO BE A PART
OF ANYONE OF THIS TOWN
BY
DATE
THESE PLANS SHALL BE ON THE JOB
FOR ALL REQUIRED INSPECTIONS

APPLE VALLEY PUBLIC WORKS
PLANS REVIEWED
BY
DATE 10/28/11

SEWER

Now

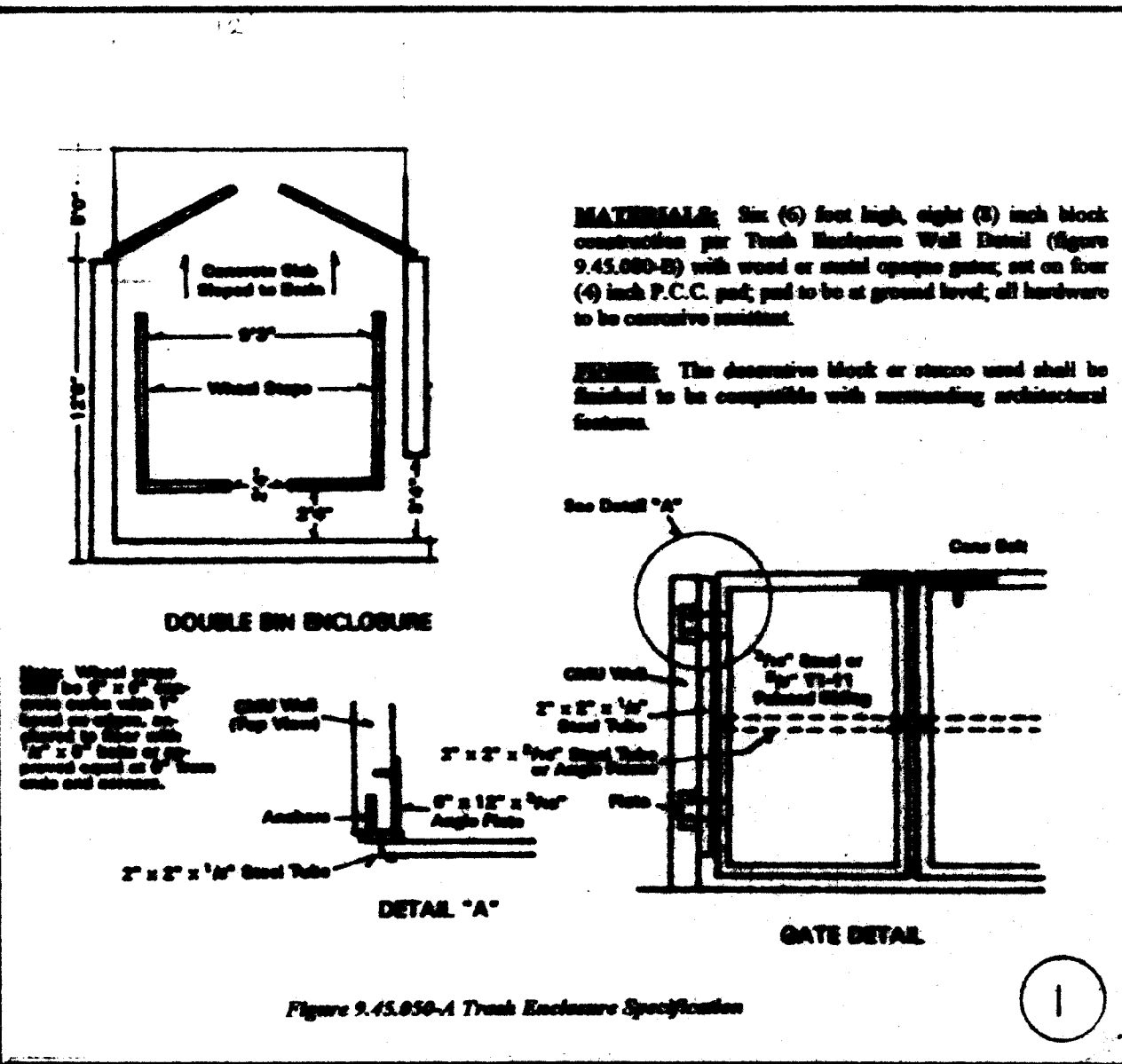
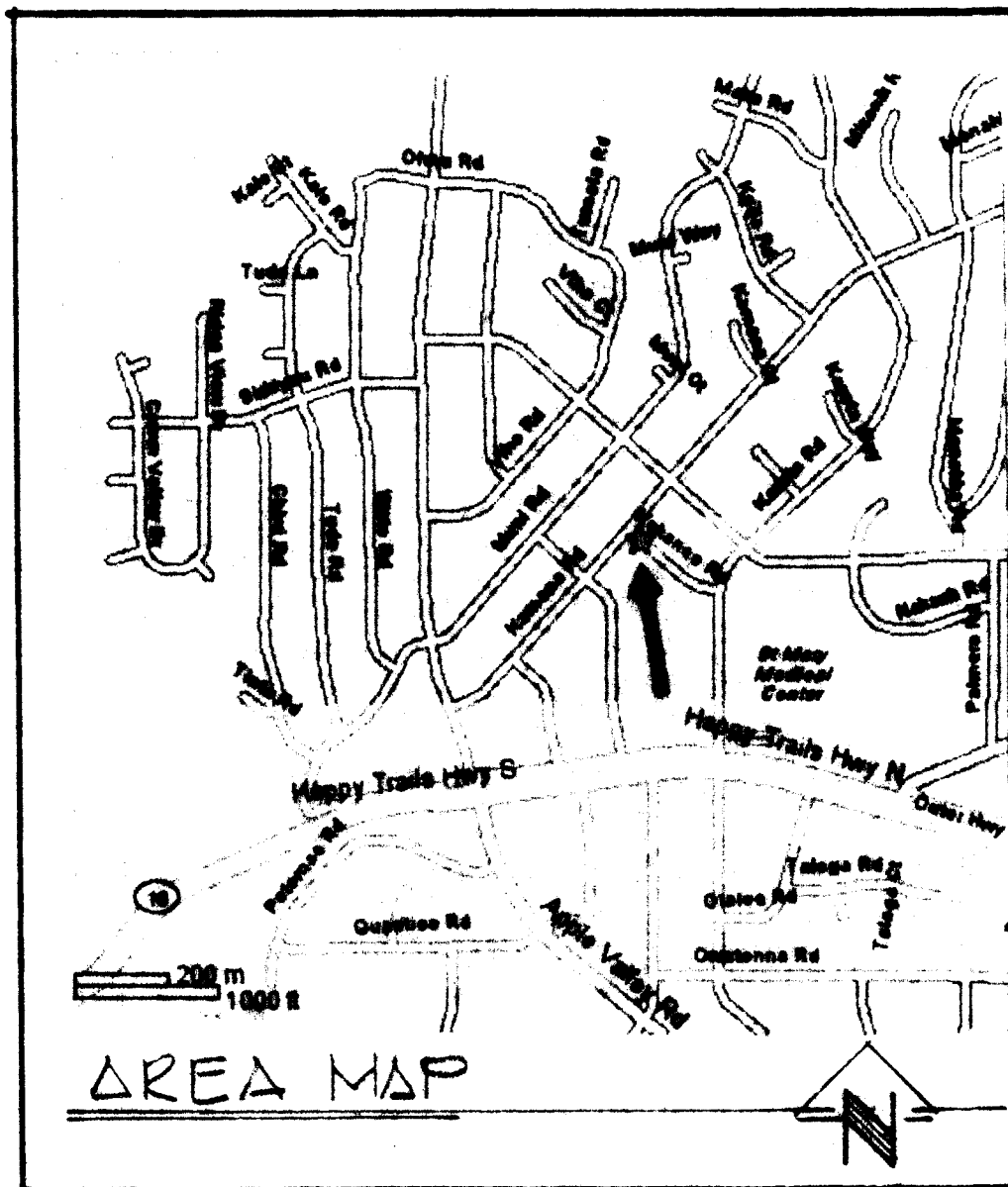
APPROVED
SUBJECT TO BUILDING DEPT. APPROVAL
TOWN OF APPLE VALLEY PLANNING DEPT.
PROJECT MEETS ZONING STANDARDS NO
FURTHER PLANNING PERMITS ARE REQUIRED
SIGNATURE DATE 10/18/11

DP 2007-035

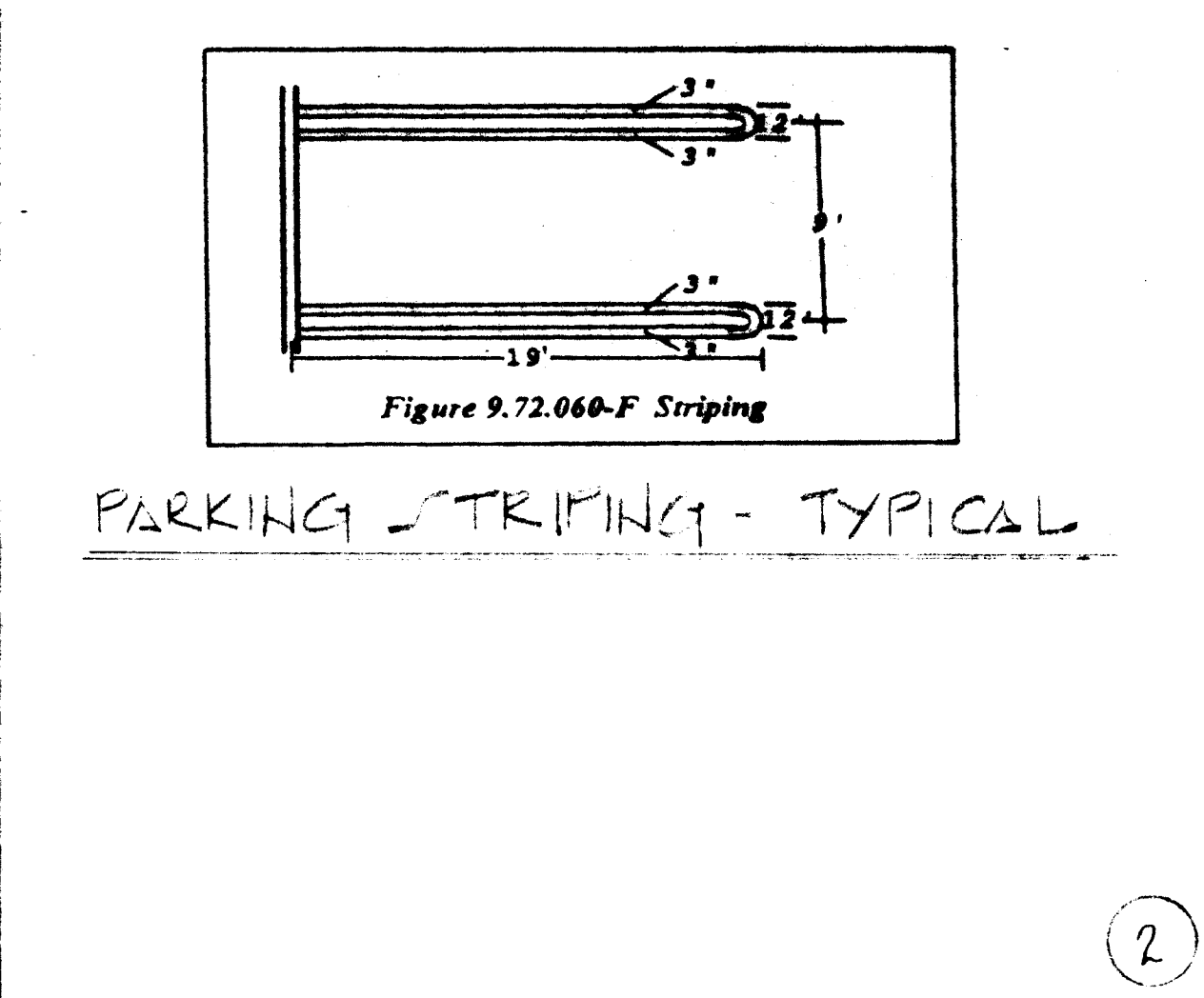
TOWN OF APPLE VALLEY
JOB ADDRESS 11177 Kamana RD
NAME Carlucci SUBMITTAL DATE 7-12-11
INTENDED USE
SUBMITTAL DATE 9/18/11
VOLUME 58929 COUNTY 59494

(F)
6/27/12

MEDICAL BLDG



SHEET INDEX	
NE	CONTENT
AS	SITE PLAN
A1	FLOOR PLAN
A2	SCHEDULES & DETAILS
A3	ROOF PLAN, SECTION & DETAILS
A4	EXTERIOR ELEVATIONS
A5	EXTERIOR ELEVATIONS
H	HANDICAP STANDARDS
S1	FOUNDATION PLAN
S2	STRUCTURAL PLAN
P1	PLUMBING PLAN
M1	MECHANICAL PLAN
ES	UTILITY SITE PLAN
E1	ELECTRICAL LIGHTING PLAN
E2	ELECTRICAL POWER PLAN
T24	ENERGY REPORT (9) SHEETS
C9	CAL GREEN STANDARDS
L1	LANDSCAPE & IRRIGATION PLAN
L2	LANDSCAPE DETAILS

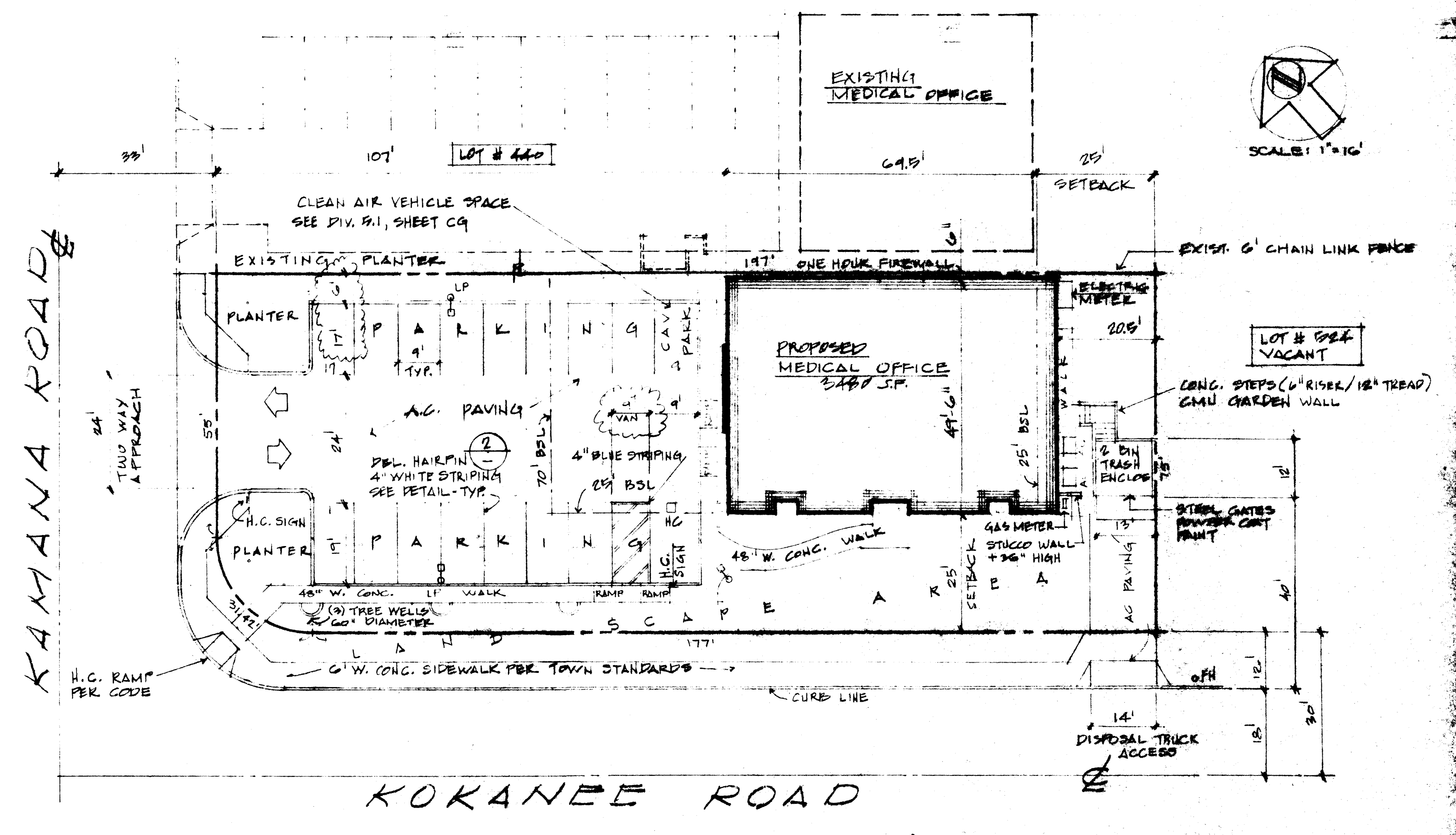


2010 CAL GREEN CODE COMPLIANCE
 SUBCONTRACTORS AND MATERIAL SUPPLIERS SHALL SUBMIT DOCUMENTATION TO SHOW COMPLIANCE WITH THEIR RESPECTIVE TRADES TO GENERAL CONTRACTOR. G.C. SHALL SUBMIT DOCUMENTATION TO LOCAL BLDG. OFFICIAL PRIOR TO CERTIFICATE OF OCCUPANCY.

ZONING : O-P
 CONSTRUCTION: TYPE VB-NOT SPRINKLERED
 OCCUPANCY : GROUP B
 OCCUPANTS : 5400 ÷ 100 = 55 (1 EXIT)

NOTES:
 ALL WORK TO CONFORM TO:
 2010 CBC, CEC, CMG, CPC, GREEN CODE.
 ALL SIGNAGE ON SEPARATE PERMIT REVIEW
 REFER TO SHEET C9 FOR CAL GREEN STANDARDS
 DIVISION 5.1. SITE DEVELOPMENT.

