

# APPLICATION FILED TO CHANGE USE OF BUILDING

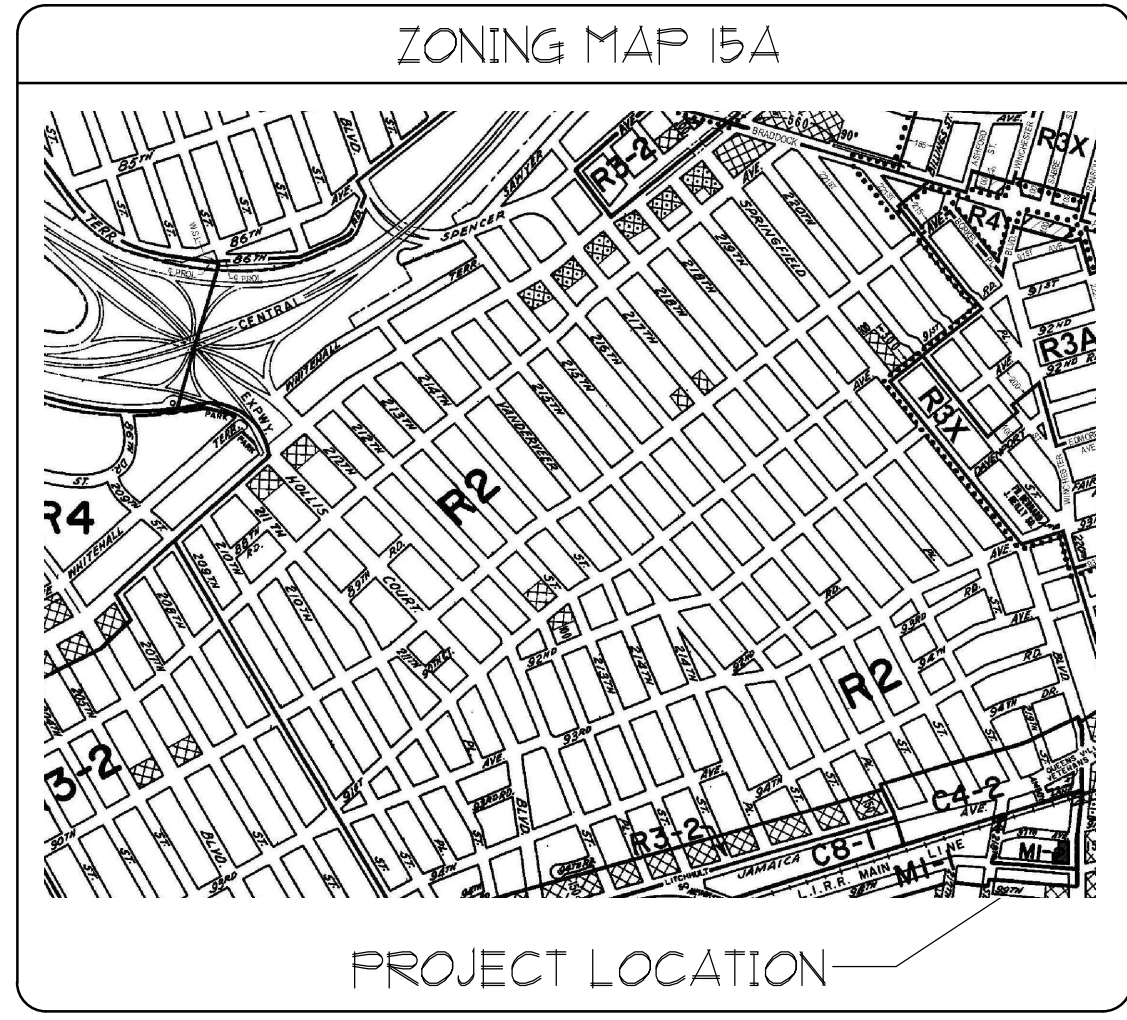
## 97-08 SPRINGFIELD BLVD.

### QUEENS, NEW YORK, 11375

ZONING DATA			
TOTAL LOT AREA: 103.10' x 130.19' (IRREGULAR SIZE LOT - SEE SURVEY) = 13,414.41 SQ. FT.			
FLOOR AREA CALCULATIONS: ZR 43-2 MAX. PERMITTED FLOOR AREA RATIO = 2.00 TOTAL PERMITTED FLOOR AREA = LOT AREA x MAX. F.A.R. = 13,414.41 SF x 2.00 = 26,828.82 SF			
FLOOR LEVEL	EXISTING	PROPOSED	TOTAL
FIRST FLOOR AREA	10,972.91 SF	0.0 SF	10,972.91 SF
SECOND FLOOR AREA	9,647.30 SF	0.0 SF	9,647.30 SF
TOTAL FLOOR AREA	20,620.21 SF	0.0 SF	20,620.21 SF
TOTAL PROPOSED GROSS FLOOR AREA: 20,620.21 SF 20,620.21 SF IS LESS THAN 26,828.82 SF, THEREFORE OK			
BUILDING HEIGHT & SETBACKS:			
	MAXIMUM	ACTUAL	
ZR 43-43 MAX. STREET WALL HEIGHT	60'-0" (4 STORIES)	24'-8"	
ZR 43-43 MAX. BUILDING HEIGHT	56' to 1 slope above 60'-0"	28'-0"	
YARD REQUIREMENTS			
FRONT YARD REQD: NONE REQUIRED			
AS PER ZR 43-25			
SIDE YARD REQD: 0'-0" OR 8'-0"			
ACTUAL PROPOSED SIDE YARD: 0'-0" & 72'-6"			
LOT COVERAGE & OPEN SPACE			
NO LOT COVERAGE OR OPEN SPACE REQUIREMENTS EFFECT THIS DISTRICT			

LOT AREA & PARKING REQUIREMENTS	
TOTAL LOT AREA: 103.10' x 130.19' (IRREGULAR SIZE LOT - SEE SURVEY) = 13,414.41 SQ. FT.	
REQUIRED OFF-STREET PARKING: EXIST. PARKING PER C/O # 420606865F 3 SPACES & 2 LOADING BERTHS PROPOSED RENOVATED PARKING 16 SPACES	
AS PER ZR 44-21 MERCANTILE (GENERAL RETAIL) USE GROUP: 6 FRONT: 0.0 SF (NET INCREASE ONLY) 1 SPACE PER 300 SF 0.0 / 300 = 0.0 ADDITIONAL SPACES REQUIRED	
PER ZR 44-21 NO INCREASE IN EXIST FLOOR AREA AND EXIST PARKING UNDER C/O # 420606865F OF 3 SPACES & 2 LOADING BERTHS WILL BE WAIVED (LESS THAN 6 SPACES (PER ZR 44-23) UNDER THIS APPLICATION TO CONVERT FROM MANUFACTURING TO COMMERCIAL UNDER THIS APPLICATION THEREFORE NO ADDITIONAL PARKING IS REQUIRED BUT 16 RENOVATED PARKING SPACES WILL BE VOLUNTARILY PROVIDED UNDER THIS APPLICATION	

STREET TREE REQUIREMENTS	
ZR 43-02 ONE STREET TREE TO BE PROVIDED FOR EVERY 25'-0"	
NO INCREASE OF FLOOR AREA FILED UNDER THIS APPLICATION, THEREFORE NO NEW STREET TREE PLANTING WILL BE REQUIRED	



SHEET INDEX		
Page No.	Drawing No.	Description of Sheet
1	T-101.00	COVER SHEET
2	A-101.00	CODE DATA & GENERAL NOTES
3	A-102.00	ADA NOTES, REQUIREMENTS & DETAILS
4	A-103.00	ENLARGED SITE PLAN (PARKING LOT)
5	A-100.00	PROPOSED PARTIAL FIRST FLOOR PLAN
6	A-101.00	PROPOSED PARTIAL FIRST FLOOR PLAN AND SECTION
7	A-101.00	PROPOSED SECOND FLOOR PLAN
8	A-103.00	PROPOSED ROOF PLAN
9	A-104.00	PROPOSED ELEVATIONS
10	EN-101.00	ENERGY ANALYSIS & NOTES

ASSOCIATED JOB FILINGS	
Job No.	Description of Application
420606865	CURB CUT
42092524	BUILDERS PAVEMENT PLAN
420348498	SPRINKLER
440510476	SIGNAGE