PARKING : 5400 S.F. ÷ 200 = 17 SPACES (REQUIRED & PROVIDED)
 LANDSCAPE : 4,044 S.F.
 PAVEMENT : 7,200 S.F.
 LOT : 14,794 S.F.
 AP # 419-012-01 TRACT # 7000 LOT # 441
 SITE ADDRESS : 16177 KAMANA ROAD, APPLE VALLEY



SITE PLAN

TOWN OF APPLE VALLEY
 APPROVED
 THESE PLANS AND DETAILS ARE
 APPROVED
 THE APPROVAL OF THESE PLANS SHALL
 NOT BE CONSTRUED TO BE A PERMIT
 FOR ANY VIOLATION OF ANY CODE OR
 ORDINANCE OF THIS COUNTY
 By _____
 Date _____
 THESE PLANS SHALL BE ON THE JOB
 FOR ALL REQUESTED INSPECTIONS

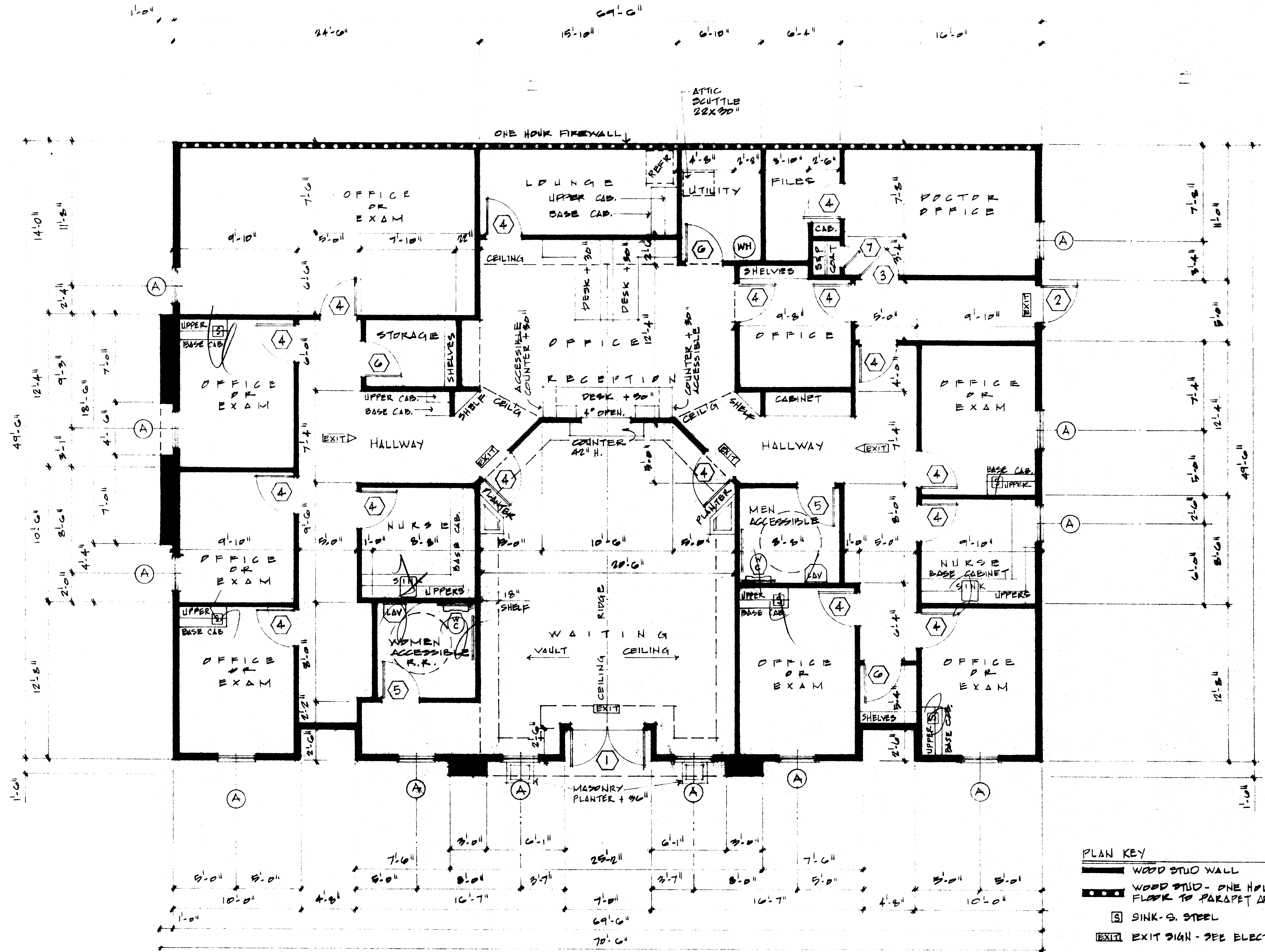
REVISIONS
 8/19/2011
 1/12/2011

G.M.
 BENSON
 design

JERRY L. MILES, P.E.
 1000 N. 1ST ST.
 APPLE VALLEY, CA 92303

KYLAR INVESTMENTS, INC.
 2000 N. 1ST ST.
 APPLE VALLEY, CA 92303

APPROVED
 8/19/2011
 SHEET 12
 13



- PLAN KEY**
- WOOD STUD WALL
 - WOOD STUD - ONE HOUR FIRE FLOOR TO PARAPET ABOVE ROOF
 - ③ SINK - S. STEEL
 - EXIT EXIT SIGN - SEE ELECTRIC PLAN

TOWN OF APPLE VALLEY
APPROVED

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APPROVED

THE APPROVAL OF THESE PLANS SHALL
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FOR ANY VIOLATION OF ANY CODE OR
ORDINANCE OF THIS COUNTY.

By _____
Date _____

THESE PLANS SHALL BE ON THE JOB
FOR ALL REQUESTED INSPECTIONS

FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISIONS
AUG. 18, 2011
SEP. 13, 2011

RYLAN INVESTMENTS, INC.
1000 N. 10TH AVE.
PO BOX 1000
APPLE VALLEY, CA 95921

9480 CON

DEC. 13, 2010

SHEET #2

AI

ROOF SHEATHING
DBL. 2X6" T.P.

2X6" BLOCKING

2X4" (2) 16" @ STUD

2X4" AT 24" O.C.

2X6" BALLOON STUDS AT 16" O.C.

SHEAR PANEL

1" = 1'-0"

SHEAR TRANSFER 18

ROOF SHEATHING
2X4" PARAPET

8d EDGE NAIL

DBL. 2X6" TOP PL.

SHEAR PANEL

2X6" STUD 16" O.C.

BALLOON FRAME

5/8" DRYWALL TYPE X

2X4" AT 24" O.C.

1" = 1'-0"

SHEAR TRANSFER 19

STUCCO
COAT PLASTER

STUD WALL

1X6" TRIM

2" METAL FLASHING

METAL FLASHING

PLYWOOD SHEATHING

1/2" TILE

CARRY UNDERLAMENT

UP UNDER 2" METAL

FLASHING.

3/4" = 1'-0"

RAKE WALL FLASHING 10

7/8" STUCCO

2X4" FRAMING

8d FLASHING

ROOF SHEATHING

DBL. 2X6" TOP PL.

2X6" STUDS 16" O.C.

PLYWOOD PANEL

5/8" TYPE X DRYWALL

TO UNDERSIDE OF ROOF

TAPE & COMPOUND JOINTS

CAULK & SEAL PENETRATIONS

1" = 1'-0"

FIRE WALL DETAIL 17

ROOF SHEATHING

SIMPSON U2G HANGAR

2X6" AT 24" O.C.

CANTILEVER

END TRUSS

2X4" AT 24" O.C.

BLOCKING

1/2" DRYWALL

FRAMING DETAIL 12

1/2" PLYWOOD OR FSE

Z FLASH

1X6" TRIM

G.I. ROOF FLASH

2X6" CONT. BLOCK

W/ PANEL EDGE NAILING

2X6" CONT. BLOCK

2X6" LEDGER

3 ROWS 16d NAILS

DBL 2X6" TOP PLATE

2X6" AT 16" O.C.

FACADE FRAME

2X4" LEDGER

2X4" BRACE 16" O.C.

+ 12.00' A.F.F.

2X8" TRIM

6X8" HEADER

2X6" STUDS 16" O.C.

BALLOON FRAME

SHEAR PANEL

SEE SHEET S2

1" = 1'-0"

FRAMING DETAIL 12

FINISH SCHEDULE

REFER TO CAL GREEN CODE SHEET FOR MATERIALS

AREA	FLOORS	BASES	WALLS	CEILINGS
WAITING				
RECEPTION/OFFICE				
STORAGE/LOUNGE/FILE				
HALLWAY				
RESTROOMS				
OFFICE/EXAM/NURSE				
DOCTOR OFFICE				
UTILITY				

WINDOW SCHEDULE

SYM.	SIZE	TYPE	MAT'L	OPEN	REMARKS	NO.
A	3030	FIXED	ALUM.	0	DUAL PANE GLASS - TINTED - LOW E	12

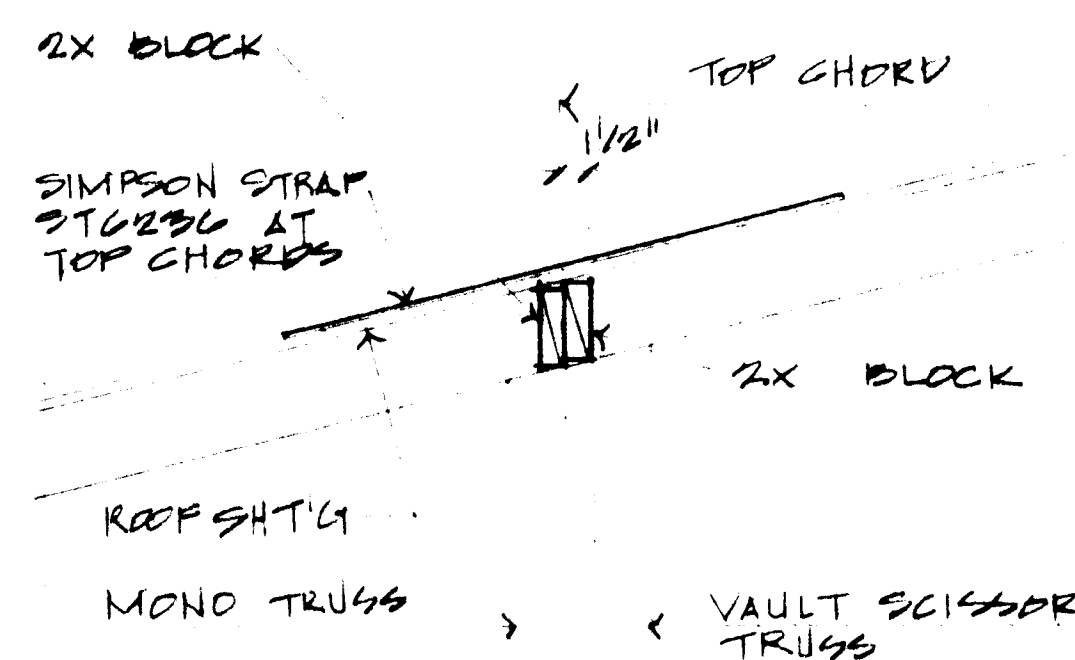
DOOR SCHEDULE

SYM.	SIZE	THK.	TYPE	THRESH.	JAMB	FINISH	REMARKS	NO.
1	3030	1 3/4"	GLASS	METAL	ALUM.	BLACK ENAMEL	PUSH-PULL	2
2	3070	1 3/4"	GLASS	METAL	ALUM.	"	LEVER/KEY LOCK	1
3	3030	1 3/4"	S.C.	NONE	WOOD	"	LEVER/PRIVACY LOCK	1
4	3030	"	"	"	"	"	LEVER	10
5	3030	"	"	"	"	"	LEVER-AUTO. CLOSER	2
6	3030	"	"	"	"	"	LEVER	3
7	2030	1 3/4"	H.C.	NONE	WOOD	"	LEVER	1

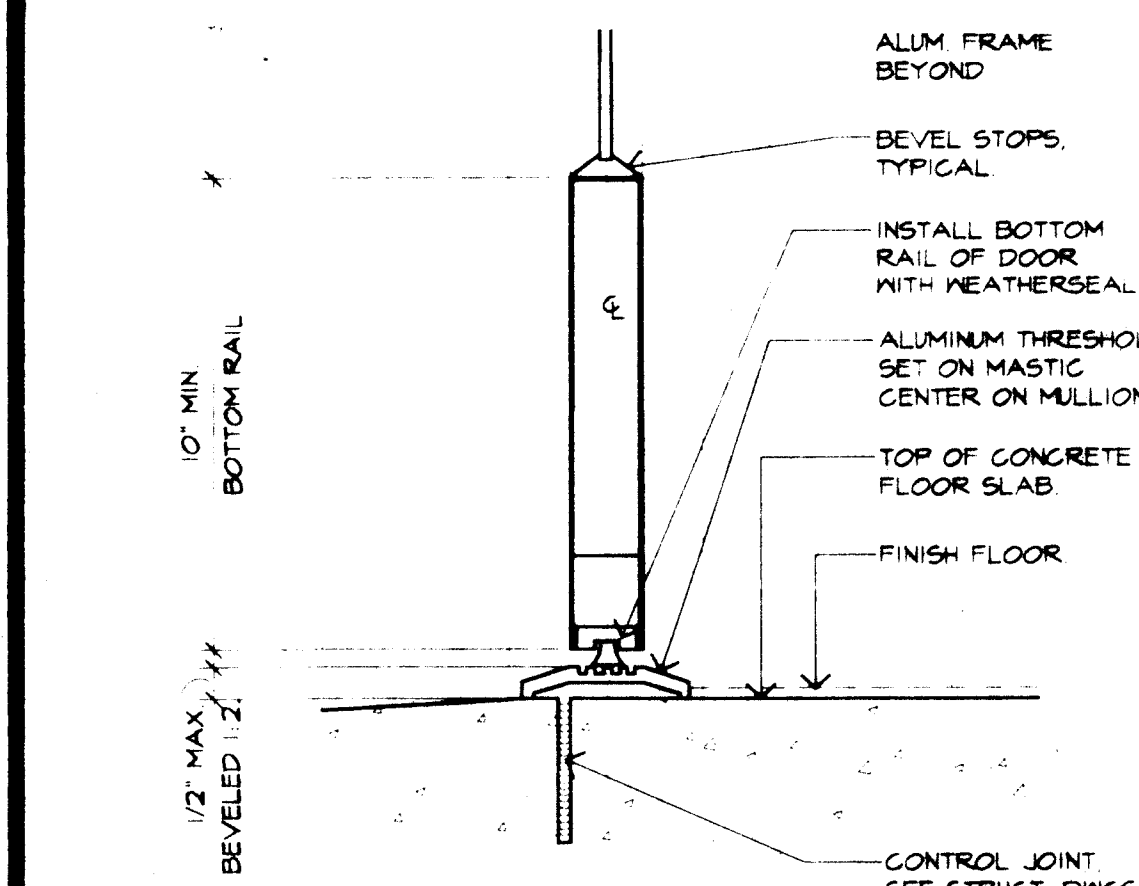
DESIGN CRITERIA AND SPECIFICATIONS

- GOVERNING CODES: 2010 C.B.C., 2009 I.B.C. AND ASCE 7-05
- BASIC WIND SPEED: 85 mph FOR APPLE VALLEY AREA PER ASCE 7-05 FIG 6-1 (SPECIAL WIND AREA)
- SEISMIC: SITE CLASSIFICATION - "D"
GROUND MOTIONS: $S_s = 1.341$; $S_1 = 0.564$
SEISMIC DESIGN CATEGORY = D
IMPORTANCE FACTOR = 1.00
B-WALL: LT-WT WALL w/ PLYWOOD SHEAR PANELS
RESPONSE MODIFICATION COEFFICIENT "R" = 6.5
REDUNDANCY FACTOR (ρ) = 1.3
- ASUMED: SOIL CLASS 4 PER 2010 C.B.C. TABLE 1806.2
ALLOWABLE SOIL BEARING PRESSURE = 2,000 psf
ALL LATERAL PASSIVE PRESSURE = 150 psf/ft of depth
COEFFICIENT OF FRICTION (μ) = 0.25
- SAWN LUMBER: USE DOUGLAS FIR-LARCH (NORTH) 19% M.C. PER 2005 N.D.S.
1 - 2x JOISTS & RAFTERS - #2 OR BETTER
2 - 4x and 6x BEAMS AND HEADERS - #1 OR BETTER
3 - PLATES, BLOCKING, AND STUDS - STUD GRADE OR BETTER
- COMMON NAILS SIZES
1 - 8d NAILS; DIA = 0.131"; LEN = 2-1/2"
2 - 10d NAILS; DIA = 0.148"; LEN = 3"
3 - 16d NAILS; DIA = 0.162"; LEN = 3-1/2"
- GLUE-LAMINATED BEAMS: SPECIES DF/DF; GRADE 24F-V4 (E=2.0 ksi)
- CONCRETE: MIN 28-DAY COMPRESSIVE STRENGTH (f'_c) = 2,500 psi
- STEEL: ASTM A36, $F_y = 36$ ksi FOR STRUCTURAL STEEL
ASTM A572-50 FOR TUBE (HSS) STEEL
ASTM A53, GRADE B FOR PIPE STEEL
ASTM 615, GRADE 40 FOR #3 AND #4 REBAR STEEL
ASTM 615, GRADE 60 FOR #5 AND LARGER REBAR STEEL
A307 FOR COLUMN AND ASSEMBLY BOLTS

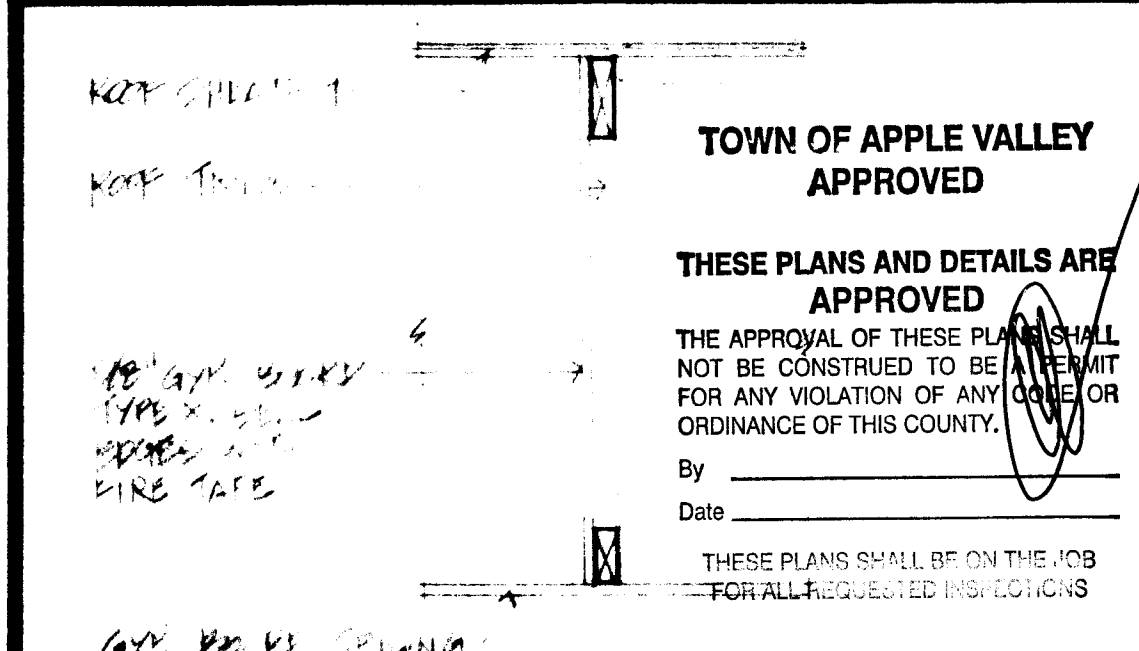
CALCULATIONS ARE BASED ON A TOTALLY COMPLETED STRUCTURE. INTERIM CONSTRUCTION BRACING IS THE RESPONSIBILITY OF THE CONTRACTOR.



FRAMING DETAIL 15



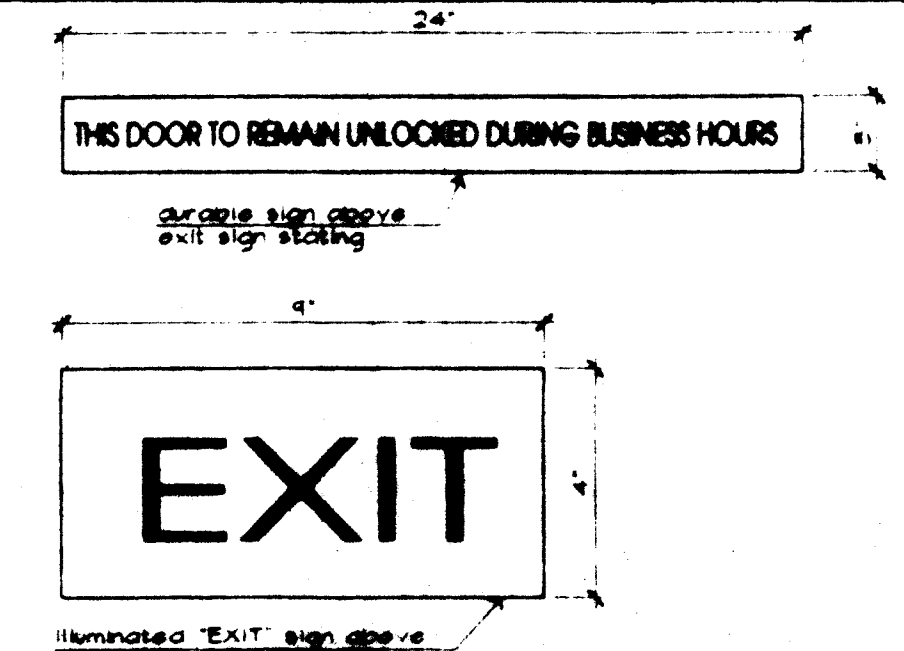
STOREFRONT DOOR SILL 13



ATTIC DRAFTSTOP 14

DOOR NOTES

- PROVIDE LEVEL LANDINGS ON EACH SIDE OF ALL DOORS. THE FLOOR OR LANDING IS TO BE 1/2" MAX. BELOW THRESHOLD. SECTION 133B2.1.
- ALL HAND-ACTIVATED DOOR OPENING HARDWARE - SECTION 133B2.2.4.
a. CENTER 30" TO 44" ABOVE THE FLOOR
b. LATCHING OR LOCKING DEVICES IN A PATH OF TRAVEL ARE OPERATED WITH A SINGLE EFFORT BY:
• LEVER TYPE HARDWARE
• PANIC BARS
• PUSH-PULL ACTIVATING BARS
• OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT THE REQUIREMENT TO GRASP THE HARDWARE.
c. LOCKED DOORS EXIT IN THE DIRECTION OF TRAVEL
- THE LOWER 10" OF ALL DOORS (EXCLUDING AUTOMATIC & SLIDING DOORS) SHALL COMPLY WITH SECTION 133B2.6 AS FOLLOWS:
a. TO BE SMOOTH AND UNINTERRUPTED, TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST, WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION
b. NARROW FRAME DOORS MAY USE A 10" HIGH SMOOTH PANEL ON THE PUSH SIDE OF THE DOOR
- THE MAXIMUM EFFORT TO OPERATE DOORS, APPLIED AT RIGHT ANGLES TO HINGED DOORS OR AT CENTER PLANE AT SLIDING DOORS PER SECTION 133B2.5, WILL BE LESS THAN: 8.5 LB. AT EXTERIOR DOORS, 5 LB. AT INTERIOR DOORS AND 15 LB. AT FIRE DOORS.
- DOORS AND FRAMES IN A RATED WALL SHALL BE LABELED ASSEMBLIES WITH TIGHT FITTING SMOKE AND DRAFT CONTROL ASSEMBLIES WITH SELF CLOSERS. PROVIDE GASKET SEAL BOTH SIDES AND TOP WHERE DOOR MEETS STOP.
- PROVIDE A SIGN IN CONTRASTING LETTERS OF 1" OR STATING: "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS"



"EXIT" sign detail 15

REVISION
8-8-2011
8-17-2011
9-12-2011

G.M.
BENSON
design

BOX 213 APPLE VALLEY, CA 95307 TEL: 247-8270

2010 CAL GREEN CODE COMPLIANCE
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RYLAR INVESTMENTS, INC.
888 SVL BOX
VICTORVILLE, CA 92385
760.463.3919

MAR 17 2008

2480 CON

SHEET 12

A2

OF 15

REVISIONS
AUG. 19, 2011
SEP. 12, 2011

G.M.
BRENSON
ARCHITECT

RYLAR INVESTMENTS, INC.

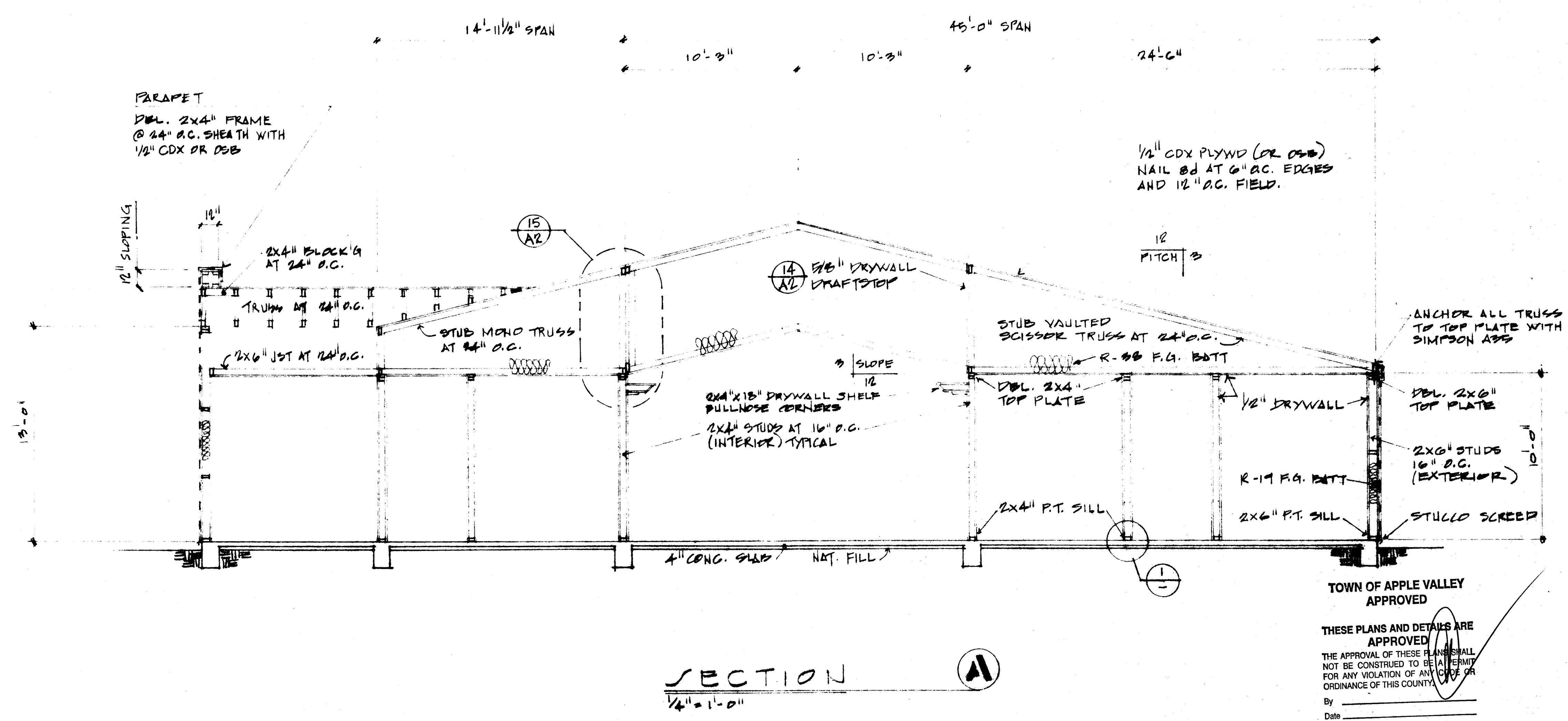
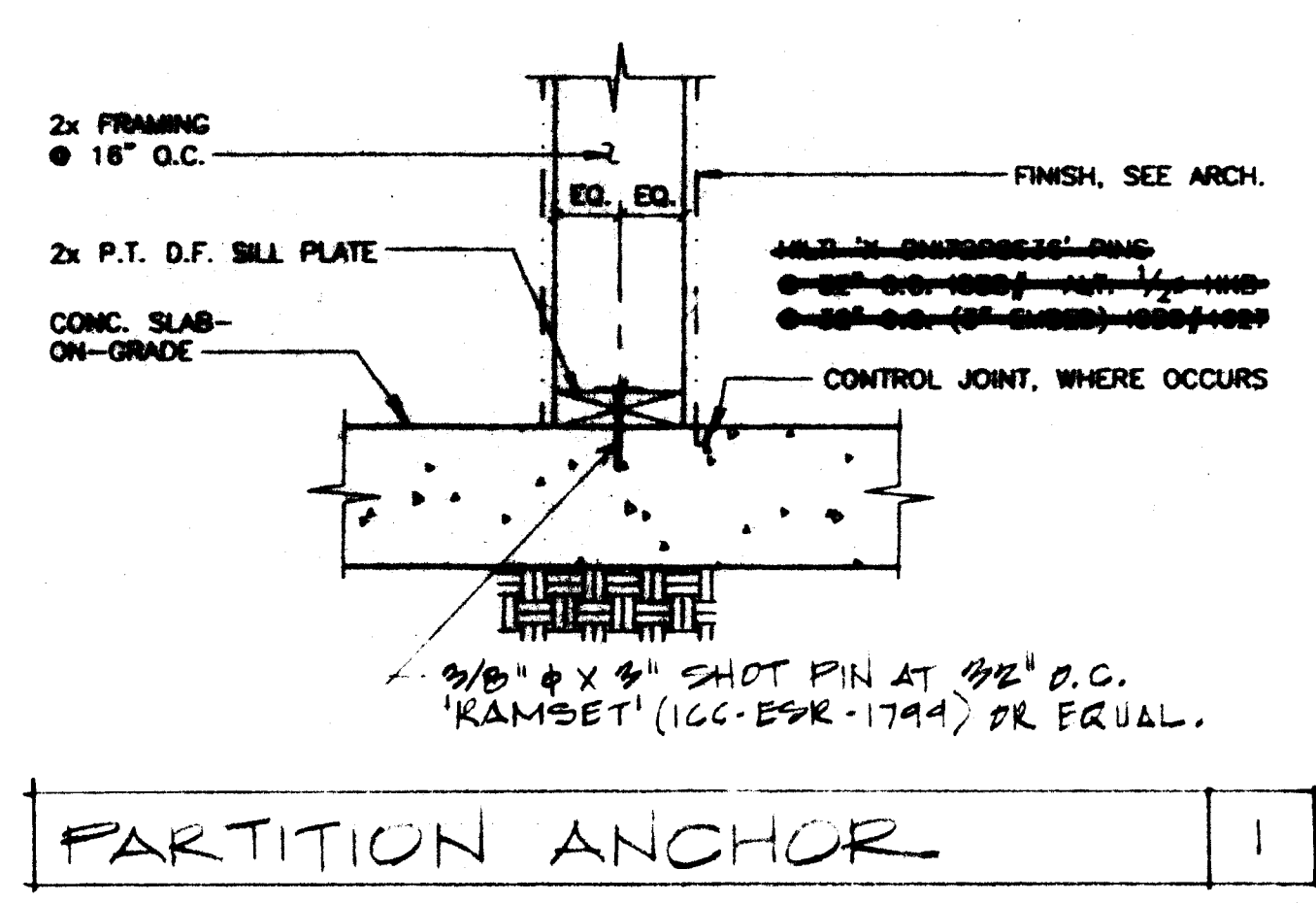
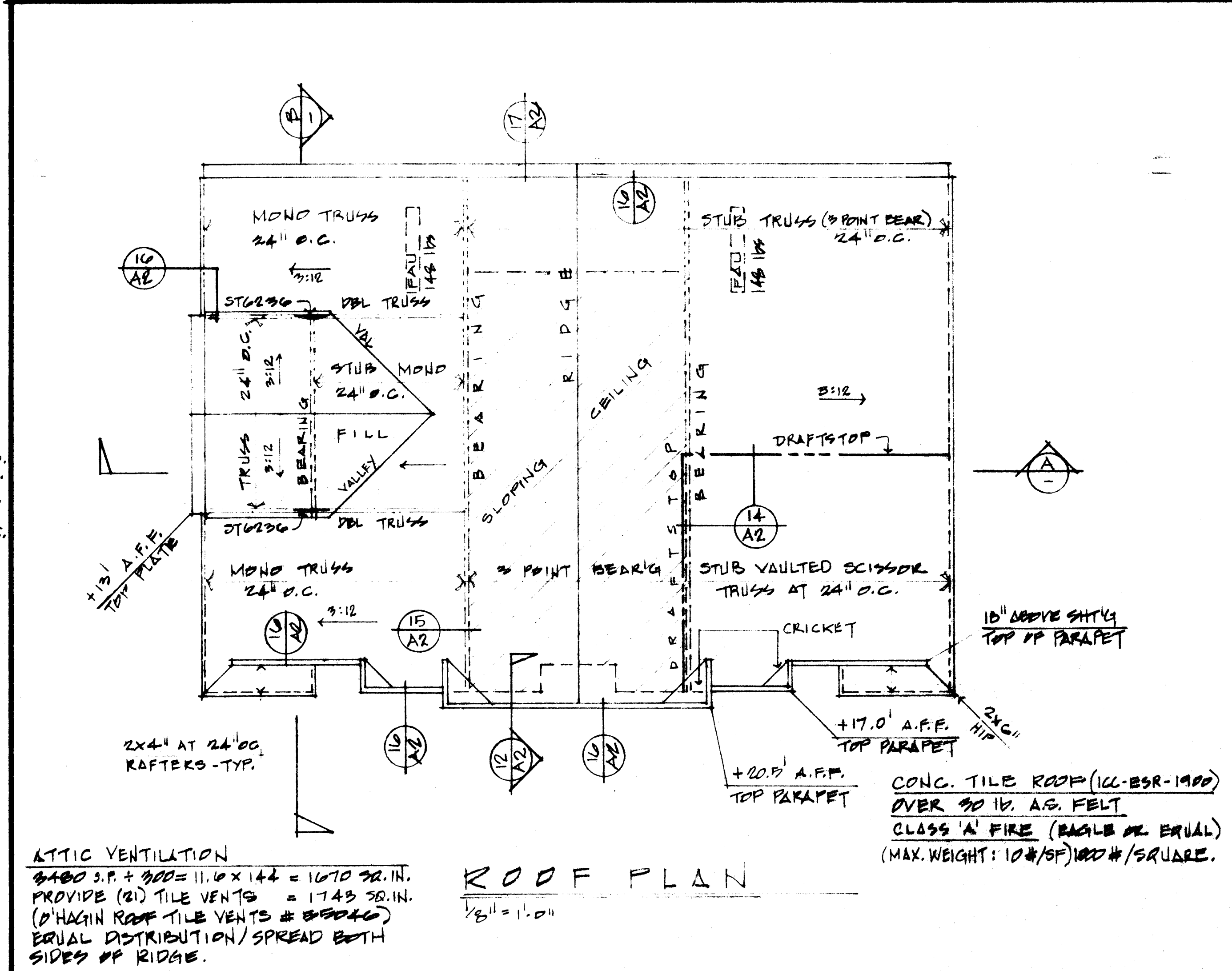
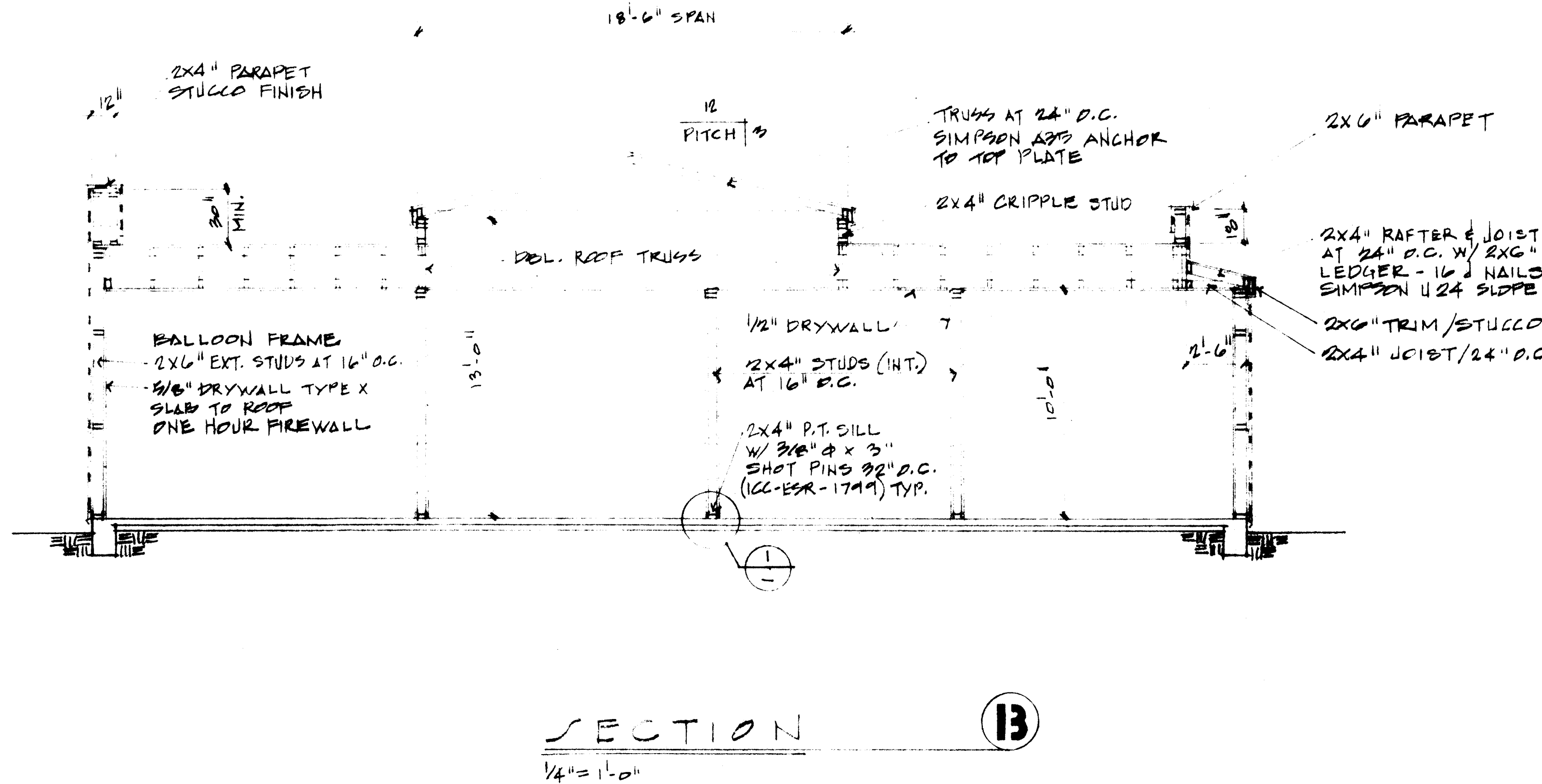
MAR. 11, 2011