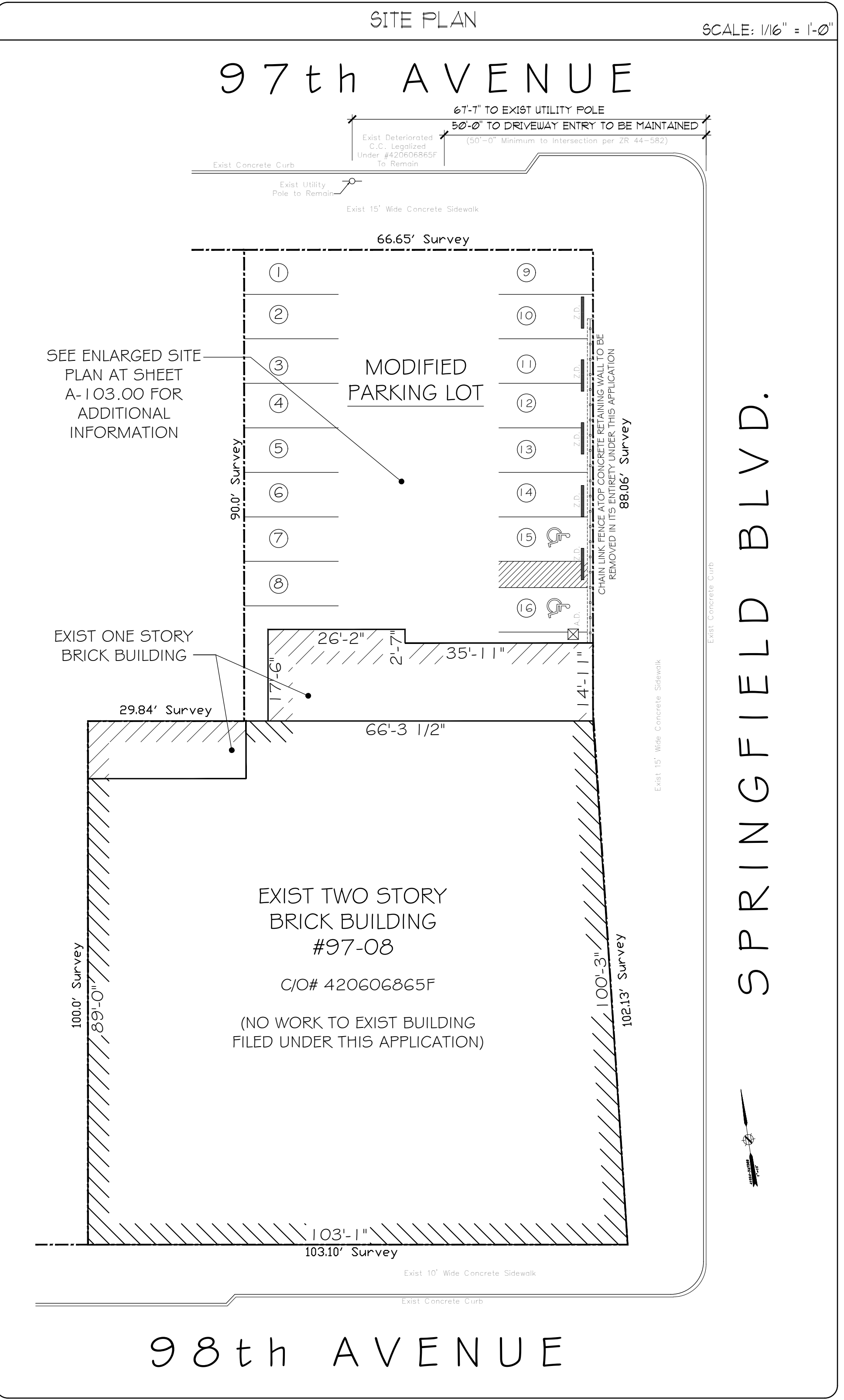
PROPERTY DATA	
BLOCK	10710
LOT	25
HOUSE #	97-08
ZONE	M-2
USE GROUP	16A & 6A
OCCUPANCY GROUP	M & B
CONS. CLASS	3 (FIREPROOF)
MAP #	15A
BUILDING HEIGHT	28'-0"

SCOPE OF WORK	
APPLICATION IS FILED TO CHANGE THE EXIST USE OF WAREHOUSE TO RETAIL AT THE FIRST FLOOR OF EXIST TWO STORY BUILDING UNDER THIS APPLICATION AND TO OBTAIN A NEW CERTIFICATE OF OCCUPANCY. ALL INTERIOR RENOVATIONS FILED UNDER ALTERATION TYPE II # 440503698.	

SPECIAL INSPECTIONS	
NO SPECIAL INSPECTIONS WILL BE FILED UNDER THIS APPLICATION.	

PROGRESS INSPECTIONS	
NO PROGRESS INSPECTIONS WILL BE FILED UNDER THIS APPLICATION.	

ENERGY PROGRESS INSPECTIONS	
NO ENERGY PROGRESS INSPECTIONS WILL BE FILED UNDER THIS APPLICATION.	



Project Description: <b>ALTERATION TYPE I TO CHANGE USE OF BUILDING</b>	Project Location: <b>97-08 SPRINGFIELD BLVD. QUEENS, NY, 11375</b>	Drawing Title: <b>SITE PLAN, GENERAL NOTES &amp; ZONING DATA</b>	
Application #	Client:	Date:	Scale:
Job No.: 1689 Date: 09/15/18	Drawn by: KN Checked by: FM3	Page No.: 1/10	Drawing No.: <b>T-101.00</b>
<b>T-101.00</b>			

**GENERAL NOTES**

1) THE CONTRACTOR USING THESE DRAWINGS SHALL PERFORM ALL WORK IN ACCORDANCE WITH NEW YORK STATE AND NEW YORK CITY BUILDING CODES HAVING JURISDICTION.

2) THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL CONDITIONS AT THE SITE PRIOR TO THE START OF WORK, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT OF RECORD PRIOR TO EXCAVATION.

3) THE CONTRACTOR PERFORMING THE WORK SHALL OBTAIN ALL BUILDING COMMENCEMENT OF WORK AT THE COMPLETION OF WORK. HE SHALL HAVE ALL THE WORK INSPECTED BY THE BUILDING DEPARTMENT AND SHALL FILE AND OBTAIN A CERTIFICATE OF OCCUPANCY.

4) A PERMIT CARD, BEARING THE PERMIT NUMBER, APPLICATION NUMBER, AND LOCATION OF THE PREMISES FOR WHICH THE PERMIT IS ISSUED SHALL BE POSTED OR DISPLAYED AT THE JOB SITE, AS PER SECTION C26-184 OF THE NEW YORK CITY BUILDING CODE.

5) TWENTY FOUR HOUR NOTICE OF COMMENCEMENT OF WORK SHALL BE GIVEN TO THE COMMISSIONER OF BUILDINGS AS PER SECTION C26-185(A) OF THE NEW YORK CITY BUILDING CODE.

6) FIVE DAY NOTICE SHALL BE SENT TO ADJOINING PROPERTY OWNERS BEFORE EXCAVATION BY CONTRACTOR AS PER NEW YORK CITY BUILDING CODE SECTION C26-12.3.

7) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND MIS-ALIGNMENTS ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.

8) SIDES OF ALL EXCAVATIONS FIVE FEET DEEP OR GREATER MEASURED FROM THE ADJACENT GROUND SURFACE, SHALL BE MAINTAINED BY SHORING, BRACING OR OTHER RETAINING STRUCTURES. RELATIVELY EXCAVATED AREAS MAY BE INCLINED NOT STEEPER THAN 30 DEGREES, AS PER SECTION C26-19232(A) OF THE NEW YORK CITY CODE.

9) EXCAVATIONS ARE TO BE PROTECTED AS PER SECTION C26-19032.

10) SOIL MATERIAL DIRECTLY UNDERLYING FOOTINGS, FOUNDATION PIERS AND FOUNDATION WALLS SHALL BE INSPECTED BY A REGISTERED ARCHITECT OR LICENSED PROFESSIONAL ENGINEER BEFORE CONSTRUCTION OF FOOTINGS.

11) ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL HAVING A MINIMUM BEARING CAPACITY OF TWO TONS PER SQUARE FOOT, WHICH IS SUBJECT TO INSPECTION BY A REGISTERED ARCHITECT OR A LICENSED PROFESSIONAL ENGINEER BEFORE CONSTRUCTION OF FOOTINGS.

12) ALL FOOTINGS SHALL BE 4'-0" BELOW FINISHED GRADE. MINIMUM, AND ALL FOOTINGS ADJACENT TO EXISTING BUILDINGS SHALL MATCH THE ELEVATION OF THE ADJACENT EXISTING FOOTING UNLESS UNDERPINNING HAS BEEN CALLED FOR BY DRAWINGS AND SPECIFICATIONS.