2400 CON

SHEET NO

A3

18



TOWN OF APPLE VALLEY APPROVED

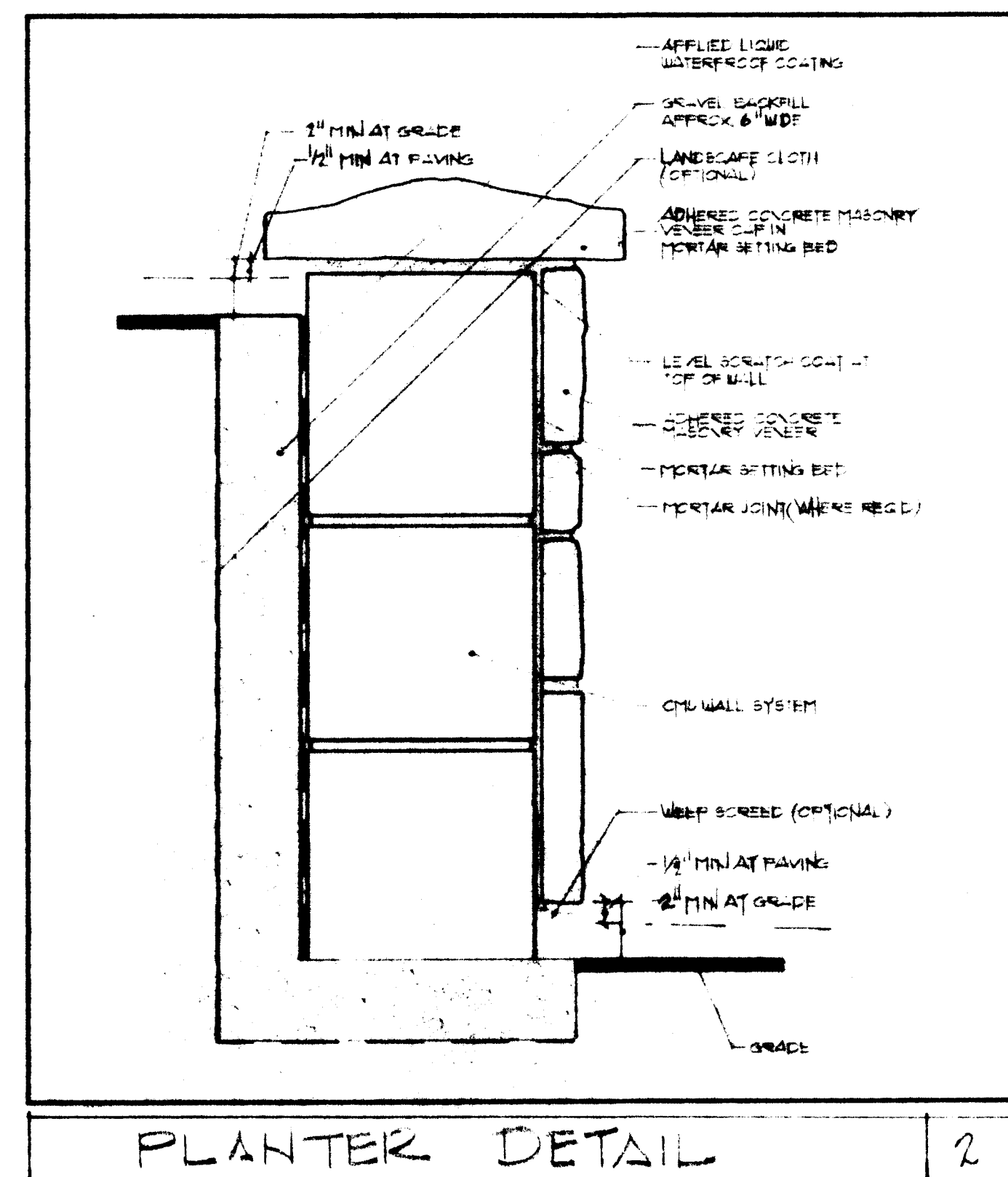
THESE PLANS AND DETAILS ARE APPROVED

THE APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT FOR ANY VIOLATION OF ANY CODE OR ORDINANCE OF THIS COUNTY.

By _____

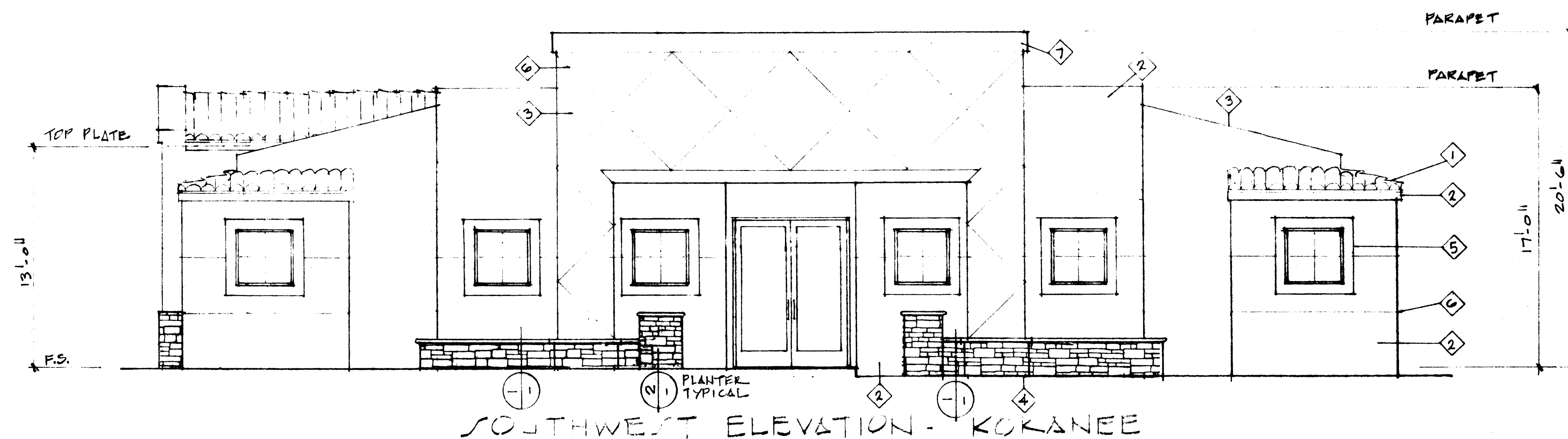
Date _____

THESE PLANS SHALL BE ON THE JOB FOR ALL REQUESTED INSPECTIONS

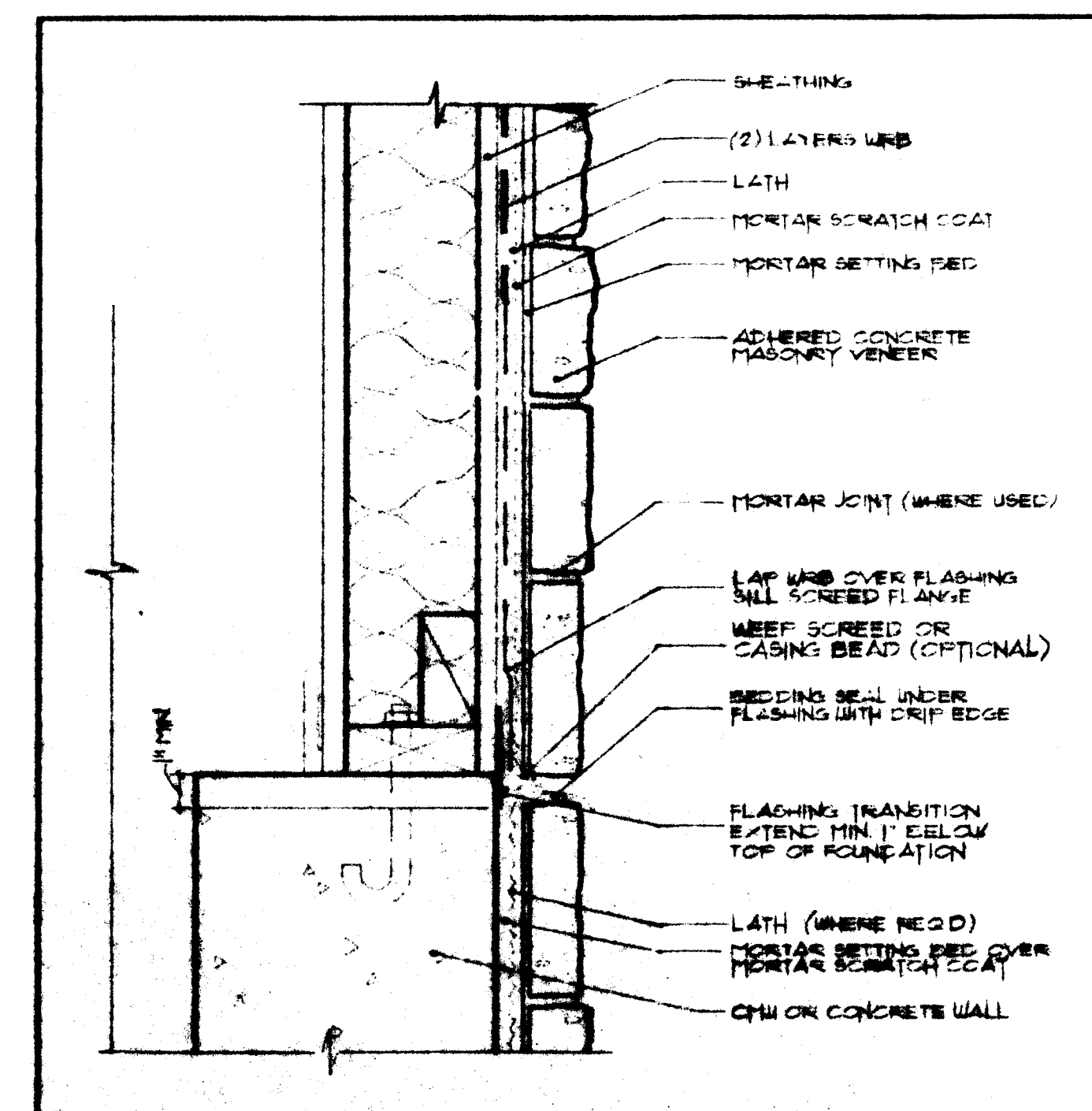


PLANTER DETAIL

2



SOUTHWEST ELEVATION - KOKANEE

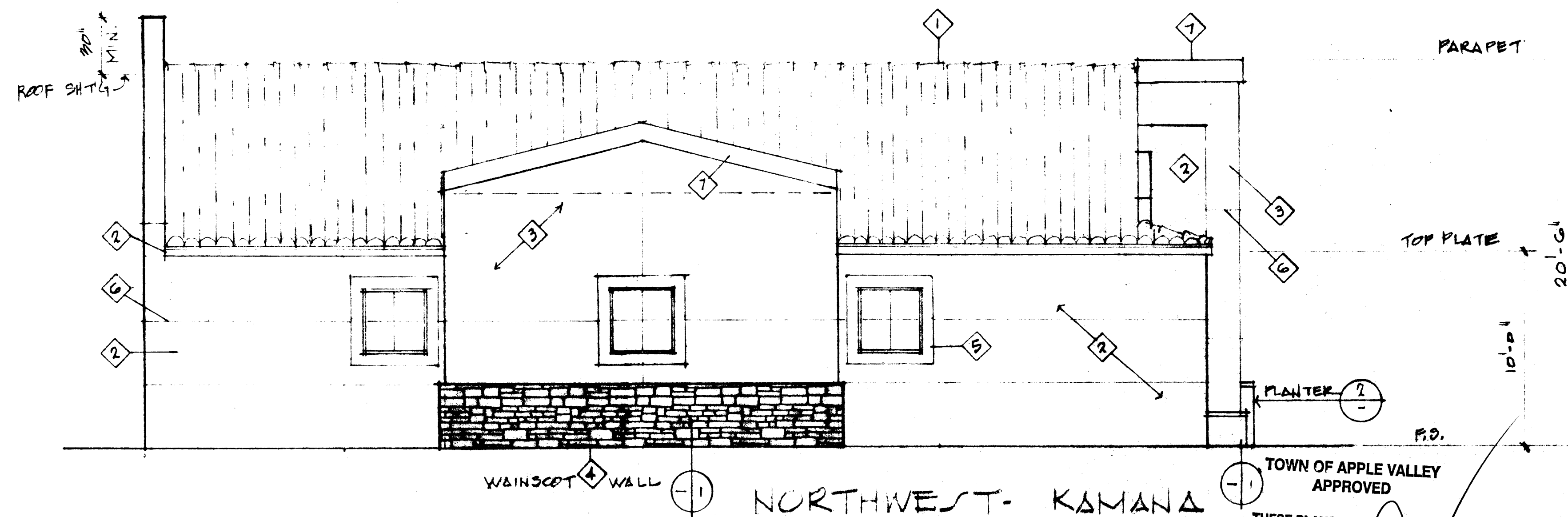


VENEER DETAIL

1

DESCRIPTION OF MATERIALS

- 1 CONCRETE TILE
EAGLE- CAPISTRANO, SAN RAPHAEL #3684
- 2 STUCCO PLASTER
LA HABRA- TRABUCO X-278
- 3 STUCCO PLASTER
LA HABRA- PACIFIC SAND X-97, SMOOTH
- 4 MASONRY VENEER
EL DORADO- STACKED STONE, SANTA FE
- 5 2X6 TRIM- STUCCO FINISH
MATCH ADJACENT WALL FINISH
- 6 PLASTER EXPANSION JOINT
MATCH ADJACENT WALL FINISH
- 7 2X10 TRIM- STUCCO FINISH
MATCH ADJACENT WALL FINISH



NORTHWEST - KAMANA

TOWN OF APPLE VALLEY
APPROVED

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By _____
Date _____

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FOR ALL REQUESTED INSPECTIONS

REVISIONS
JAN. 10, 2011
AUG. 18, 2011
SEP. 12, 2011

G.M.
BENSON
design

BOX 213 APPLE VALLEY, CA 92307 TEL 927-8370

RYAN INVESTMENTS, INC.
200 S. 1ST ST.
APPLE VALLEY, CA 92303
927-8370

DEC. 10, 2010

2400 COM

SHEET NO.

A4

REVISIONS
 JAN. 20, 2011
 AUG. 18, 2011
 SEP. 12, 2011

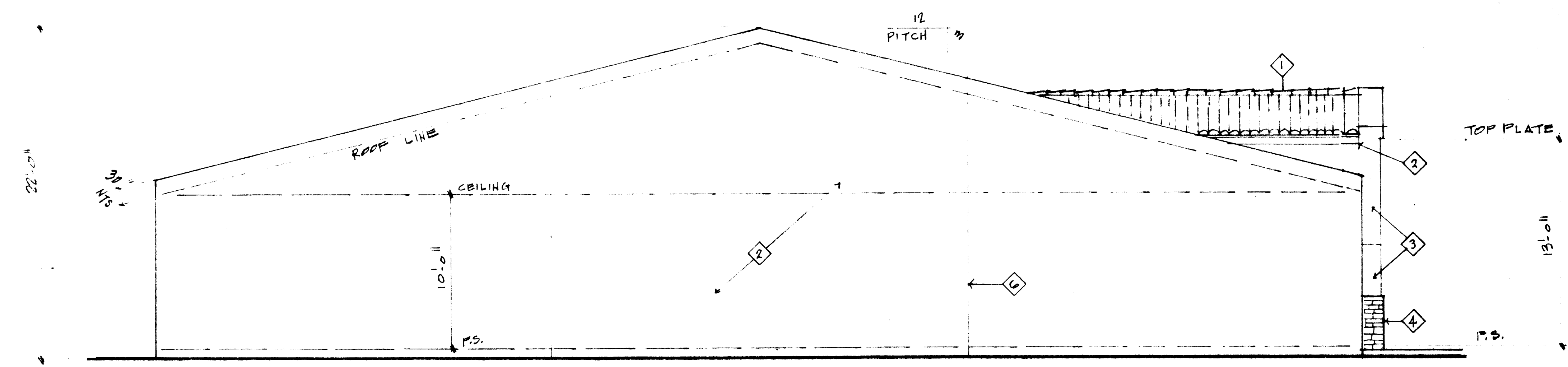
RYLAR INVESTMENTS, INC.
 500 E. BOX
 APPLE VALLEY, CA 92307
 TEL 951-397-7429

RYLAR INVESTMENTS, INC.
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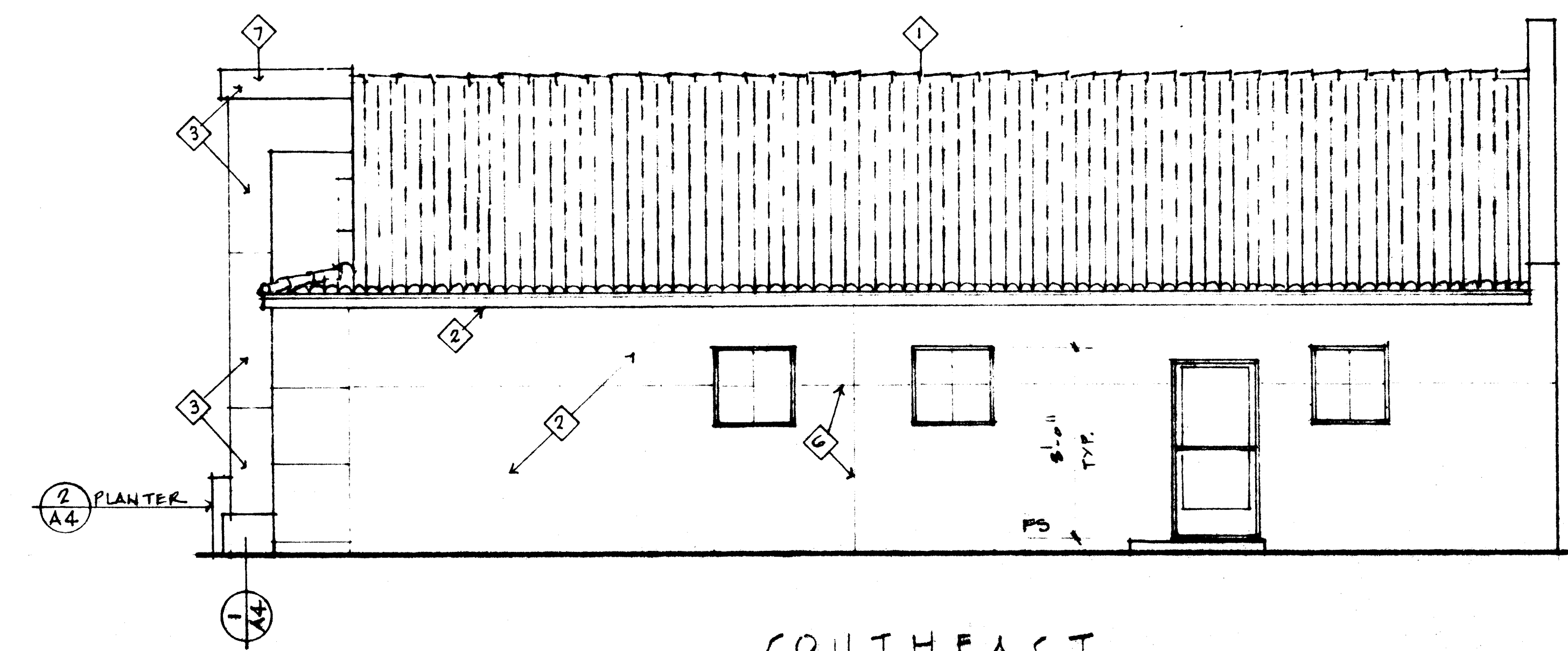
RYLAR INVESTMENTS, INC.
 500 E. BOX
 APPLE VALLEY, CA 92307
 TEL 951-397-7429



NORTHEAST ELEVATION - REAR

◇ DESCRIPTION OF MATERIALS

- 1 CONCRETE TILE
EAGLE- CAPISTRANO, SAN RAPHAEL #3684
- 2 STUCCO PLASTER
LA HABRA- TRABUCO X-278
- 3 STUCCO PLASTER
LA HABRA- PACIFIC SAND X-97, SMOOTH
- 4 MASONRY VENEER
EL DORADO- STACKED STONE, SANTA FE
- 5 2X6 TRIM- STUCCO FINISH
MATCH ADJACENT WALL FINISH
- 6 PLASTER EXPANSION JOINT
MATCH ADJACENT WALL FINISH
- 7 2X10 TRIM- STUCCO FINISH
MATCH ADJACENT WALL FINISH



SOUTHEAST

TOWN OF APPLE VALLEY
 APPROVED

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 APPROVED
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 ORDINANCE OF THIS COUNTY.