13) PLAIN CONCRETE NOTES:  
A. CONCRETE MATERIALS, DESIGN AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF REFERENCE STANDARD RS10-13, SECTION C26-1004(J) OF THE N.Y.C.B.C.  
B. CONCRETE SHALL BE PROVIDED TO COMPLY WITH METHOD #3 C26-10043(C) OF THE N.Y.C.B.C.:  
-CALCULATED STRESS IN CONCRETE DESIGNED FOR 70% OF BASIC ALLOWABLE STRESS, LESS THAN 90 YARDS FOURED.  
-CONCRETE CERTIFICATION TO BE SUPPLIED BY THE PRODUCER AS TO STRENGTH, GRANULITY, WATER AND MATERIAL OF CONCRETE DELIVERED.  
-PROVIDE SIX BAGS OF CEMENT PER CUBIC YARD OF CONCRETE.  
-PROVIDE 6-1/4" GALLONS OF WATER PER BAG OF CEMENT.  
-ALL CONCRETE TO BE AIR ENTRAINED.  
-CONCRETE TO BE 2800 PSI AT 28 DAYS UNLESS OTHERWISE INDICATED.  
-SLUMP TO BE 4 TO 6 INCHES.

C. THREE CYLINDERS SHALL BE TESTED FOR EVERY 50 CUBIC YARDS OR FRACTION THEREOF FOURED IN ANY GIVEN DAY.

14) ALL FOOTINGS TO BE CARRIED AT LEAST 4'-0" BELOW ADJACENT GROUND LEVEL, BELOW HOUSE DRAINS AND DOWN TO VIRGIN SOIL.

15) ALL FOUNDATION WALLS SHALL BE ADEQUATELY BRACED AS REQUIRED UNTIL SUPPORTING FLOORS ARE FOURED.

16) ALL STRUCTURAL STEEL FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST A.S.T.M. SPECIFICATION FOR A-36 STEEL, AND TO MEET THE REQUIREMENTS OF SECTION C26-1005 AND RS10-5 AFFIDAVIT OF FABRICATOR TO BE FILED FOR STEEL DESIGNED FOR STRESSES OF 16000PSI.

17) LINTELS SUPPORTING MASONRY WALLS OVER 4'-0" SHALL BE PROTECTED WITH MATERIALS HAVING THE REQUIRED FIRE RESISTANCE RATING OF THE WALL SUPPORTED, AS PER SECTION C26-502.4 OF N.Y.C. BUILDING CODES.

18) ALL EXPOSED STRUCTURAL STEEL SHALL RECEIVE ONE COAT OF PAINT, ZINC OR BITUMINOUS COATING, OR EQUIVALENT METAL PROTECTION BEFORE ERECTION AS PER RS10-5 SECTION(24)(D) OF THE N.Y.C.B.C.

19) STRUCTURAL STEEL THAT WILL REMAIN EXPOSED SHALL RECEIVE AN ADDITIONAL COAT OF METAL PROTECTION OF ANOTHER COLOR AFTER ERECTION, RS10-5, SECTION 124(D).

20) BRICKS SHALL BE MADE FROM CLAY OR SHALE AS PER A.S.T.M. C62-67, GRADE MU FOR EXTERIOR WALLS.

21) MORTAR SHALL COMPLY WITH A.S.T.M. 270-1964, TYPE M, PROPORTIONED WITH ONE PART OF PORTLAND CEMENT, ONE PART TYPE II MASONRY, AND SIX PARTS AGGREGATE.

22) MASONRY UNITS SHALL BE CLEARLY IDENTIFIED TO SHOW THE GRADE OF THE UNIT AND THE COMPRESSIVE STRENGTH AS REQUIRED ON PLANS, AS PER SECTION C26-10032(A) AND RS 10-12 OF THE N.Y.C.B.C.

23) WALLS TO BE BONDED INTEGRALLY WITH DURE-O-WALL REINFORCEMENT, BS4F 164345M OR APPROVED EQUAL BRICK VENEER TO BE ANCHORED TO FRAME WITH NOT LESS THAN 22 GAUGE CORROSION RESISTANT CORRUGATED STEEL TIES, MINIMUM 7/8" WIDE AT NO MORE THAN 24" VERTICAL INTERVALS AND 32" HORIZONTAL INTERVALS, BUT IN NO CASE LESS THAN ONE TIE PER 3-1/2SF OF WALL AREA.

24) ALL WOOD MATERIALS, DESIGNS AND CONSTRUCTION SHALL COMPLY WITH SHALL COMPLY WITH N.Y.C.B.C.

25) ALL LUMBER SHALL BE GRADE MARKED PRIOR TO DELIVERY TO SITE.

26) ALL STRUCTURAL LUMBER SHALL BE DOUGLAS FIR, HEMLOCK WEST COAST, OR SOUTHERN PINE WITH A MINIMUM ALLOWABLE BENDING STRESS OF FB=1400PSI AND A MODULUS OF ELASTICITY E=1400000PSI.

27) ALL ROOF AND FLOOR JOISTS SHALL BE BRACED WITH 1"x3" WOOD CROSS BRIDGING OR APPROVED TYPE METAL CROSS BRIDGINGS AT 8'-0" OC. MAXIMUM WITH A MINIMUM OF ONE ROW OF CROSS BRIDGING IF SPAN IS LESS THAN 15'-0".

28) STRUCTURAL PARTS OF WOOD FRAME SHALL BE GREATER THAN 18" ABOVE EXPOSED GROUND SURFACE. ALL POSTS SHALL BE RAISED AT LEAST 3" ABOVE TOP OF SLAB ON GRADE.

29) THE SIZE AND NUMBER OF NAILS SHALL BE IN ACCORDANCE WITH N.Y.C.B.C. BUILT-UP MEMBERS SHALL BE SECURELY BOLTED OR SPIKED TOGETHER.

30) ALL EXTERIOR WALLS SHALL BE FIRESTOPPED, ALL EXPOSED WOOD SHALL BE TREATED WITH PRESERVATIVE OR BE OF EQUAL DECAY RESISTANT SPECIES.

31) ALL EXTERIOR SHEATHING SHALL BE 3/4" CDX PLYWOOD. ALL INTERIOR SUB-FLOORING SHALL BE A MINIMUM 3/4" THICK PLYWOOD WITH ONE SIDE SMOOTH FINISH, AS PER RS 10-27.

32) ALL ROOFING SHALL BE CLASS A FIBERGLASS SHINGLES FOR SLOPED ROOFS AND 5 PLY BUILT-UP ROOFING WITH 3 COATS OF MOPPED TAR FINISH FOR FLAT ROOFS.

33) PLUMBING-ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH SECTION F102 AND RS 16-1 OF THE N.Y.C.B.C.  
-ALL UNDERGROUND BUILDING DRAINS SHALL BE UNCOATED EXTRA HEAVY CAST IRON SOIL PIPE AS PER SECTION F102.4B.2  
-HOUSE SEWERS SHALL BE UNCOATED EXTRA HEAVY CAST IRON SOIL PIPE AND FITTINGS AND HAVE A MINIMUM DIMENSION OF 6" AS PER  
-ROOF DRAINS SHALL BE CAST IRON OR OTHER CORROSION RESISTANT MATERIAL, AS PER SECTION F102.4E.

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-ROOF DRAINS SHALL BE CAST IRON OR OTHER CORROSION RESISTANT MATERIAL, AS PER SECTION F102.4E.

34) ALL HEATING AND AIR CONDITIONING TO COMPLY WITH ARTICLE 12-16 AND THE NYC ELECTRICAL CODE.

35) THE CONTRACTOR SHALL NOT SCALE-OFF DRAWINGS, ALL WRITTEN DIMENSION SHALL HAVE PRECEDENCE OVER GRAPHIC DIMENSION.

36) CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSION AND CONDITIONS ON THE JOB. ARCHITECT OR ENGINEER OF RECORD MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSION AND CONDITIONS SHOWN BY THESE DRAWINGS.

37) ALL CONSTRUCTION, DIMENSION, AND DETAILS SHALL CONCUR WITH AND BE DETERMINED FROM THESE DRAWINGS.

38) ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED INTO THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATION, APPLICABLE, AND CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES WHERE APPLICABLE. ALL MATERIALS INCORPORATED INTO THE WORK SHALL BE NEW.