By _____
 Date _____

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DIAGONAL PARKING STALLS
FIGURE 11B-18C

SINGLE PARKING STALL

WITHIN THE ACCESSIBLE PARKING STALL
PAINT THE WORDS "NO PARKING" IN 12" HIGH LETTERS MIN

HANDICAPPED PARKING SIGN

HANDICAPPED ENTRANCE SIGN

GRAB BAR

* RAMP & SLOPES MUST COMPLY W/ ADA REQUIREMENTS

HANDICAP CURB RAMP

C ELEVATION
1/4" ± 1-0"

ELEVATION _____

1. MIRRORS - MAXIMUM 40" ABOVE FLOOR (REF 2 - 5)(b)(1)
2. TOILET TISSUE DISPENSER TO BE MOUNTED WITHIN 12 INCHES FROM THE FRONT EDGE OF TOILET SEAT (REF 2 - 5)(b)(2)
3. OPERATING PARTS OF DEMISING AND DISPOSAL FIXTURES (TOWELS, WASTE, CROWN SLOTS ETC.) ARE TO BE WITHIN 40 INCHES OF FLOOR (REF 2 - 5)(b)(3)
4. PROVIDE 1 1/2" CLEARANCE BETWEEN WALL AND GRAB BARS (REF 2 - 5)(a)(8)
5. GRAB BARS SHALL SUPPORT A 250 LB. LOAD AND SHALL NOT ROTATE WITHIN THEIR FITTINGS (REF 2 - 5)(a)(8) PROVIDE MIN 16 GA. BACKING SCREWS TO STUDS
6. FLUSH VALVE/ CONTROL ON WATER CLOSET SHALL BE OPERABLE BY AN OSCILLATING HANDLE W/ MAX. FORCE OF NOT GREATER THAN 5 LBS (REF 5 - 1502) AND SHALL BE LOCATED ON THE SIDE OF THE WATER CLOSET
7. TOP OF ALL ELECTRICAL SWITCHES AND CONVENIENCE OUTLET NOT TO EXCEED 40 INCHES - TYPICAL THROUGHOUT (SEC. 33800-B6)
8. SOAP AND TOWEL DISPENSERS AT ALL HAND SINK LOCATIONS SHALL BE PROVIDED BY GENERAL CONTRACTOR
9. GRAB BARS SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 1 1/4". NOR MORE THAN 1 1/2"
10. MAINTAIN A CLEAR FLOOR SPACE OF 30" x 48" IN FRONT OF LAVATORIES
11. RECEPTACLE OUTLETS TO BE INSTALLED NOT LESS THAN 15 INCHES ABOVE

RESTROOM DOOR SYMBOLS

RESTROOM DOOR SYMBOLS

THESE PLANS AND DETAILS ARE APPROVED

(a) SIDEWALK OBSTRUCTIONS

GUIDE RAIL DETAIL

WHEEL GUIDE DE

(b) RAMP LANDING AT DOORWAY

(a) RAMP WITH INTERMEDIATE SWITCH BACK PLATFORM

(a) STRAIGHT RAMP RUN

3.1.1. SAMPLES AND TESTING PLATFORM

THRESHOLD DETAIL

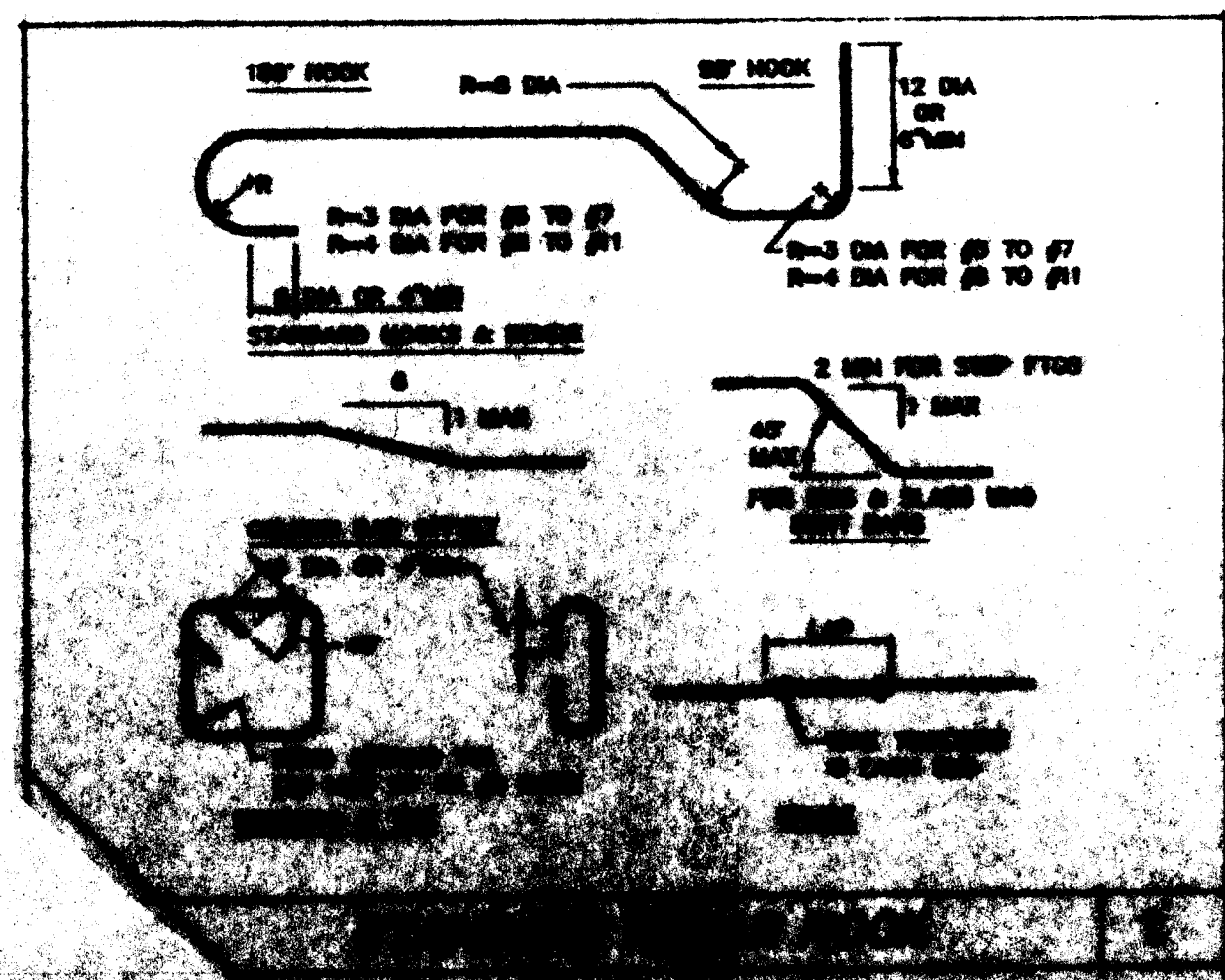
Urinals _____ Lavatories _____

GENERAL REQUIREMENTS

SANITARY FACILITIES

(o) SYMBOL PROPORTION

(4) DISPLAY CONDITION



NOTES:

- 4" CONCRETE SLAB & TOP WATER COMPACTED FILL.
- CONCRETE SHALL TEST AT 2500 PSI.
- USE 5/8" x 12" A. BOLTS AT 12" O.C. (EXCEPT SHEAR WALLS)
- 7" MIN. EMBEDMENT, AND 1/2" FROM ALL ENDS, CORNERS & SPLICES.
- SHEAR WALL - SEE SCHEDULE ON SHEET # 32 FOR ANCHOR SPACING.
- NO HOLD-DOWNS ARE REQUIRED.
- ALL SILL PLATE (PRESS. TREATED) FASTENERS SHALL BE HOT DIPPED ZINC-COATED GALV. STEEL, STAIN. STL, SILICON BRONZE OR COPPER.

TOWN OF APPLE VALLEY
APPROVED

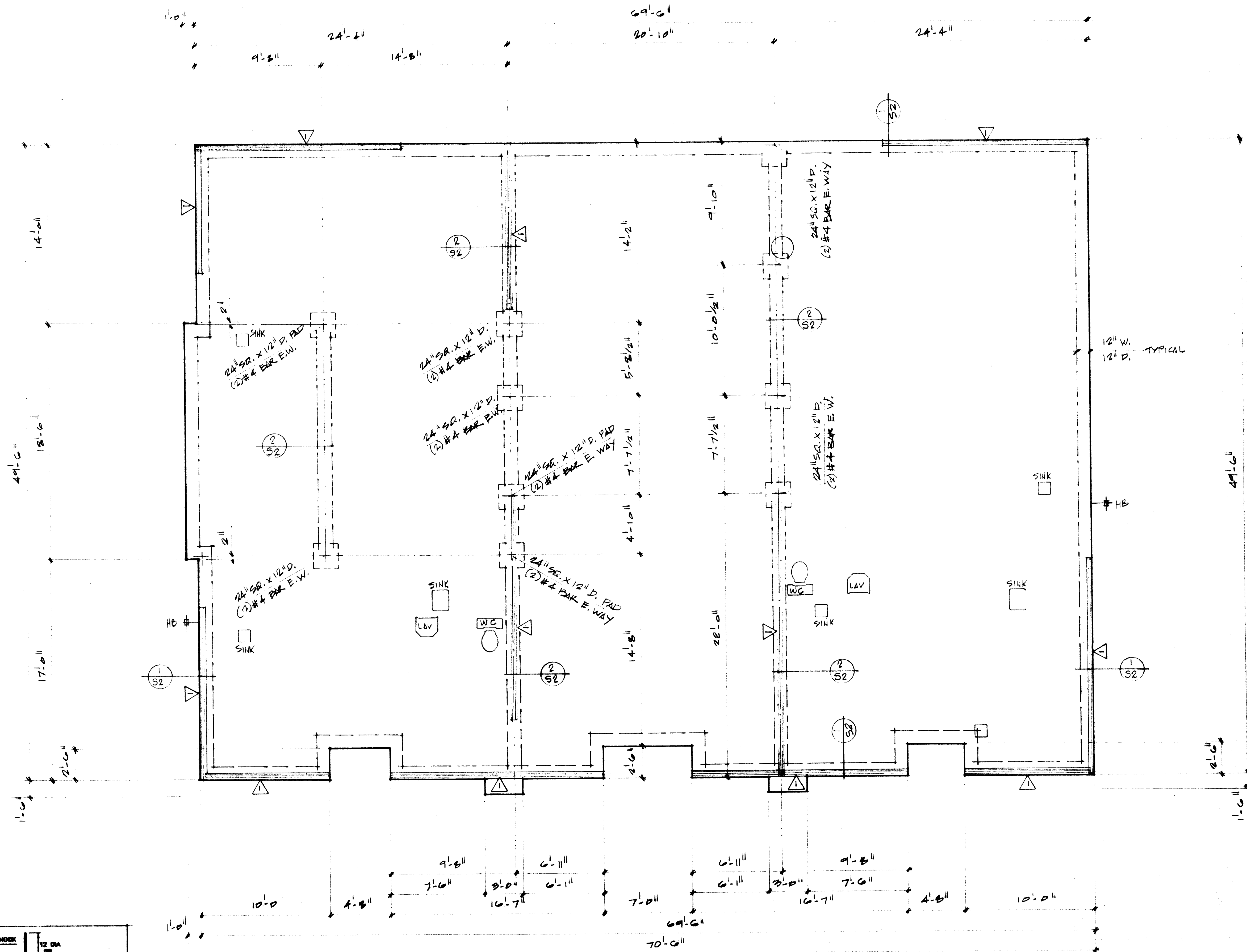
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FOR ANY VIOLATION OF ANY CODE OR
ORDINANCE OF THIS COUNTRY.

By _____
Date _____

THESE PLANS SHALL BE ON THE JOB
FOR ALL REQUESTED INSPECTIONS

FOUNDATION PLAN



RYLAR INVESTMENTS, INC.
1000 N. MAIN ST.
APPLE VALLEY, CA 95921
(916) 261-1111

CIVIL & STRUCTURAL ENGINEERING SERVICES

JERRY L. MILES, P.E.

P.O. BOX 1401, APPLE VALLEY, CA 95921
(916) 261-1111

DATE: 05/11

SCALE: 1/8" = 1'-0"

SHEET: 11

PROJECT: 11

DATE: 05/11

PROJECT: 11

REVISIONS
ADD. 10, 2011

G.M.
BENSON
ARCHITECT

ONE WEST VALLEY, CA 95921
(916) 261-1111

REVISIONS
AUG. 19, 2011

G.M.
BENSON
design

8888 SVL BOX
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760.403.3919

CIVIL & STRUCTURAL ENGINEERING SERVICES

JERRY L. MILES, P.E.

P.O. BOX 1061, APPLE VALLEY, CA 92307
760.245.5941

RYLAR INVESTMENTS, INC.