39) THE ARCHITECT OF RECORD HAS NOT BEEN RETAINED FOR SUPERVISION AND ASSUMES NO RESPONSIBILITY FOR THE PERFORMANCE OF WORK BEING DONE.

40) A SURVEY BY A DULY LICENSED SURVEYOR, SHOWING THE LOCATION OF THE BUILDING AND ALL REQUIRED ELEVATIONS SHALL BE FILED WITH THE N.Y.C.D.O.B. AS PER CODE.

41) ALL BUILDING LOT LINES, AND GRADES SHALL BE LAID OUT BY A LICENSED SURVEYOR.

42) TOP COURSE OF HOLLOW BLOCKS SHALL BE FILLED IN SOLID WITH CEMENT.

43) MASONRY SHALL BE PROTECTED AGAINST FREEZING AS PER RS 10-1 AND SECTION I OF THE N.Y.C.B.C.

**SMOKE DETECTOR NOTES**

1) SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WITH NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT.

2) APPROVED AND OPERATIONAL SMOKE DETECTING DEVICES SHALL BE INSTALLED IN MECHANICAL ROOMS, ELECTRICAL SWITCH GEAR ROOMS AND TELEPHONE CLOSETS OVER 75 SQ.FT. IN FLOOR AREA IN ALL BUILDINGS.

3) SMOKE DETECTORS SHALL BE PROVIDED IF THE COST OF IMPROVEMENT EXCEEDS THE SUN ONE HUNDRED FIFTY THOUSAND DOLLARS OR THERE HAS BEEN A CHANGE IN THE OCCUPANCY OR USE OF THE STRUCTURE.

**DEMOLITION NOTES**

1. THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF THE BUILDING OWNER GUIDE LINES FOR DEMOLITION AND REMOVAL OF DEBRIS INCLUDING ANY OVERTIME WORK REQUIRED FOR COMPLETION OF PROJECT.

2. ALL WORK DEMOLITION SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE REUSED OR RETURNED TO THE CLIENT OR AS OTHERWISE DIRECTED.

3. THE GENERAL CONTRACTOR AT ALL TIMES SHALL PROTECT THE PROPERTY OF THE CLIENT AND THE BUILDING OWNER, INCLUDING BUT NOT LIMITED TO FLOORS, CEILING, AND/OR CEILING TILES, ELEVATORS, DOORS, BULKS ETC.

4. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE TRADE, EVEN TRADES NOT UNDER HIS CONTRACT AND LEAVE ALL AREAS BROOM CLEANED AT THE END OF EACH WORK DAY.

5. UNLESS OTHERWISE NOTED, ALL EXPOSED WIRING CONDUITS, ETC. NOT BEING REUSED SHALL BE REMOVED AND EITHER STORED OR CARTED AWAY BY THE GENERAL CONTRACTOR.

6. ALL PROJECTING ITEMS BEING ABANDONED SHALL BE CAPPED AND FLUSHED OFF BEHIND SURFACES, UNLESS OTHERWISE NOTED.

7. THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF THE BUILDING OWNER GUIDE LINES FOR DEMOLITION AND REMOVAL OF DEBRIS INCLUDING ANY OVERTIME WORK REQUIRED FOR COMPLETION OF PROJECT.

8. ALL WORK DEMOLITION SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE REUSED OR RETURNED TO THE CLIENT OR AS OTHERWISE DIRECTED.

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12. ALL PROJECTING ITEMS BEING ABANDONED SHALL BE CAPPED AND FLUSHED OFF BEHIND SURFACES, UNLESS OTHERWISE NOTED.

13. THE GENERAL CONTRACTOR SHALL PROVIDE REQUIRED PROTECTION FOR ALL EXISTING AREAS AND/OR ITEMS TO REMAIN.

14. THE GENERAL CONTRACTOR SHALL FURNISH TEMPORARY LIGHTING AS REQUIRE.

15. GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK.

16. IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE INTEGRITY OF STRUCTURE OR PRECLUDE FOLLOWING DESIGN INTENT, GENERAL CONTRACTOR TO NOTIFY NEW YORK DESIGN ARCHITECTS IMMEDIATELY.

17. DEMOLITION TO MEAN REMOVAL AND OFF-SITE DISPOSAL OF DEMOLISHED MATERIALS, REMAINING SURFACES TO BE RESTORED TO ACCEPTABLE CONDITIONS.

**CONSTRUCTION NOTES**

1. ALL DIMENSIONS ARE FROM FINISHED FACE TO FINISHED FACE UNLESS OTHERWISE NOTED.

2. CONTRACTOR TO LAMINATE ALL EXPOSED SURFACES WITH ONE (1) LAYER 5/8" GYPSUM BOARD SLAB TO 6" ABOVE HUNG CEILING.

3. ALL CONTRACTORS AND SUBS TO VISIT SITE AND FORMULATE A WORK PLAN TO ACHIEVE THE HIGHEST QUALITY DESIGN AND STANDARDS PRIOR TO BIDDING JOB.

4. CONTRACTOR IS RESPONSIBLE TO PRESENT A FIRE - CONSTRUCTION FUNCH LIST TO BUILDING OWNER PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DAMAGES NOT ON THE LIST WILL BE SOLE RESPONSIBILITY OF CONTRACTOR.

5. GENERAL CONTRACTOR ARE TO FURNISH AND INSTALL ALL BLOCKING AS REQUIRED.

6. PATCH ALL GYPSUM BOARD PARTITION SMOOTH AT ALL REMOVALS.

7. CONTRACTOR RESPONSIBLE FOR REMOVAL OF EXISTING SHEET ROCK, CONSTRUCTION AND PATCHING TO ACHIEVE ALL ELECTRICAL WORK.

8. WHERE THE TERM "MIN" PRECEDES A DIMENSION AND DIMENSION CANNOT BE ACHIEVED CONTACT NYDA PRIOR TO FABRICATION.

9. GENERAL CONTRACTOR TO INSPECT AND VERIFY THAT ALL EXISTING DEMISING PARTITIONS COMPLY WITH CODE. IF EXISTING DEMISING PARTITIONS DO NOT COMPLY, CONTRACTOR TO UPGRADE TO MEET CURRENT CODES, ALL COSTS TO BE INCLUDED IN CONTRACTOR'S PROPOSAL.

10. PROVIDE ONE SHEET OF 3/4" PLYWOOD FIRE RATED ON 2-1/2" STUDS FOR ALL EQUIPMENT REQUIRING BLOCK SUPPORT.

11. WALL THICKNESS AS REQUIRED FOR PLUMBING.

12. CONTRACTOR TO FURR OUT EXISTING PARTITIONS AS REQUIRED WHERE NEW ELECTRICAL WORK IS REQUIRED AND CORE PARTITION.

13. ALL DOORS AS PER DOOR SCHEDULE

14. ALL CASES OPENING ARE TO BE 3'-0" X 7'-0" TYPICAL WITH WOOD JAMBS UNO TYPICAL.

15. ALL DOOR FINISHES ARE FOR BOTH SIDES OF DOOR (UNO)

16. FOR HARDWARE SPECIFICATION AND FINISHES SEE SCHEDULE BELOW.

17. DOOR LOCATIONS NOT LOCATED BY DIMENSION SHALL BE LOCATED 4" FROM FINISHED WALL TO OPENING.

18. REFER TO RESPONSIBILITY SCHEDULE FOR CONTRACTOR'S RESPONSIBILITY.

**GENERAL STOREFRONT NOTES**

1. PERMIT CARD BEARING THE PERMIT NUMBER, APPLICATION NUMBER AND LOCATION OF PREMISES SHALL BE POSTED.

2. LINTELS OR STRUCTURAL SECTIONS SUPPORTING MASONRY WALLS OVER 4'-0" SHALL BE PROTECTED BY MATERIALS HAVING TWO HOUR FIRE RATING.

3. NO WORK SHALL EXTEND BEYOND PROPERTY LINE.

4. DOORS MAY NOT PROJECT MORE THAN 18" BEYOND THE PROPERTY LINE.

5. SIGNS TO BE FILED SEPARATELY BY SIGN CONTRACTOR.

6. COMPLETE SEPARATION BETWEEN CELLAR, FIRST, AND SECOND FLOOR TO BE MAINTAINED BY REPAIRING ALL EXISTING FIRE STOPS AT BUILDING LINE.

THE ARCHITECT OF RECORD HAS NOT BEEN RETAINED TO SUPERVISE CONSTRUCTION WORK RELATED TO THESE DOCUMENTS.