8888 SVL BOX
VICTORVILLE, CA 92395
760.403.3919

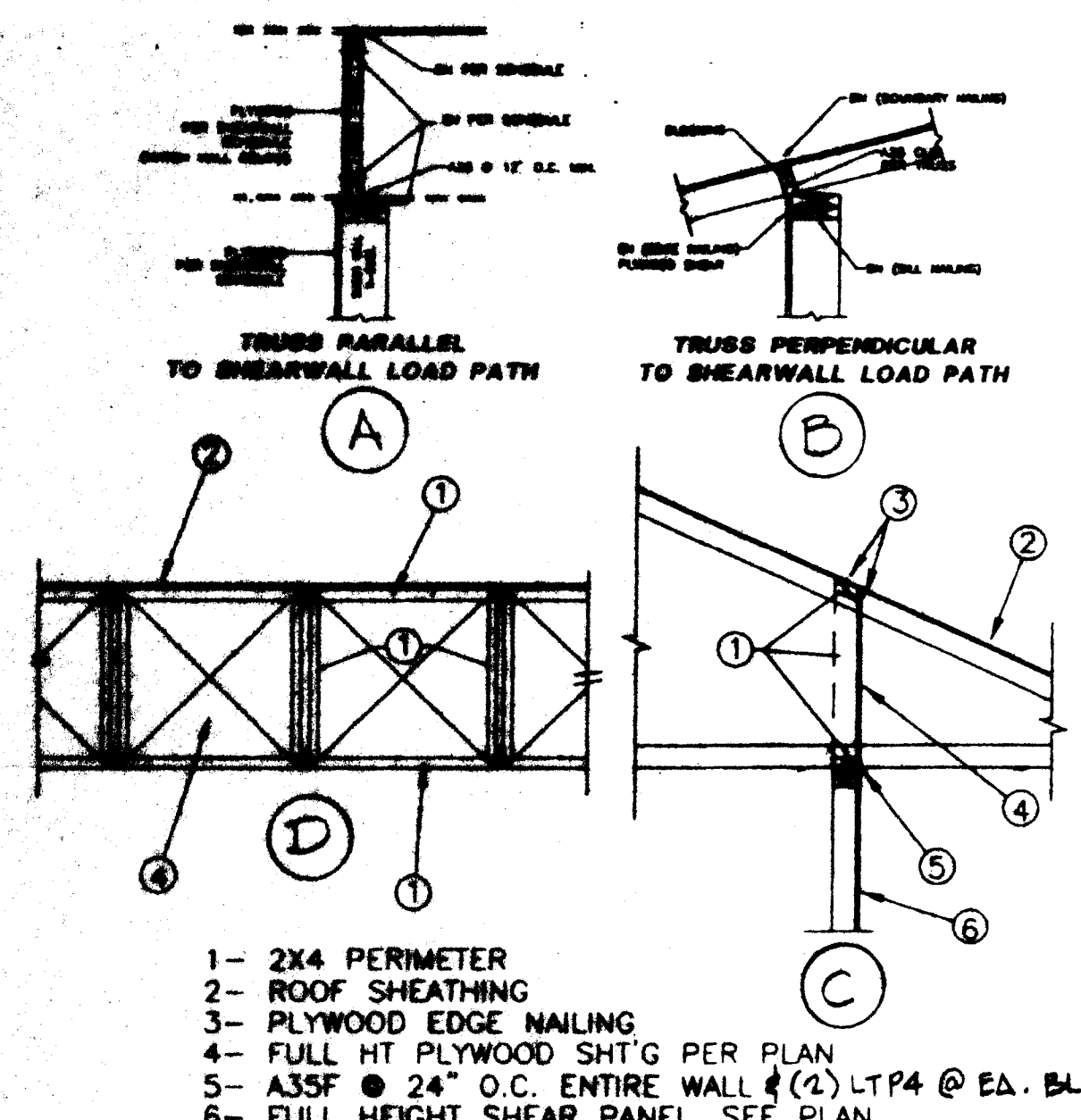
3480 COM

DEC. 13, 2010

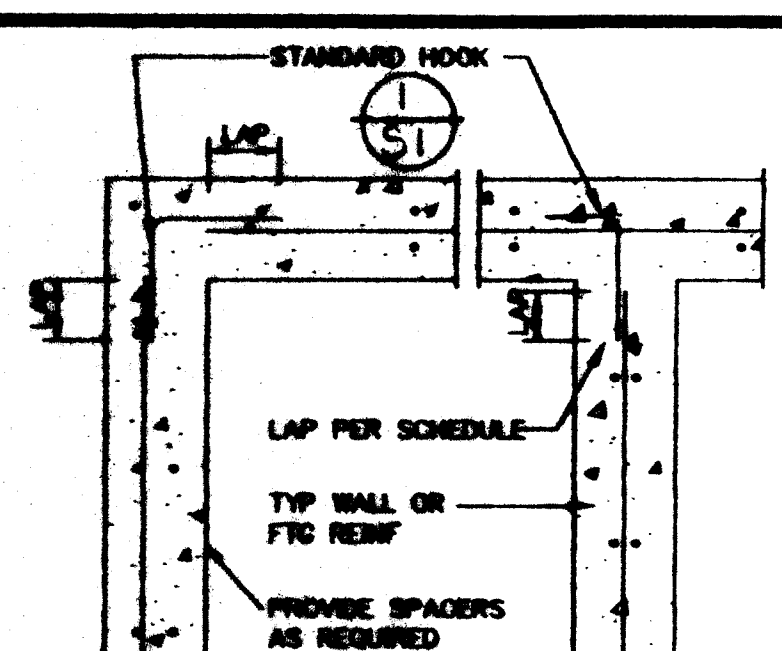
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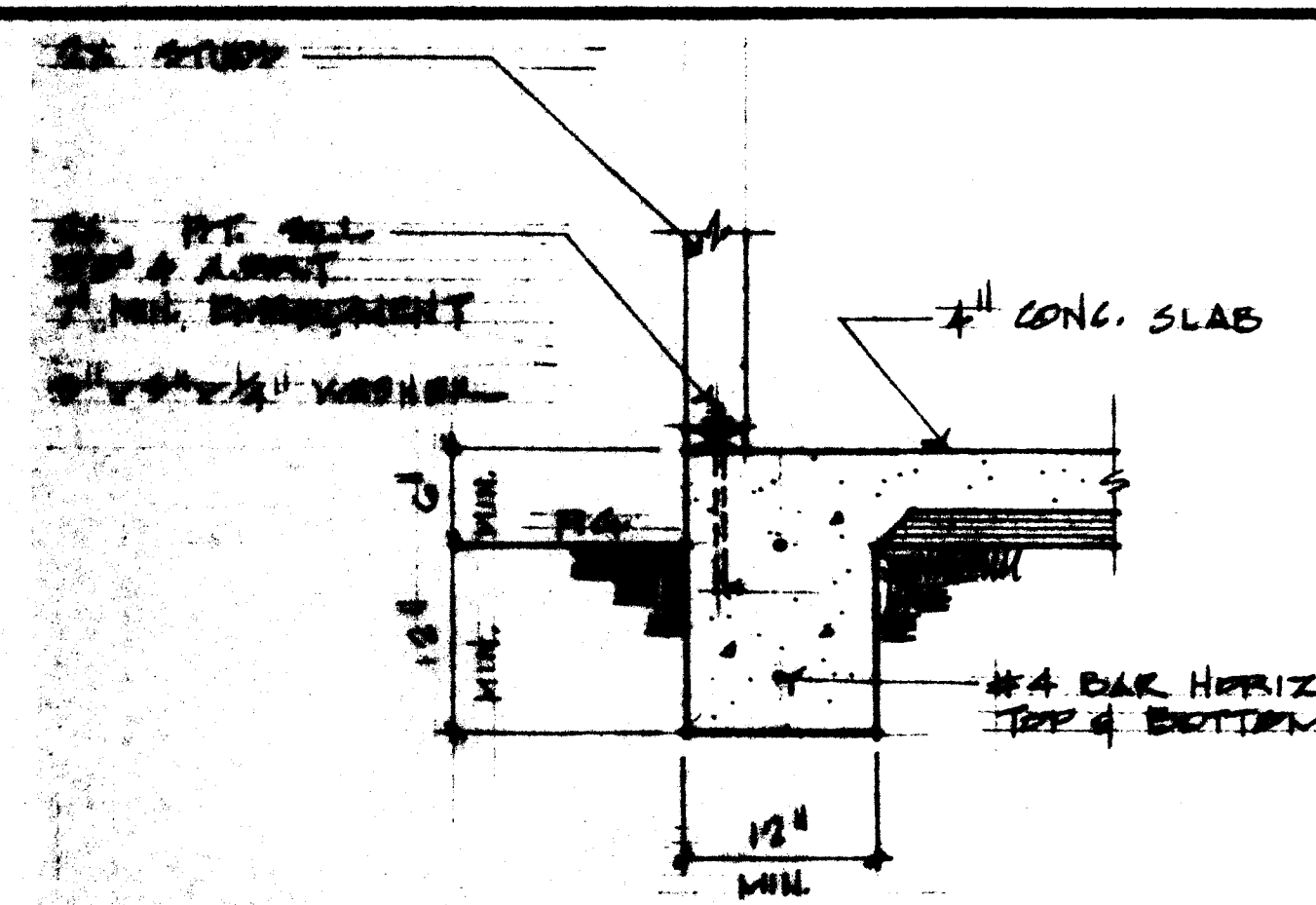
OF 18



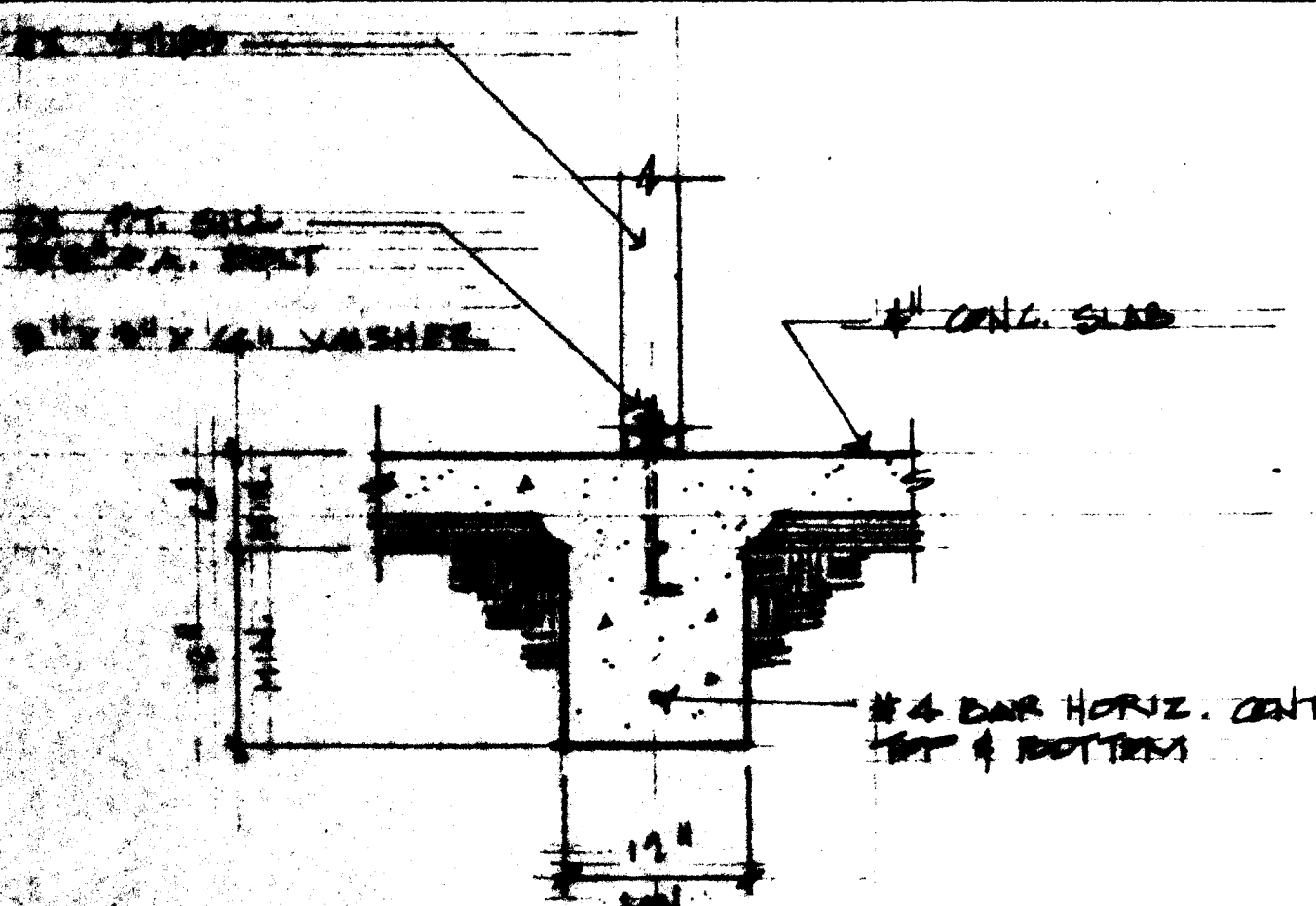
SHEAR TRANSFER



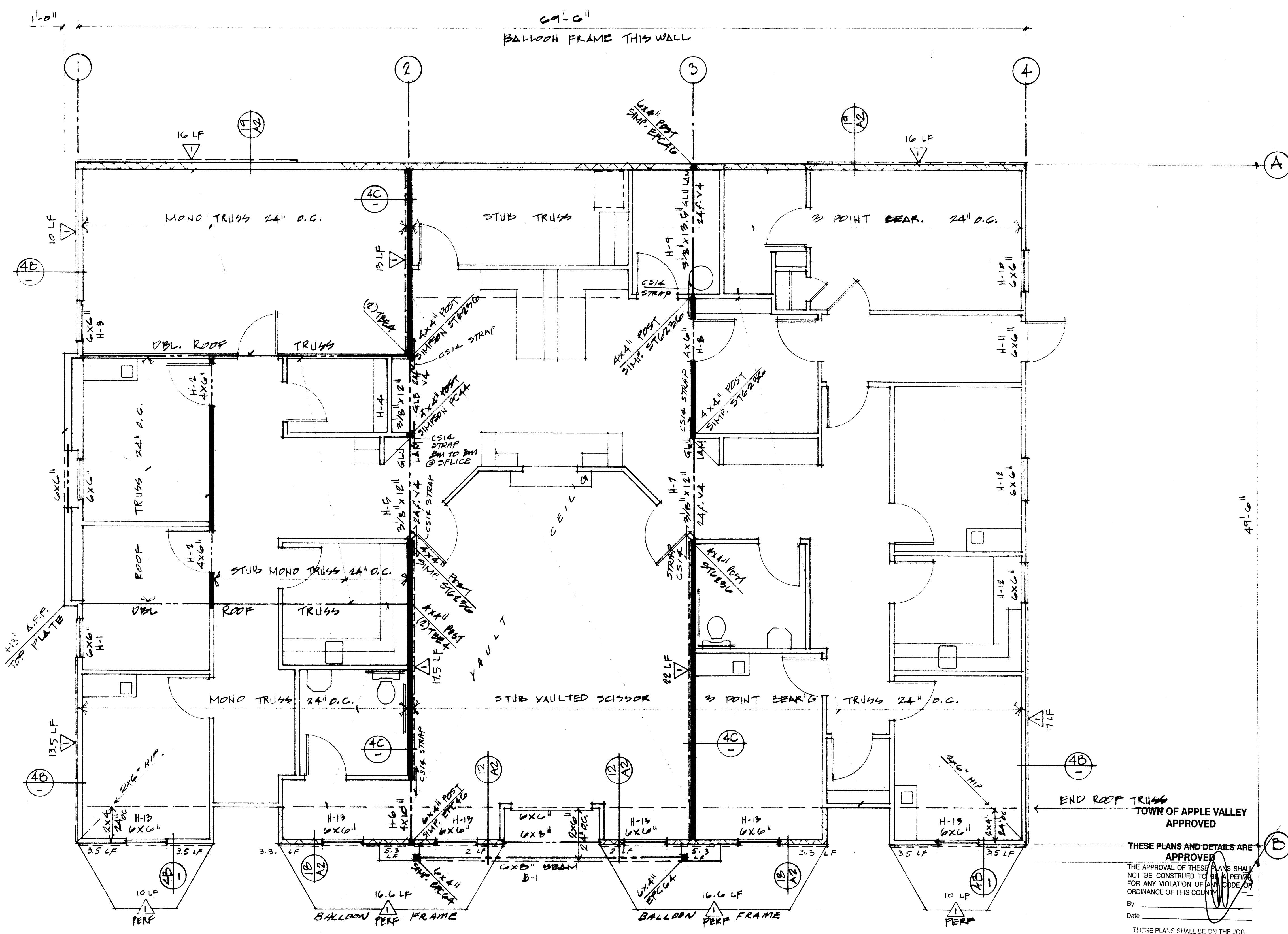
REBAR AT JOINT & CORNER



EXTERIOR FOOTING



INTERIOR FOOTING

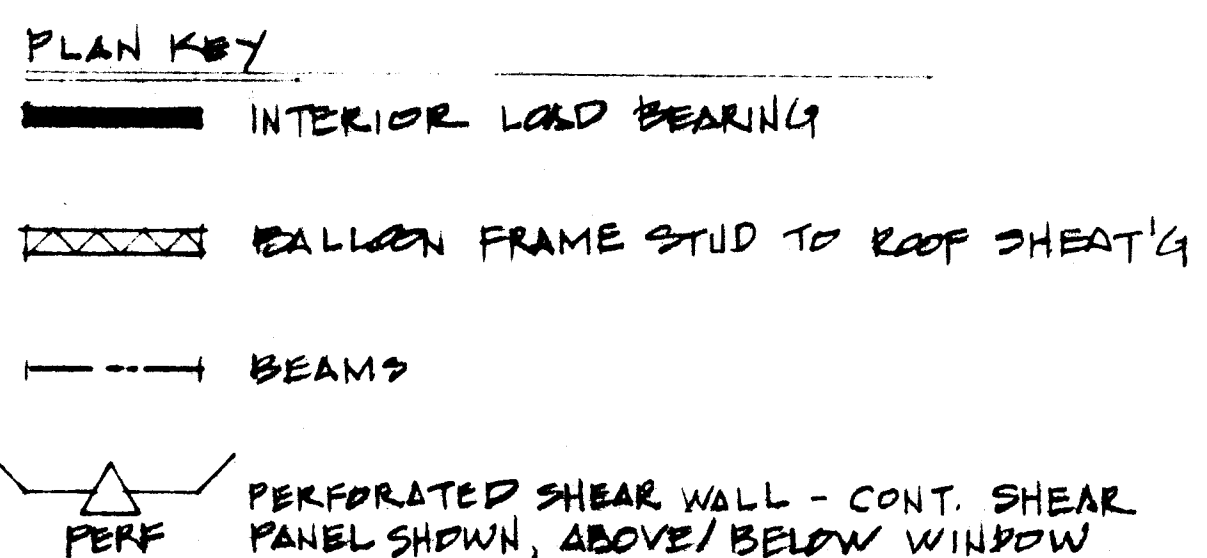


SHEAR PANEL SCHEDULE

NO.	DESCRIPTION	4" SPICE NAILING	ANCHOR BOLTS	SPECIAL FRAMING	ALL SHEAR
1	3/8" C-DX PLYWOOD SHEAR PANELS APPLIED DIRECTLY TO FRAMING W/84 NAILS @ 6" o.c. AT PANEL EDGES & 12" o.c. AT INTERMEDIATE SUPPORTS. INSTALL SPECIFIED HOLDOWNS PER STRUCTURAL CALC'S & DIAGRAM.	8-104 NAILS @ 6" SPICE	5/8" DIA A.B. @ 80" o.s.		V _{ALL} = 160 lb/ft
2	3/8" STRUCT 1 PLYWOOD SHEAR PANELS APPLIED DIRECTLY TO FRAMING W/84 NAILS @ 6" o.c. AT PANEL EDGES & 12" o.c. AT INTERMEDIATE SUPPORTS. INSTALL SPECIFIED HOLDOWNS PER STRUCTURAL CALC'S & DIAGRAM.	12-104 NAILS @ 6" SPICE	5/8" DIA A.B. @ 40" o.s.		V _{ALL} = 280 lb/ft
3	3/8" STRUCT 1 PLYWOOD SHEAR PANELS APPLIED DIRECTLY TO FRAMING W/84 NAILS @ 6" o.c. AT PANEL EDGES & 12" o.c. AT INTERMEDIATE SUPPORTS. INSTALL SPECIFIED HOLDOWNS PER STRUCTURAL CALC'S & DIAGRAM.	15-104 NAILS @ 6" SPICE	5/8" DIA A.B. @ 24" o.s.	3x ADJ FRAMING & 3x SILL PLATE	V _{ALL} = 430 lb/ft
4	3/8" STRUCT 1 PLYWOOD SHEAR PANELS APPLIED DIRECTLY TO FRAMING W/84 NAILS @ 6" o.c. AT PANEL EDGES & 12" o.c. AT INTERMEDIATE SUPPORTS. INSTALL SPECIFIED HOLDOWNS PER STRUCTURAL CALC'S & DIAGRAM.	15-104 NAILS @ 6" SPICE	5/8" DIA A.B. @ 20" o.s.	3x ADJ FRAMING & 3x SILL PLATE	V _{ALL} = 550 lb/ft
5	DOUBLE SIDED 3/8" STRUCT 1 PLYWOOD SHEAR PANELS APPLIED DIRECTLY TO FRAMING W/84 NAILS @ 6" o.c. AT PANEL EDGES & 12" o.c. AT INTERMEDIATE SUPPORTS. INSTALL SPECIFIED HOLDOWNS PER STRUCTURAL CALC'S & DIAGRAM.	28-104 NAILS @ 6" SPICE	5/8" DIA A.B. @ 12" o.s.	3x ADJ FRAMING & 3x SILL PLATE	V _{ALL} = 880 lb/ft
6	DOUBLE SIDED 3/8" STRUCT 1 PLYWOOD SHEAR PANELS APPLIED DIRECTLY TO FRAMING W/84 NAILS @ 6" o.c. AT PANEL EDGES & 12" o.c. AT INTERMEDIATE SUPPORTS. INSTALL SPECIFIED HOLDOWNS PER STRUCTURAL CALC'S & DIAGRAM.	CMHC 18 COL STRAP	5/8" DIA A.B. @ 10" o.s.	3x ADJ FRAMING & 3x SILL PLATE	V _{ALL} = 1,100 lb/ft
7	15/32" STRUCT 1 PLYWOOD SHEAR PANELS APPLIED DIRECTLY TO FRAMING W/104 NAILS @ 3" o.c. AT PANEL EDGES & 6" o.c. AT INTERMEDIATE SUPPORTS. INSTALL SPECIFIED HOLDOWNS PER STRUCTURAL CALC'S & DIAGRAM.	20-104 NAILS @ 6" SPICE	5/8" DIA A.B. @ 16" o.s.	ALL 3x FRAMING & 3x SILL PLATE	V _{ALL} = 665 lb/ft

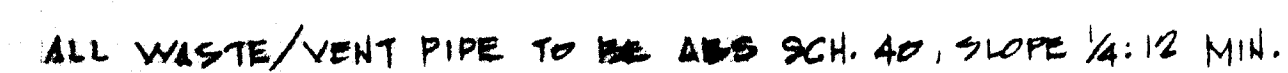
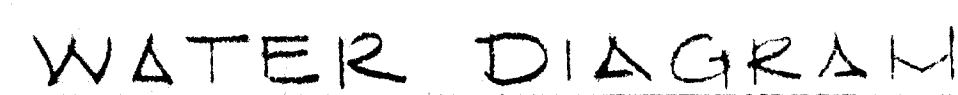
*NOTE: ALLOWABLE SHEAR VALUES PER 2010 C.B.C. TABLE 2308.3 - SEE NOTE 4 FOR ALL SHEAR VALUE PERMITTED TO BE INCREASED TO VALUES FOR 15/32\"/>

CONNECTION	REMARKS
1. Joint to sill or girder, nominal	2-164
2. Bridging to joist, nominal	2-164
3. 1\"/>	2-164
4. Where more than 1\"/>	2-164
5. 2\"/>	2-164
6. Side plates to joist or girder, blind end, face nail	164 @ 12\"/>
7. Top plate to stud, face nail	2-164
8. Stud to side plate	4-164, nominal
9. Double studs, face nail	164 @ 12\"/>
10. Double top plates, face nail	164 @ 12\"/>
11. Top plates, face and intermediate, face nail	2-164
12. Continuous header, two plates	164 @ 12\"/>
13. Ceiling joist to plate, nominal	2-164
14. Continuous header to stud, nominal	2-164
15. Ceiling joist, face over partitions, face nail	2-164
16. Ceiling joist to parallel rafters, face nail	2-164
17. Rafter to plate, nominal	2-164
18. 1\"/>	2-164
19. 1\"/>	2-164
20. Where more than 1\"/>	2-164
21. Build-up corner studs	164 @ 12\"/>
22. Build-up girder and beams	20 @ 12\"/>