**THERMAL AND MOISTURE PROTECTION**

1. ALL VENT PIPES OR OTHER PROTRUSIONS IN THE ROOF ARE TO BE PROPERLY FLASHED WITH BASE AND CAP FLASHING OR EQUAL AS APPROVED BY THE OWNER/ARCHITECT.

2. ALL HOLES REMAINING IN THE EXISTING ROOF AS A RESULT OF A REMOVED PLUMBING OR VENTING IS TO BE PATCHED BACK TO A 2'-0" X 2'-0" SQUARE AREA WITH ALL CONDITIONS AND MATERIALS TO MATCH EXISTING SAME.

3. ALL ROOF INSTALLATIONS, INCLUDING BUILT-UP ROOFING AND BUILT-UP FLASHINGS SHALL BE FURNISHED WITH A WRITTEN GUARANTEE STATING THAT IT WILL REMAIN IN A WATERTIGHT CONDITION FOR FIVE (5) YEARS AFTER FINAL ACCEPTANCE.

4. ASPHALT SHINGLE ROOF WHERE INDICATED ON DRAWINGS SHALL BE STANDARD SELF-SEALING 235LBS. PER SQUARE AS MANUFACTURED BY GAP CORPORATION, AND IS TO BE INSTALLED OVER #15 ASPHALT FELT, UNDERLAYMENT AND IS RECOMMENDED BY THE MANUFACTURER. SUBMIT SAMPLE FOR COLOR SELECTION.

5. PROVIDE ALL FLASHING AND SHEET METAL NOT SPECIFICALLY DESCRIBED BUT REQUIRED TO PREVENT PENETRATION OF WATER THROUGH EXTERIOR SHELL OF THE BUILDING.

6. USE ONLY GALVANIZED NAILS AND FASTENERS FOR ALL ROOFING AND FLASHING APPLICATIONS.

7. CAULK AND SEAL ALL JOINTS WITH SILICONE CAULK WHERE SHOWN ON THE DRAWINGS AND ELSEWHERE AS REQUIRED TO PROVIDE A POSITIVE BARRIER AGAINST PASSAGE OF AIR AND PASSAGE OF MOISTURE.

8. INSULATION IS TO BE Owens CORNING FIBERGLASS OR/AND EQUAL APPROVED BY THE ARCHITECT, WITH A KRAFT FACED VAPOR BARRIER AND THE FOLLOWING R-VALUES FOR THICKNESS NOTED ON DRAWINGS:  
3 1/2" THICKNESS - R - 11  
6" THICKNESS - R - 19  
9" THICKNESS - R - 29  
VAPOR BARRIER IS TO BE INSTALLED ON WARM SIDE ONLY.

9. ALL GUTTERS ARE TO BE .032 INCHES THICK STOCK ALUMINUM 3 3/4" X 5 1/2" FORMED CONTINUOUS AT THE JOB SITE FROM GIRTH WITH NOT EXCEEDING 16 INCHES. FINISH TO BE SELECTED BY ARCHITECT. PROVIDE EXPANSION JOINTS ON LENGTH EXCEEDING 30 FEET.

10. ALL LEADERS (DOWNSPOUTS) ARE TO BE 3" X 4" STOCK CORRUGATED RECTANGULAR COMPLETE WITH ALL FITTINGS AND SPECIAL SHAPES REQUIRED. PROVIDE AS ELBOW AT TERMINATION OF LEADERS OR AS OTHERWISE NOTED ON THE DRAWINGS.

**FINISHES**

1. GYPSUM WALLBOARD TO BE 5/8" THICK LAID HORIZONTAL WITH VERTICAL JOINTS BROKEN, ALL INTERNAL CORNERS AND SEAMS TO HAVE REINFORCED TAPE AND ALL EXTERNAL CORNERS TO RECEIVE GALVANIZED STEEL CORNER BEADS.

2. PROVIDE MARBLE THRESHOLD AT BATH OR TOILET DOOR OPENING AND SET IN ACCORDANCE WITH APPROPRIATE THIN-SET METHOD.

3. SOUND INSULATION WHERE INDICATED ON THE DRAWINGS TO BE NOISE BARRIER BATT'S 3 1/2" THICKNESS AS MANUFACTURED BY OWENS CORNING FIBERGLASS.

4. SELECTION OF ALL INTERIOR FINISH MATERIALS REMAINS THE RESPONSIBILITY OF THE OWNER.

**GENERAL AND ADMINISTRATIVE INFORMATION**

1. THE ARCHITECT HAS NOT BEEN RETAINED FOR THE SUPERVISION OF ANY WORK INDICATED HEREWITH.

2. NO WORK IS TO BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE APPLICABLE GOVERNING AGENCY OR AGENCIES.

3. ALL CONDITIONS AND DIMENSIONS ARE TO BE VERIFIED BEFORE START OF ANY WORK AND DISCREPANCIES OR VARIATIONS TO APPROVED PLAN ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.

4. ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS, LICENSED IN THE STATE OF NEW YORK, AND AS REQUIRED BY THE LOCAL GOVERNING AGENCY.

5. ALL WORK OF THE VARIOUS TRADES IS TO BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL CODES, AND ALL OTHER APPLICABLE AGENCIES AND STANDARDS GOVERNING THAT PARTICULAR TRADE AND AS HEREINAFTER STATED OR IMPLIED.

6. ANY WORK HEREINAFTER STATED OR IMPLIED WHICH IS CONTRARY TO THAT REQUIRED BY THE APPLICABLE GOVERNING AGENCIES AND CODES IS TO BE BROUGHT TO THE ATTENTION OF THE OWNER, AND CORRECTED IN ORDER TO CONFORM TO THOSE GOVERNING REQUIREMENTS.

7. ANY DISCREPANCIES FROM THIS PLAN AND THE ACTUAL CONDITIONS ARE TO BE REPORTED IMMEDIATELY TO THE ARCHITECT OR HIS REPRESENTATIVE.

8. ALL CONSTRUCTION MATERIALS ARE TO BE NEW AND OF A LEVEL OF QUALITY WHICH WILL INSURE THE QUALITY OF WORK DESIRED BY THE OWNER.

9. NO WORK IS TO COMMENCE UNTIL PLANS ARE APPROVED BY THE NYC DEPARTMENT OF BUILDINGS AND A PERMIT TO BUILD IS OBTAINED.

10. WHERE MATERIALS OR WORKMANSHIP ARE REQUIRED BY THESE CONTRACT DOCUMENTS TO MEET OR EXCEED THE SPECIFICALLY NAMED CODE OR STANDARD, RESPONSIBILITY TO PROVIDE MATERIALS AND WORKMANSHIP WHICH MEET OR EXCEED THE SPECIFICALLY NAMED CODE OR STANDARD, PRIOR TO COMPLETION OF THE WORK, REMOVS FROM THE JOB SITE ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, SCRAP, DEBRIS, AND WASTE, EXCEPT AS OTHERWISE NOTED BY THE OWNER.

12. ALL NEW FOOTINGS ARE TO REST ON UNDISTURBED, 2 TON/5 FT. SOIL AS A MINIMUM REQUIREMENT. NOTIFY ARCHITECT PRIOR TO PLACEMENT OF ANY FOOTINGS OR SUBMIT VERIFICATION OF SOIL BEARING CAPACITY.

13. ALL MATERIALS AS WELL AS METHODS AND PROCESSES USED IN THE PERFORMANCE OF THE WORK SHALL CONFORM TO THE STANDARDS OF THE BUILDING.

14. CONTRACTORS SHALL MAKE AVAILABLE FIRE EXTINGUISHERS BASED ON BUILDING VOLUME, VOLUME OF CONSTRUCTION SOFT - ONE (1) FIRE EXTINGUISHER, ALTERATIONS OVER 3,000 SQ.FT. - ONE (1) FIRE EXTINGUISHER FOR EVERY ADDITIONAL 3,000 SQ.FT. THEREOVER. SAID FIRE EXTINGUISHER SHALL BE 25LB. TYPE APPROVED FOR TYPE A.B. FIRE, AND SHALL BE KEPT AND MAINTAINED ON THE PREMISES BY TENANT'S CONTRACTOR FOR THE DURATION OF THE ALTERATION.

15. FOUNDATIONS AND SUBSOIL CONDITIONS HAVE BEEN DESIGNED BASED ON INFORMATION CONTAINED WITHIN BORINGS AND TEST PITS AS FURNISHED BY OWNER. EXACT FOUNDATION REQUIREMENTS ARE SUBJECT TO CHANGE BASED ON CONTROLLED INSPECTION OF SUBSOIL CONDITIONS AND INFORMATION FROM THOSE INDICATED ON THE CONSTRUCTION DOCUMENTS.

16. PRIOR TO COMMENCEMENT OF ANY WORK, CONTRACTOR/OWNER SHALL VERIFY THE INTEGRITY OF ALL EXISTING STRUCTURAL ELEMENTS TO BE MAINTAINED OR TO BE REUSED FOR PROPOSED CONSTRUCTION, THROUGH INDEPENDENT ANALYSIS.

17. DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES.

18. DAMP PROOF ALL NEW FOUNDATIONS AND EXPOSED EXISTING FOUNDATIONS WITH 120 P.S.F. OF 2" COTEX "FLAT TOPPED FELTON" IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS, APPLY PROTECTION COURSE OF 1/8" ELASTIBORD.

19. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND USING THE LATEST DEPARTMENT OF TRANSPORTATION CONSTRUCTION DETAILS AND SPECIFICATIONS WHICH ARE APPLICABLE TO THIS JOB, INCLUDING NEW CONCRETE SIDEWALK, STEEL FACED CONCRETE CURB, PAVEMENT, PEDESTRIAN RAMPS, CATCH BASINS, OR TREE PLANTING PITS.

20. ALL CONSTRUCTION EXPRESSLY INDICATED OR IMPLIED HEREIN, SHALL COMPLY IN ALL RESPECTS WITH THE PROVISIONS OF N.Y. CITY LOCAL LAW 58/87, AND THE ACCOMPANYING REFERENCE STANDARD 4-6, FOR HANDICAPPED ADAPTABILITY.

21. THESE DRAWINGS ARE FOR THE EXPRESS USE OF T.F. OUSANELLI ARCHITECTS AND PLANNERS P.C. NO REUSE OR REPRODUCTION PERMITTED BY LAW.

**BUILDING DEPARTMENT NOTES**

1. ACTUAL OUTDOOR AIR TO BE AT LEAST 33-1/3% OF REQUIRED TOTAL (REF. C26-1206.3(B) (2) BUT NOT LESS THAN 5 CFM PER OCCUPANT.

2. ALL EXTERIOR MECHANICAL EQUIPMENT SHALL MEET THE NOISE LIMITATION REQUIREMENTS OF C26-1208.3 (A) 4 AND SHALL BE LOCATED WITH A MINIMUM CIRCULAR RADIUS FROM ALL WINDOWS IN OCCUPANCY BUILDINGS.

3. ALL INSPECTIONS, TESTS, REPORTS, AND STATEMENTS REQUIRED BY C26-1301.0 MECHANICAL VENTILATION, AIR CONDITIONING AND REFRIGERATION SYSTEMS REQUIRED BY C26-1301.0 SHALL BE MADE.

4. ALL CODE REQUIREMENTS OF OTHER CITY DEPARTMENTS SHALL BE MET AS REQUIRED BY C26-1304.0.

5. VENTILATION SYSTEM COMPONENTS SHALL CONFORM TO REQUIREMENTS OF RS 13-1 SECTION 3.

6. ONLY APPROVED AIR FILTERS AND FIRE DAMPERS CONFORMING TO SECTIONS 5 & 8 OF RS 13-1 SHALL BE USED.

7. ELECTRICAL WIRING AND EQUIPMENT SHALL CONFORM TO REQUIREMENTS OF RS 13-1 SECTION 7.

8. ALL SAFETY REQUIREMENTS OF RS 13-1, SECTION 6 SHALL BE MET.

9. ALL INSPECTIONS, TESTS, REPORTS, AND STATEMENTS REQUIRED BY C26-1401.0 FOR BOILERS AND FUEL OIL SYSTEMS SHALL BE MADE.

10. GAS FIRED HEATING EQUIPMENT SHALL CONFORM TO REFERENCE STANDARD RS14-2 AND RS14-6 AS REQUIRED BY C26-1415.0.

**EXITS**

1) ALL BUILDING EXITS SHALL CONFORM TO ALL OF THE REQUIREMENTS OF THE BUILDING CODE OF THE CITY OF NEW YORK.

2) ALL DOORS AND DOORWAYS SHALL CONFORM TO ALL OF THE LATEST REQUIREMENTS AS SET FORTH IN THE BUILDING CODE OF THE CITY OF NEW YORK. EXIT DOORS FROM ANY FLOOR AREA OR OCCUPIED SPACE SHALL BE READILY OPENABLE, SHALL BE ARRANGED SO THAT THEY CANNOT BE LOCKED AGAINST EXIT FROM SUCH AREA OR SPACE AREA AND SHALL BE EQUIPPED WITH SELF-CLOSING AND OTHER NECESSARY DEVICES WHICH WILL MAINTAIN THEM IN NORMALLY CLOSED POSITIONS.

3) HANGINGS OR DRAPERS SHALL NOT BE PLACED OVER EXIT DOORS OR OTHERWISE LOCATED SO AS TO CONCEAL OR OBTURSCURE ANY EXIT. MIRRORS SHALL NOT BE PLACED IN OR ADJACENT TO ANY EXIT OR ON EXIT DOORS.

**FIRE LANE/ SAFETY**

1) FIRE AND SMOKE DETECTION SYSTEM:  
CONTRACTOR TO VERIFY THE BUILDING IS EQUIPPED WITH AN EXISTING FIRE DETECTING AND SMOKE DETECTING SYSTEM. THE NEW DEVICES SHALL BE TIED INTO EXISTING BUILDING SYSTEM AND COMPLY WITH THE LATEST REQUIREMENTS OF THE BUILDING DEPARTMENT OF THE CITY OF NEW YORK, NYC FIRE LAW HANDBOOK, NFPA, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, PREPARATION OF NECESSARY CONSTRUCTION DOCUMENTS AND THE SECURING OF ALL REQUIRED PERMITS AND APPROVALS FROM THE APPROPRIATE ADMINISTRATIVE AUTHORITY PRIOR TO THE COMMENCEMENT OF THE WORK.

2) INSTALL FIRE EXTINGUISHERS IN ACCORDANCE WITH THE LATEST EDITION OF NFPA 10. MINIMUM FIRE EXTINGUISHERS RATINGS SHALL BE AS FOLLOWS: MULTIPURPOSE DRY CHEMICAL SHALL NOT BE USED. 2A-04BC SHALL BE INSTALLED IN ALL OTHER AREAS.

3) ALL EXTINGUISHERS SHALL BE WALL MOUNTED WITH THE TOPS NOT MORE THAN 5'-0" FROM THE FINISHED FLOOR. EXTINGUISHERS SHALL BE LOCATED IN ACCESSIBLE AND VISUAL LOCATIONS WITHIN THE MEANS OF EGRESS.

4) IF SCOPE OF WORK WILL AFFECT ANY EXISTING FIRE PROTECTION EQUIPMENT OR SYSTEMS, SAID SYSTEMS SHALL BE PROTECTED AGAINST PHYSICAL DAMAGE AND/OR FALSE ACTIVATION.

5) IF ANY FIRE PROTECTION EQUIPMENT OF SERVICE IS TAKEN OUT OF SERVICE OR ISOLATED, IT SHALL BE DONE BY A PERSON LICENSED TO WORK ON SAID EQUIPMENT.

6) PRIOR TO COMMENCING WORK ON ANY FIRE PROTECTION EQUIPMENT, ALL NECESSARY NOTIFICATIONS TO THE APPROPRIATE ADMINISTRATIVE AUTHORITY (FIRE DEPT, ETC.) SHALL BE MADE. IF THE SYSTEM OR EQUIPMENT ARE SHUT DOWN FOR MORE THAN 1 HOUR ALL WORK SHALL BE PERFORMED WHEN THE BUILDING IS NOT OCCUPIED. AN APPROVED FIRE WATCH SHALL BE PROVIDED FOR THE ENTIRE BUILDING UNTIL THE SYSTEM IS FULLY PLACED BACK IN SERVICE.

Description									
	Rev.								Comments
Project Description:	ALTERNATION TYPE I TO CHANGE USE OF BUILDING								
	Project Location: 12463 FLATLANDS AVE. BROOKLYN, NY, 11208								
	Drawing Title: CODE DATA AND GENERAL NOTES								
Client:	A68 No.:			Drawn by: KN		Checked by: FMS		Page No.: 2/10	
	Date: 09/15/18								
Scale:	A-101.00								
	Drawing No.								