STRUCTURAL FLOOR PLAN

SCALE: 1/4\"/>



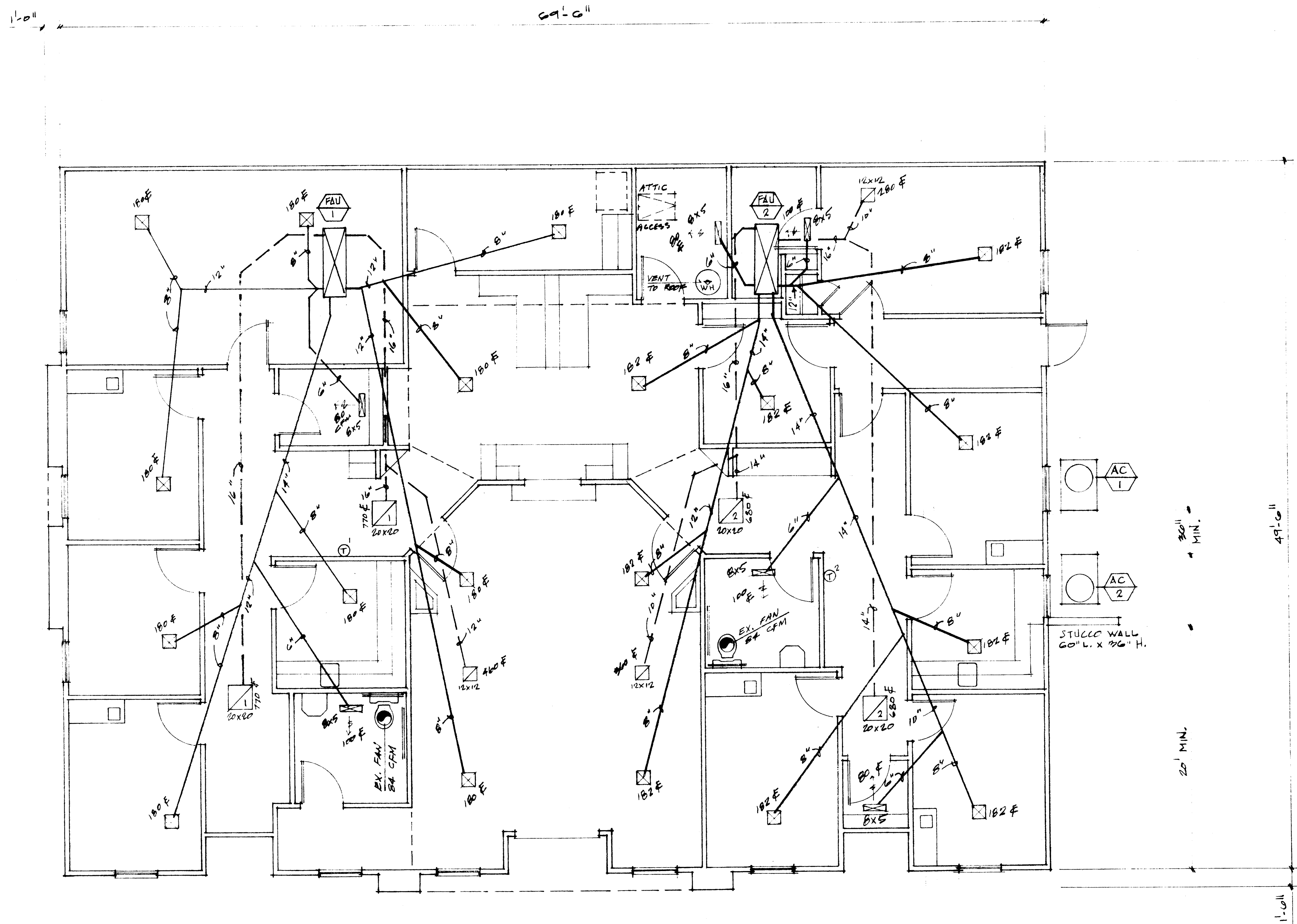
SEWER DIAGRAM



SCIN4A08 11-27-01
LAVATORY DETAIL

FOR WATER CONSERVATION MEASURES SEE "CAL GREEN STANDARDS" SHEET CG.

OF



NOTES

ALL MECHANICAL EQUIPMENT SHALL BE LISTED & LABELLED BY ASHRAE.

EXHAUST FANS SHALL HAVE BACK DRAFT DAMPERS.

DUCT INSULATION R-8.0 MIN.

GENERAL CONTRACTOR SHALL UNDERCUT INTERIOR DOORS 1" CLEAR OF FLOORING FOR RETURN AIR.

PLAN KEY

- ☒ RETURN AIR GRILLE, TITUS OR EQUAL. SIZE ON PLAN
- ☒ SUPPLY AIR REGISTER, TITUS OR EQUAL. 12" X 12"
- ☒ THERMOSTAT - PROGRAMMABLE HONEYWELL OR EQUAL.

AIR VENTILATION

$3480 \div 100 = 35$ OCCUPANTS, 2010 CBC.

PAU SHALL DRAW 8 CFM X 35 = 175 CFM MIN. FRESH AIR.

EQUIPMENT SPECS

- PAU** GAS FIRED HORIZ. UNIT IN ATTIC - RHEEM OR EQUAL
1/2" RGTM-D9E2AJS; 84,000 BTUH; 95 AFUE; 1000 CFM.
- AC** SPLIT DX - RHEEM OR EQUAL (5 TON)
1/2" RANL-060JAZ; 62,000 BTUH; 12.5 SEER (COIL: RHLK OR EQUAL)

TOWN OF APPLE VALLEY
APPROVED

THESE PLANS AND DETAILS ARE
APPROVED

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ORDINANCE OF THIS COUNTY.

By _____
Date _____
THESE PLANS SHALL BE ON THE JOB
FOR ALL REQUESTED INSPECTIONS

**MECHANICAL
FLOOR PLAN**

SCALE: 1/4" = 1'-0"

REVISIONS

G.M. BENSON
design

8888 SVL BOX
VICTORVILLE, CA 92395
760.403.3919

RYLAR INVESTMENTS, INC.

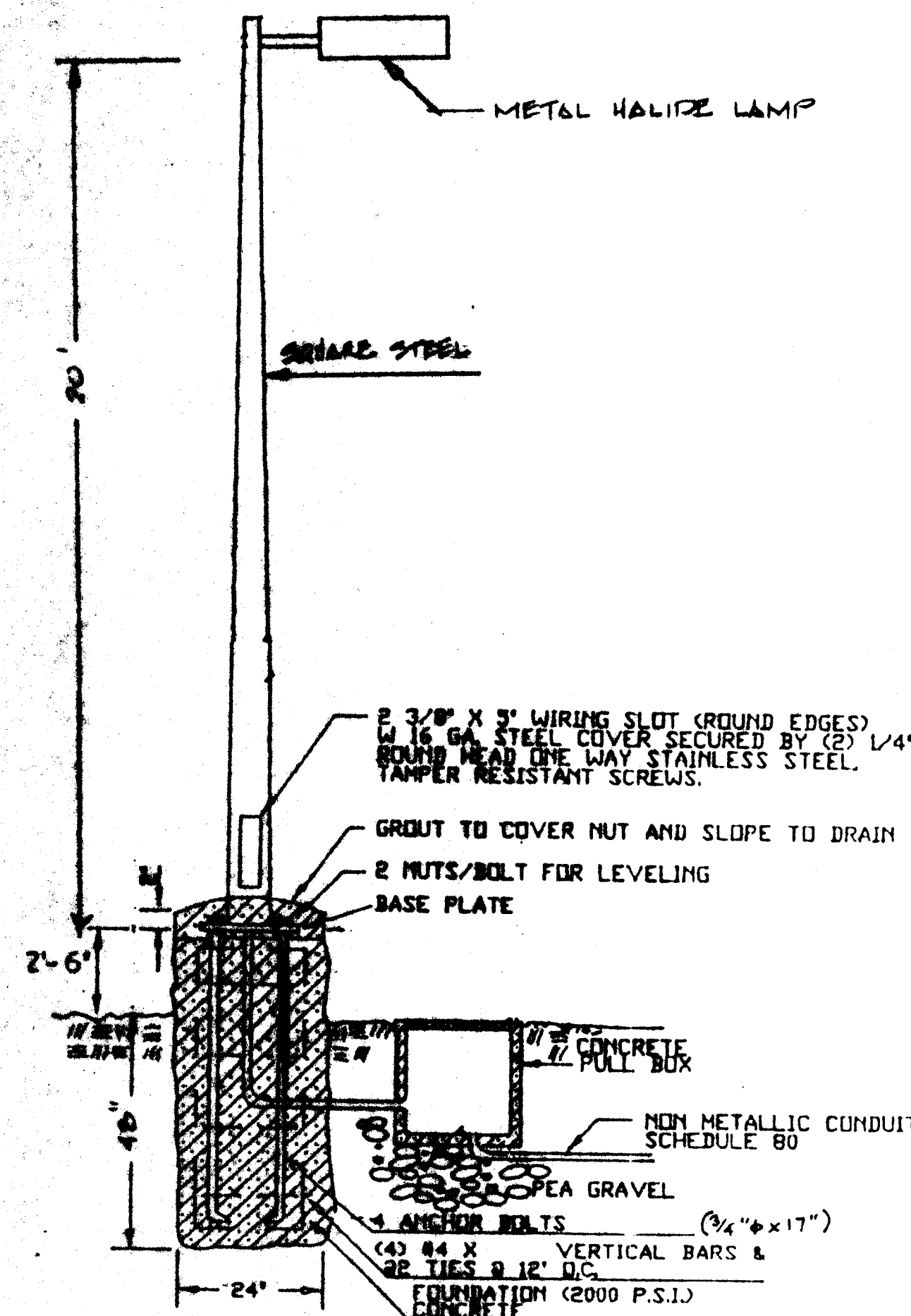
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DEC. 10, 2010

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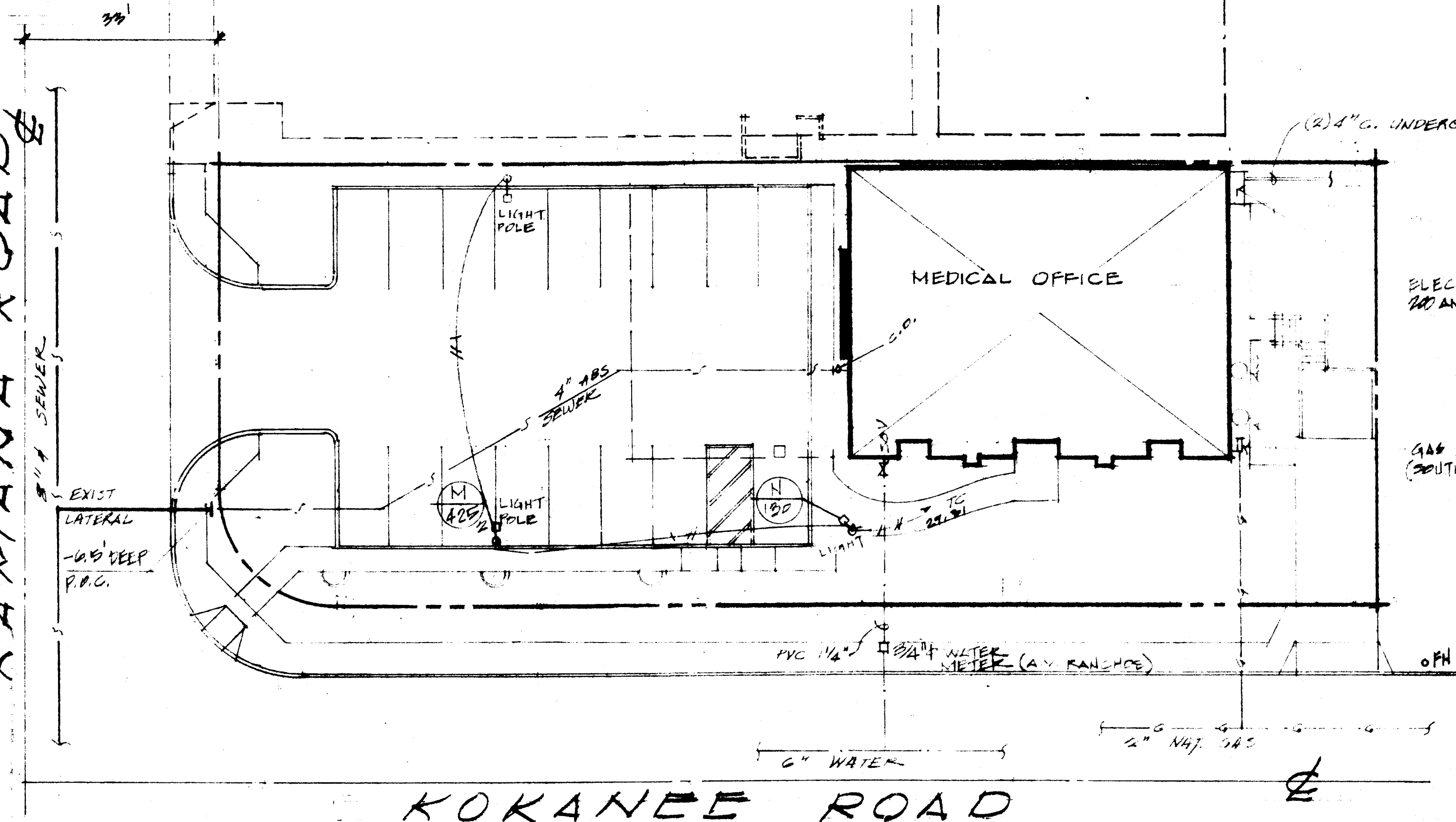
OF 15



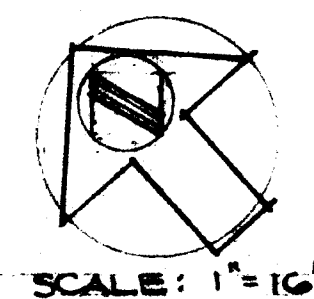
GENERAL NOTES:

- The minimum wiring requirement shall be #12THHN/THWN copper in 1" EMT or flex with appropriate ground conductor.
- All wiring shall be in accordance with the CEC as amended, 2004 and the California Energy Code as amended 2004.
- The contractor shall verify all service requirements with the serving utility prior to commencement of construction.
- All underground runs shall be schedule 40 pvc with GRS risers. Runs shall be 24" below rough grade outside of the building foundations and service runs shall be no less than 36" below grade. Backfill shall be at 90% of rough grade. Monuments of concrete shall be provided at all stub out locations.
- Conduits passing through fire walls shall be sealed and counter sealed as per UL standards UL1001 and CAJ1015. Roof penetrations shall be flashed and counter-flashed to prevent leakage.
- All roof equipment shall be secured to the AC equipment or independently supported by angle steel from the roof joists. Connections there-to shall be with sealable flex conduits.
- Roof disconnects shall be either heavy duty or normal duty, fusible, as called out on these drawings and shall be painted.
- Wall outlets shall not be placed back to back in the same airspace. They shall be at least one stud apart, and vertically above the fire stop.
- Contact the serving telephone utility before rough-in to provide for prewire or terminal locations required. Telephone backboards are not allowed within the power service room where served by S.C.E. Alternate locations shall be found. Provide a ground conductor from that spot to the nearest CW line.
- Provisions for fire alarm shall be made and provide service to smoke detectors where shown on the electrical drawings as well as the mechanical drawings to the fire alarm panel. Provide telephone service and relay with power to each sprinkler riser.
- Provide 4pole single throw 40 amp rated time clocks where shown on the drawings, mounted adjacent to the panel served or remotely as shown. Label to identify as to power source and usage.
- Panel shown shall be QO type semiflush unless called out otherwise. Typed legends shall be provided in the labels. Provide future stub ups for spare circuits that are available to attic access.
- Coordinate all work with other trades and maintain clean work place.
- Provide owner with guarantees, instructions and as-built drawing upon completion.
- All free standing equipment shall be secured in all four corners of the base with 3/8" x 2 1/2" anchors and shall be secured to the wall with 3/8"x14" lag bolts. Fluorescent fixtures shall be secured at all four corners with #12 steel wire in addition to being secured to the tee bar with earthquake clips provided.
- Workmanship shall be unconditionally guaranteed for a period of two years and equipment for a period of one year.
- All electricians shall be California certified to perform work on the project as the law is requiring. No contractor shall be exempt from this new requirement as it becomes mandatory.
- Cal-OSHA requirements shall be completely adhered to, and failure to report violations shall be the responsibility of this contractor.
- No aluminum raceway or wire shall be used on this project. All raceways shall be secured to building structures as called out by the CEC. Junction boxes provided shall be sized according to code requirements. Conductors bundled in junction boxes shall so identified with Brady markers as to source and circuit.
- Outlet boxes shall be no less than 4x4 steel with the proper plaster ring to make flush with the finish wall or ceiling. All floor outlets shall be flush with the finish floor material and shall be anchored with wire and rebar to prevent movement during pours.
- Conduits for future use and utility conduits shall be provided with nylon pull lines and shall have been blown free of any material prior to completion.
- All AC equipment shall be interlocked with the fire alarm system.
- Recessed fixtures shall be protected from the insulation with the use of IC rated cans or the proper approved fire protective blanket (SAPS) based on the R value of the insulation either 4% or 2.5% and shall meet NFPA101 of the life safety code.
- Contractor shall be responsible to provide smoke detectors where required by local or national codes.
- Two lamp fixtures in rooms of 100 sq feet or more shall be circuited by two switches at the entry and all fixtures of three lamps or more shall be circuited by two or more switches. Fixtures of two or more fixtures may be independently switched only when there is more than one switched group providing light to the area.
- All appliances shall be grounded as per ART 250-45(d) of the CEC.
- Prior to installation Contractor shall submit to the Architect or his representative submittals (6 copies) of fixtures, switchgear, and relative equipment he proposes to install. Only that material that has been approved shall be used. The Contractor may have to remove, at his expense, any unapproved items and replace same with approved materials.

KAMANA ROAD



SITE UTILITY PLAN



ELECTRIC METER 120/240 VOLT
200 AMP, 1.4.3 W (WEATHERPROOF)

GAS METER
(SOUTHWEST GAS CORP.)

TOWN OF APPLE VALLEY
APPROVED

THESE PLANS AND DETAILS ARE
APPROVED

THE APPROVAL OF THESE PLANS SHALL
NOT BE CONSTRUED TO BE A PERMIT
FOR ANY VIOLATION OF ANY CODE OR
ORDINANCE OF THIS COUNTY

By _____
Date _____

THESE PLANS SHALL BE ON THE JOB
FOR ALL REQUESTED INSPECTIONS

REVISIONS
MAY 12, 2011
AUG. 28, 2011

G.M.
BENSON
design

BOX 215 APPLE VALLEY, CA 92307 760-841-8278

RYLAR INVESTMENTS, INC.