# ENTRANCES & DOORWAYS

## 1. GENERAL

- a. Entrances to building facilities, that are part of an accessible route shall comply with the requirements below.
  - Such entrances shall be connected to exterior accessible routes, public transportation stops, accessible parking, passenger loading zones, public streets and sidewalks.
  - Such entrances shall also be interconnected to accessible spaces and elements within a building or facility.
- b. A service entrance shall not be the sole accessible entrance unless it is the only existing entrance into a building or facility.

## 2. REVOLVING DOORS AND TURNSTILES

Shall comply with the requirements of this DIVISION and shall not be the only means of passage at an accessible entrance or along an accessible route.

## 3. GATES

Including ticket gates shall meet all applicable specifications under this DIVISION.

## 4. CLEAR WIDTHS AND DEPTHS

Figure 7A

- a. Shall be 32 INCHES clear for doorway depths up to 2 FEET.

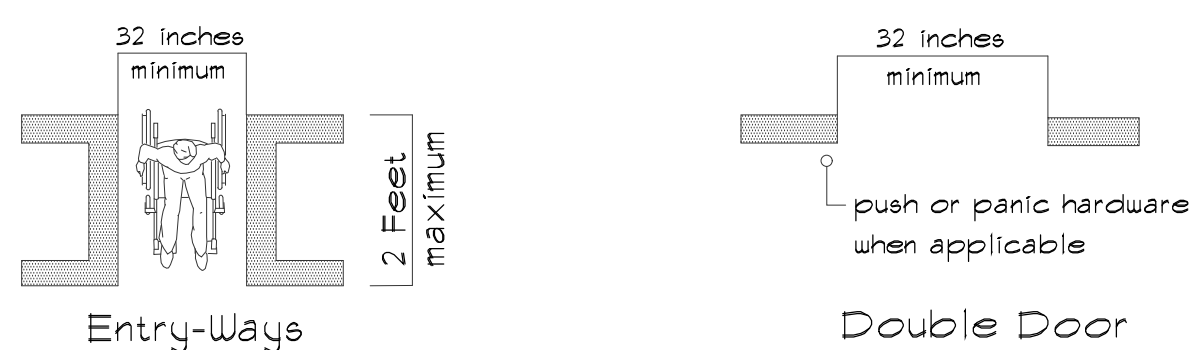


Figure 7A Clearance Criteria

- b. If doorways have two independently operated door leaves, then at least one leaf shall be active and provide a 32 INCH MINIMUM clearance. That active leaf shall also meet the floor clearance and operational specifications that follow.

## 5. HINGED DOORS

Figure 7B, 7C, 7D

- a. Maneuvering clearances (shaded areas) shall vary in accordance with

- doors swinging in or out.
- front or side approaches.
- Hinge and latch locations

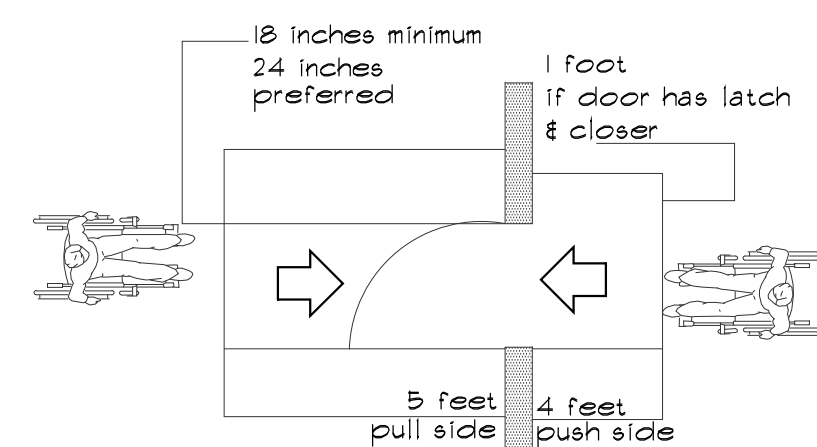


Figure 7B Front Approaches

$X = 3$  feet if  $Y = 5$  feet  
 $X = 42$  inches if  $Y = 54$  inches

$Y = 54$  inches if door has closer, otherwise 4 feet

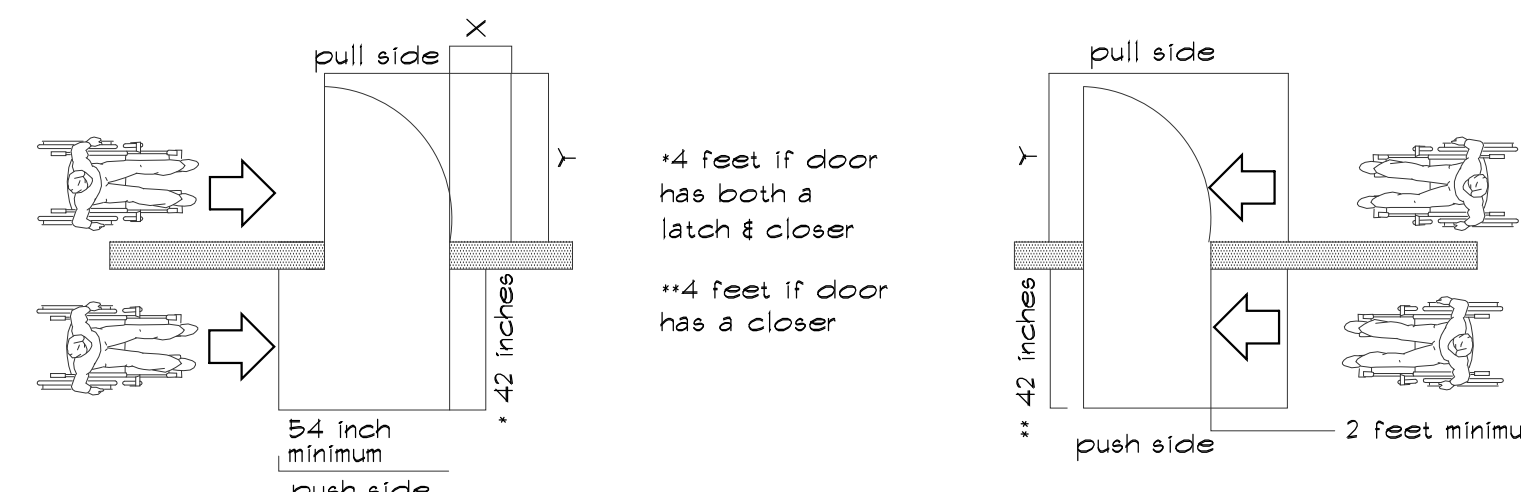


Figure 7C Hinge Side Approaches

Figure 7D Latch Side Approaches

- b. Floor or shaded area within the illustrated clearance requirements shall be level and clear.

## 6. DOORS IN SERIES

Figure 7E

Shall have a 4 FOOT MINIMUM clearance as illustrated.

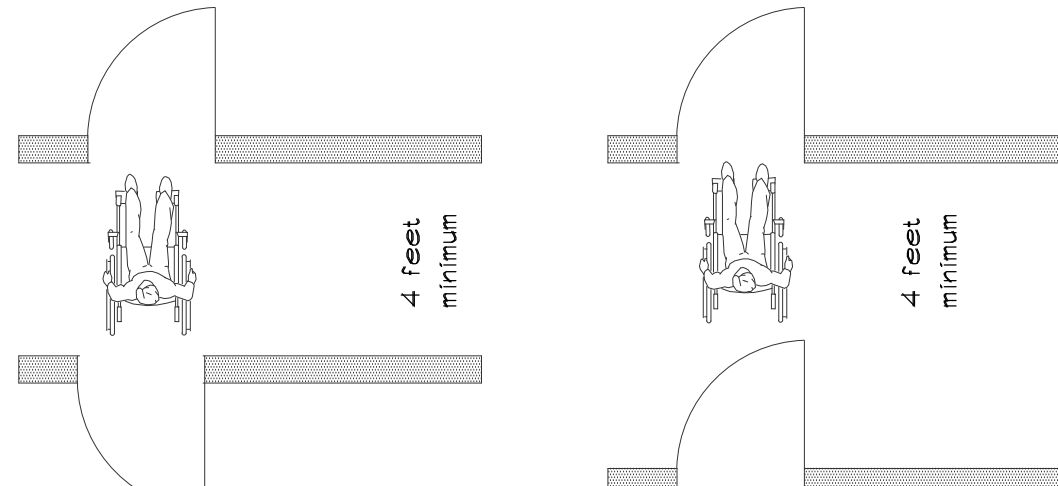


Figure 7E Two Hinged Doors in Series

## 7. SLIDING AND FOLDING DOORS

Figure 7F, 7G, 7H

- a. Shall have maneuvering clearances as illustrated (shaded areas) for front latch and slide side approaches.
- b. Shall have operable hardware exposed on both sides of a door when it is fully open.