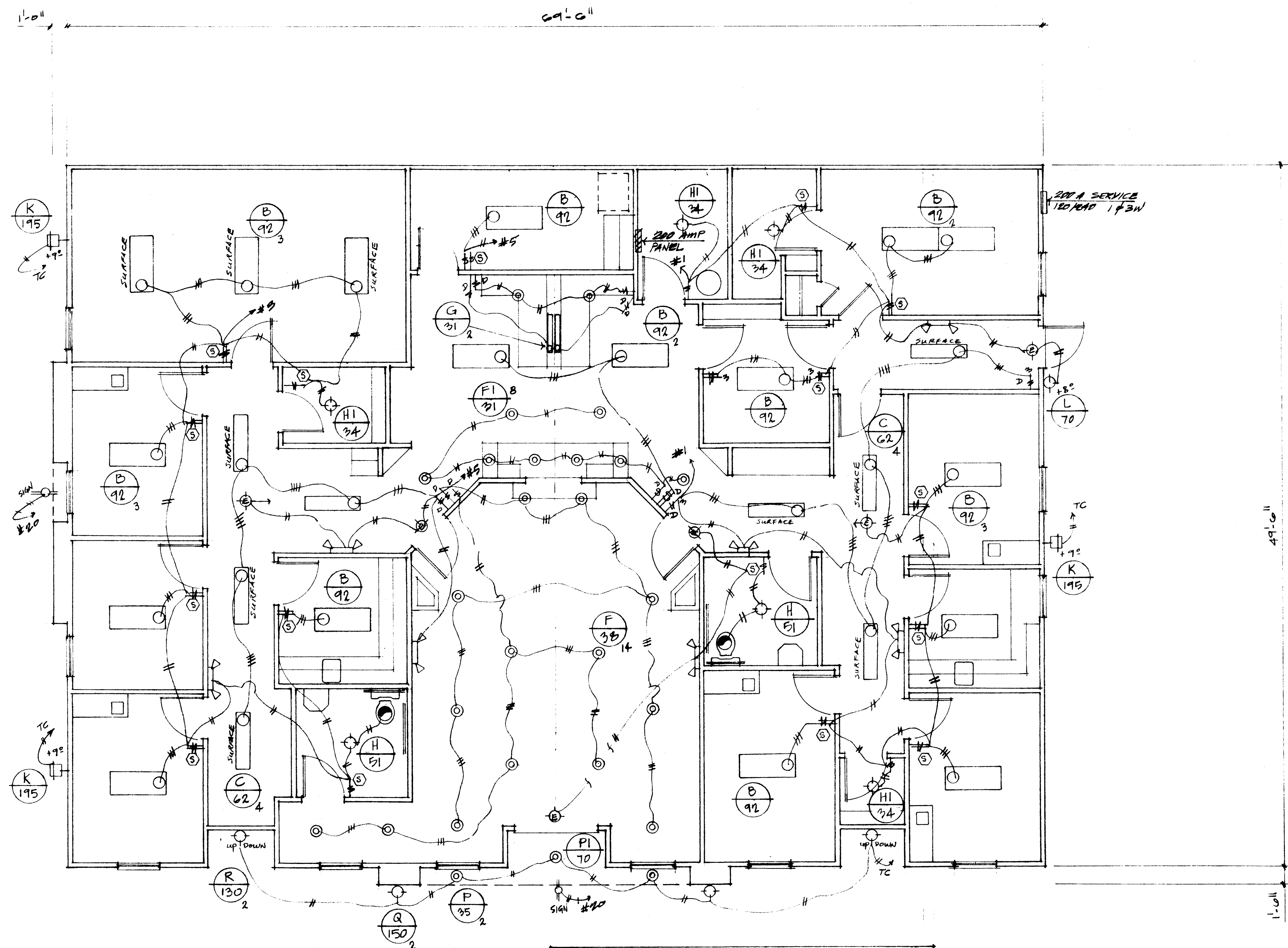
200 PINE BOX
APPLE VALLEY, CA 92308
760-841-8278

MAR 28 2008

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1. LIGHTING MANDATORY REQUIREMENTS: MINIMUM STANDARD		LVS-001
Project Name _____		DATE _____
Inspector Building _____		07/02/2011
Inspector Licensing Information:		
010100: Street Curbcut On every curb, a lighting lighting system shall be installed and be capable of being controlled according to street lighting system. The system shall consist of the replacement of Section 110 and may be an existing street, otherwise this shall require the replacement of individual street lighting system. 020100: Overhead Lighting System: The overhead lighting shall be installed in accordance with a contract, otherwise the system shall be installed in accordance with the minimum standard for overhead lighting system. 030100: Automatic Control System: All automatic control systems shall be installed in accordance with the minimum standard for automatic control system. 040100: Photometric and Luminance Control: All automatic control systems shall be installed in accordance with the minimum standard for photometric and luminance control. 050100: Individual Room Control: Each room and area in the building shall be equipped with a separate switch or control system for each room and area. 060100: Emergency Lighting: All emergency lighting shall be installed in accordance with the minimum standard for emergency lighting. 070100: Exit Signage: All exit signage shall be installed in accordance with the minimum standard for exit signage. 080100: Emergency Lighting: All emergency lighting shall be installed in accordance with the minimum standard for emergency lighting. 090100: Emergency Lighting: All emergency lighting shall be installed in accordance with the minimum standard for emergency lighting. 100100: Emergency Lighting: All emergency lighting shall be installed in accordance with the minimum standard for emergency lighting.		

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FIXTURE SCHEDULE
A LITHONIA 20TUF-432-A12-120-GEB10RS      4/F032TB/835
B LITHONIA 20TUF-332-A12-120-GEB10RS      3/F032TB/835
C LITHONIA CB232-120-GEB10RS                2/F032TB/835
D LITHONIA CLM232-120-GEB10RS                2/F032TB/835
DILITHONIA CLM332-120-GEB10RS                3/F032TB/835
E LITHONIA LQMSWEO-120/277-ELN
ELITHONIA LEM618-N-BLA-SD @76"
F LITHONIA LPF-32TRT-483-120-ADEZ          32WTRT/835
FILITHONIA LPF-26TRT-483-120-GEB10         26WTRT/835
G LITHONIA ZUG32-OP-120-GEB10RS             32WT8
H SEAGULL 5932-15E                           3/13W QUAD
HISEAGULL 7924-15E                          2/13W QUAD
K LITHONIA WFL2-175-FT-208-DF-DSS-FV-SCWA  175W MH
L LITHONIA TW850M-FE                         50W MH
M US ARCH VRS-SEG-111-400MH-208-PS-1-DF-DBM-HS 400W MH
POLE: SNTS204-11-1-DBM
N US ARCH BSC12-CL-100MH-MT-WTM-ORN-DF     100W MH
P LITHONIA LF8 1/32TRT-PBL84-MVOLT-GEB10   32WTRT/841
PILITHONIA LF8 2/32TRT-PBLT4-MVOLT-GEB10    2/32WTRT/841
Q ECLIPSE NX-XL2-A-270MH-EBU-EB-OQTB-BZ    270MH
R SEAGULL 9544-10-10                        2/40W W BZ50

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FOR ALL REQUESTED INSPECTIONS

ELECTRIC LIGHT FLOOR PLAN

SCALE : $\frac{1}{4"} = 1'-0"$

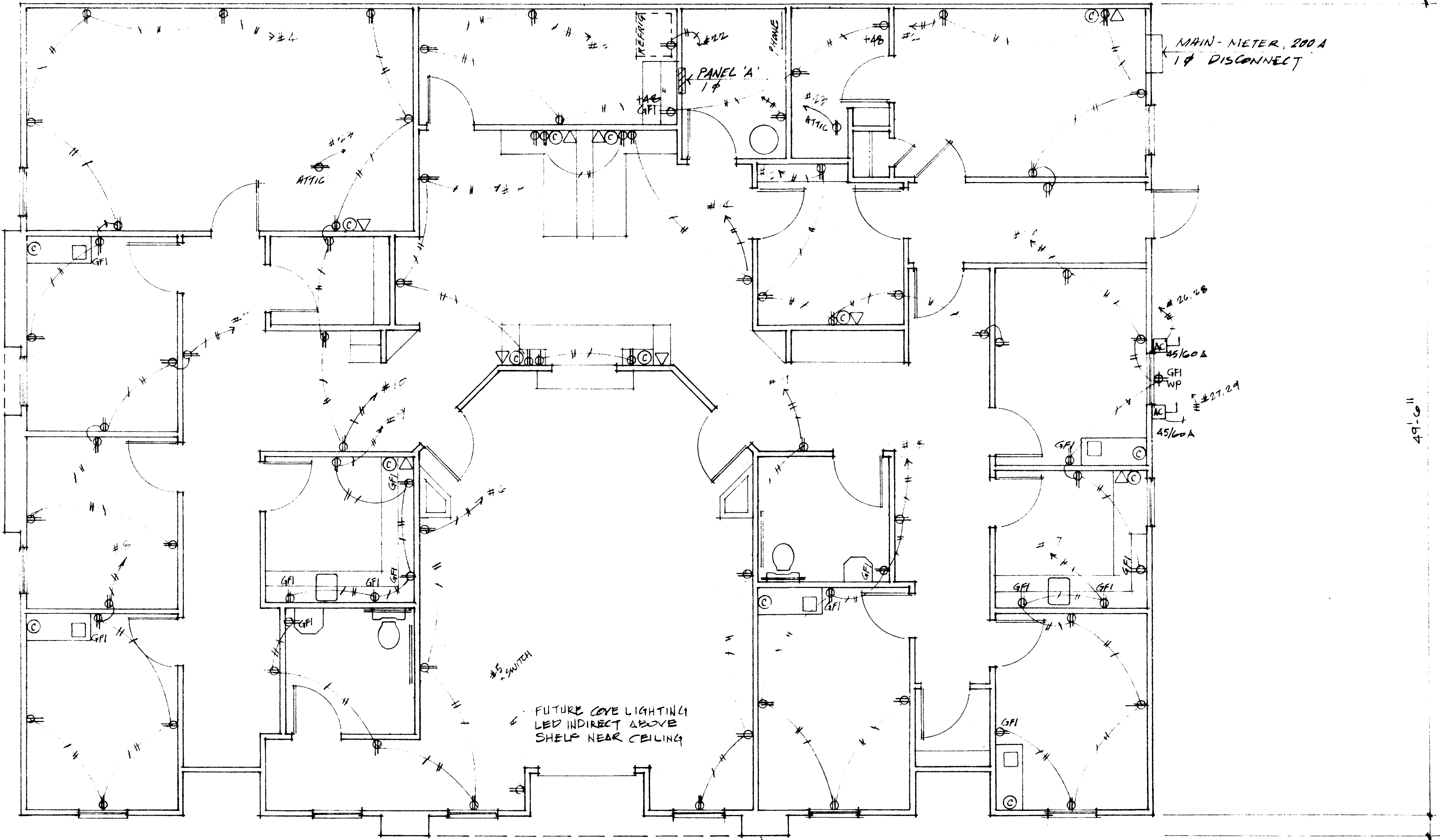
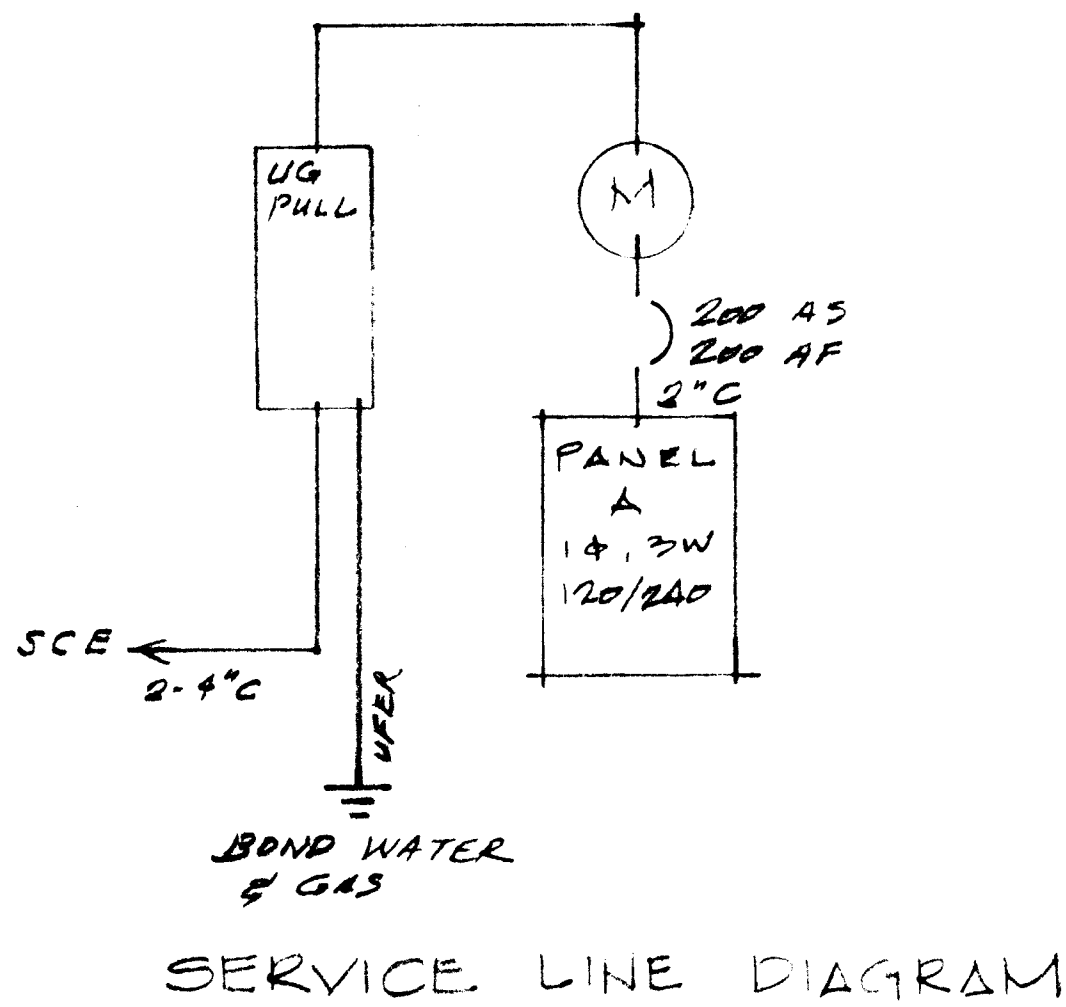
VOLTS:	120/240	PANEL 'A'		
PHASE:	1 Ø 3W	PANEL BUS:	200 A	LOCATION: FLOOR
COND:	WIRE:	MAIN:	MLO	TYPE: QO

CT	DESCRIPTION	BRK	# A	# B
1	LIGHTING	20	1045	
2	RECEPTS		900	
3	LIGHTING			900
4	RECEPTS			900
5	LIGHTING	870		
6	RECEPTS	870		
7			900	
8			900	
9		900		
10		1000		
11	SPARE			
12	RECEPTS		900	
13			1000	
14		900		
15		1000		
16			1000	
17			1000	
18		1000		
19		100		
20	SEWAGE			
21	REFRIGERATOR			
22	SPARE			
23	ATTIC RECEPTS			
24	A.C.	45	2156	
25	A.C.	45	2156	
26	A.C.	45	2156	
27	A.C.	45	2156	
28	EXTERIOR BLDG WTE T.C.	40	2156	
29	PARKING LOT WTE T.C.	40	2156	
30	EXTERIOR	40	2156	
31	PARKING	40	2156	
32	SPARE	40	2156	
33	SPARE	40	2156	
34				
35				
36				
37				
38				
39				
40				
41				
42				

WATTS PER PHASE: 7495 7495

TOTAL WATTS: 34992 = 40 AMP

NOTE: PROVIDE 2-4 PST, 24 HOUR, 40 AMP RATED TIME CLOCKS.



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ORDINANCE OF THIS COUNTY.

By _____
Date _____

THESE PLANS SHALL BE ON THE JOB
FOR ALL REQUESTED INSPECTIONS

ELECTRIC POWER FLOOR PLAN

SCALE: 1/4"=1'-0"

REVISIONS
MAY 2, 2011

G.M.
BENSON
design

BOX 283 APPLE VALLEY, CA 92307 760.247.8270

RYLAR INVESTMENTS, INC.

8888 SYL BOX
VICTORVILLE, CA 92395
760.403.3919

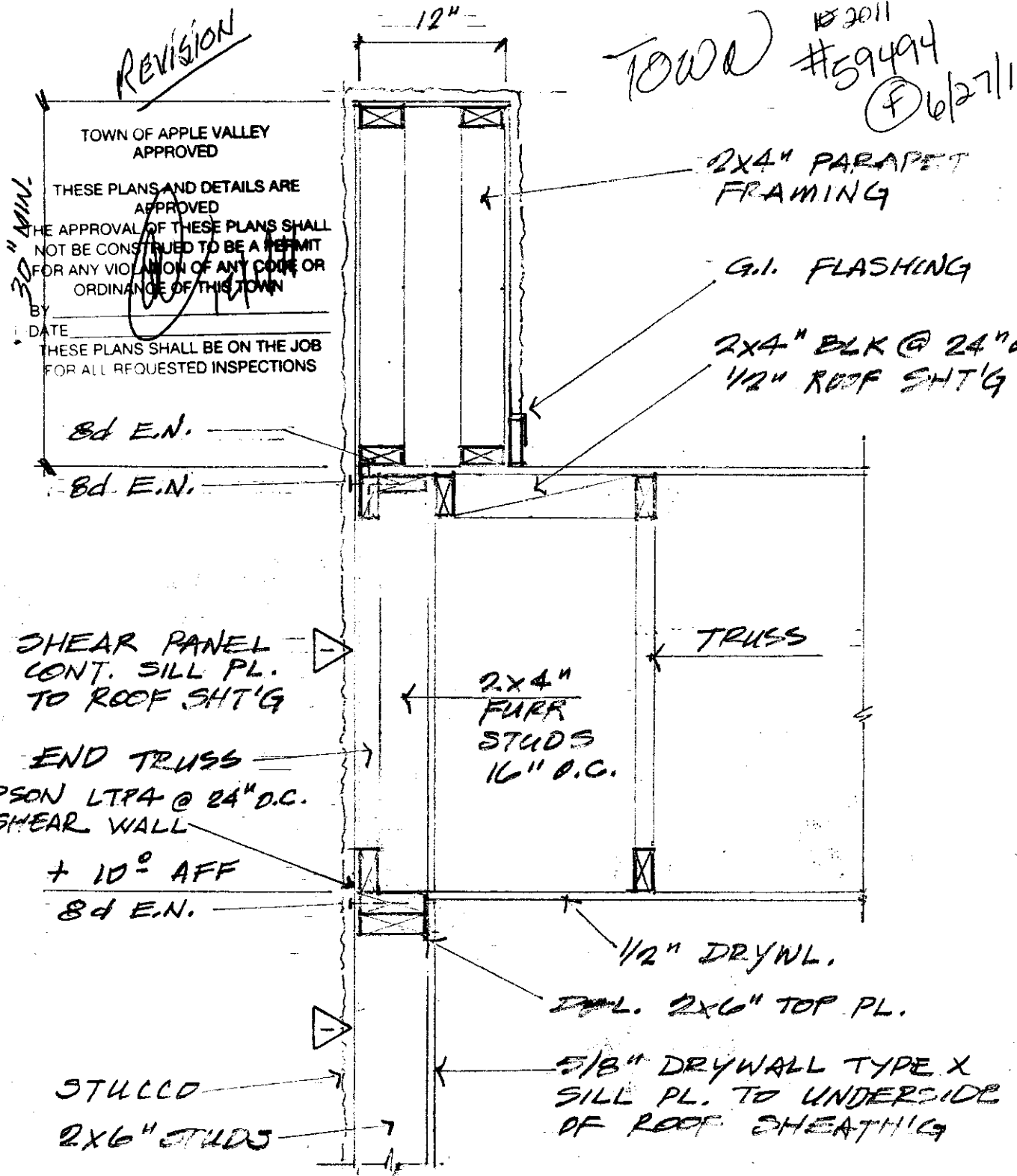
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DEC. 13, 2010

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OF 13



ADDENDUM FIREWALL DETAIL

REVISION TO TOWN PERMIT #58929 OFFICE BLDG.
16177 KAMANA ROAD, APPLE VALLEY, CA. 92301

RYLAR/CARLUCCI
CONSTRUCTION

GM BENSON
DEC. 1, 2011
700-247-8270

JERRY MILES
ENGINEER

16177 Kamana Rd