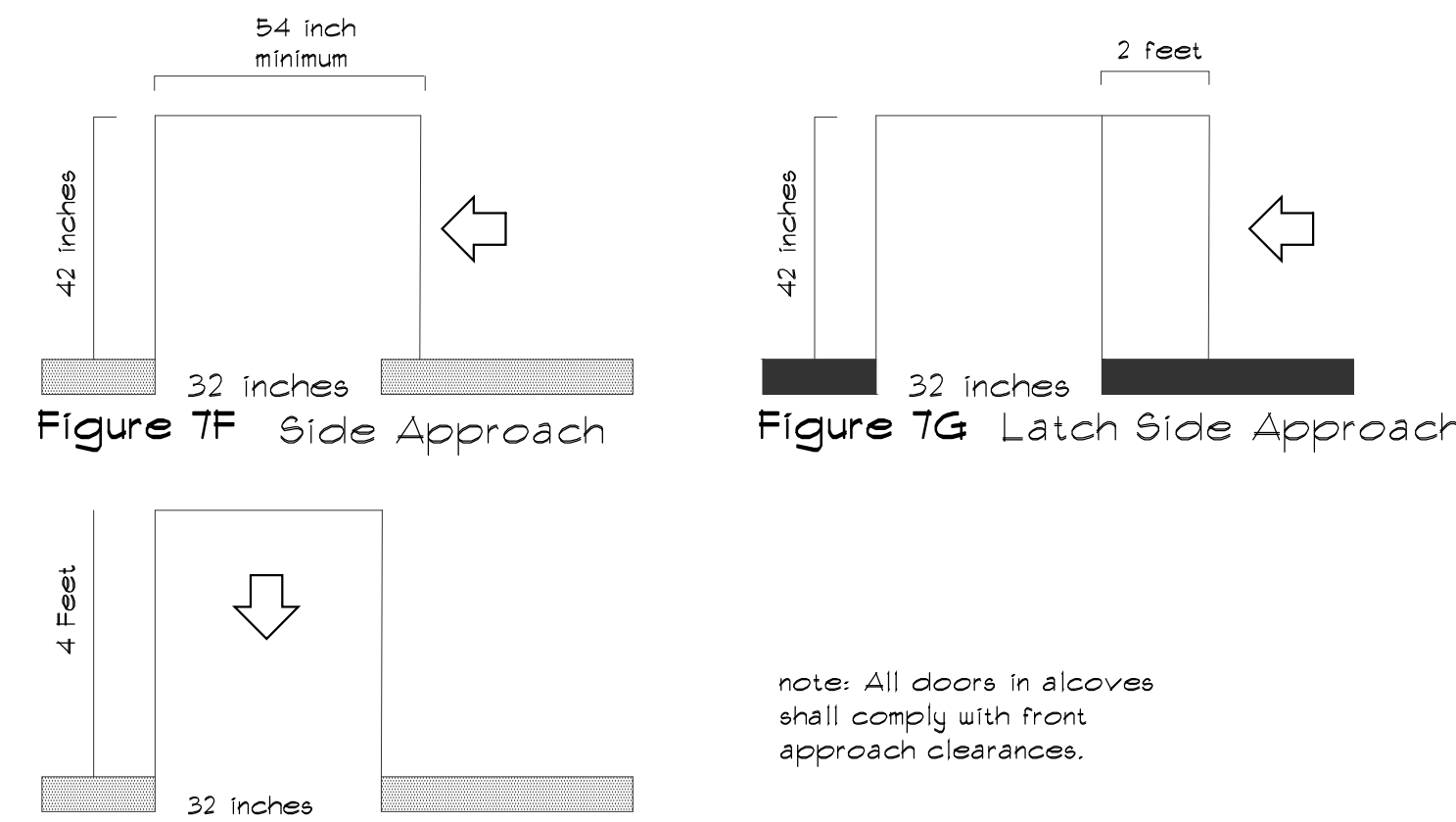


Figure 7F Side Approach

Figure 7G Latch Side Approach

Figure 7F, 7G, 7H Minimum Maneuvering Clearances at Sliding and Folding Doors

## 8. THRESHOLDS

- a. Shall have a MAXIMUM height of 1/2 INCH with 1:2 bevels on both sides. A 3/4 INCH height is allowed in residences only.

## 9. DOOR HANDLES

- a. Shall be lever operated, push type or U-shaped hardware that is easy to grasp with one hand and does not require a tight grip, pinch or a twist of the wrist to operate.
- b. Shall be textured by knurling, roughing or material application for all doors leading to hazardous areas ONLY.

## 10. DOOR CLOSERS

Figure 7I

Shall have a 3 second sweep to move from a fully open 90 degree position to an open position of 12 degrees.

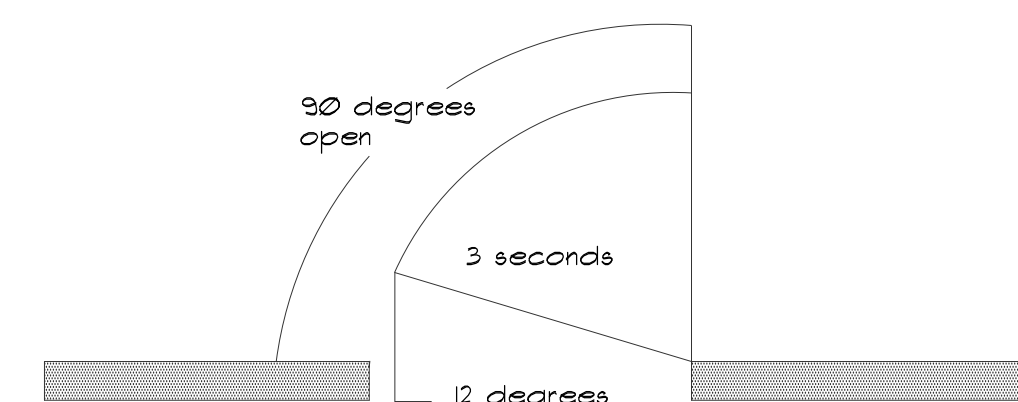


Figure 7I Door Closer Requirements

## 11. OPENING FORCE

Shall be 5 lbs MAXIMUM for all door swinging hardware except exterior hinged doors where 8.5 lbf is acceptable.

## 12. AUTOMATIC DOORS

Shall comply with ANSI/BHMA A156.10-1985. That standard covers definitions of associated equipment including control mats, sensing devices, guide rails, entrapment protection, signage and safety zone application.

## 13. POWER ASSIST AND LOW ENERGY POWER DOORS

- a. Shall not open to a back check faster than 3 seconds.
- b. Shall not operate against a force of 15 lbf or greater.
- c. Shall comply with ANSI/BHMA A156.19-1984. That standard includes opening and closing speed guide lines related to the width and weight of door leaves.

## 14. EXIT SIGNS

If directional EXIT signs are illuminated, then they shall be connected to the same power source and flash in conjunction with audible alarms (DIVISION 4.5) at a flashing frequency of approximately 1 HZ.

# BATHROOM REQUIREMENTS

## 15. RESTROOM NOTES

MARLITE WALL PANEL SYSTEM, SUBMIT SAMPLES TO LANDLORD/OWNER BEFORE ORDERING.

HARDWARE AND ACCESSORIES TO INCLUDE:  
 TOILET PAPER DISPENSER AT 1'-9" AFF  
 SANITARY NAPKIN WASTE RECEPTACLE AT 1'-9" AFF  
 GRAB BARS, SEE ACCESSIBLE TOILETS DETAILS.  
 TOWEL DISPENSER- RECEPTACLE AT 54" AFF MAX.  
 SOAP DISPENSER.

MIRROR PULL HEIGHT AT 40" AFF MAX  
 CHROME PLATE UNITS WITH BRIGHT FINISH.

PROVIDE 12" TRIANGLE AND / OR CIRCLE, WHITE ON BLUE BACKGROUND WITH GENDER SYMBOLS MOUNTED 60" HIGH ON DOOR. PROVIDE GRADE II BRAILLE, PROVIDE MEN AND WOMEN VERBIAGE ON EACH DOOR 1" HIGH.

ALL WORK COMPLIES WITH NEW JERSEY CITY LOCAL LAW NO.58 AND THE AMERICAN DISABILITIES ACT.

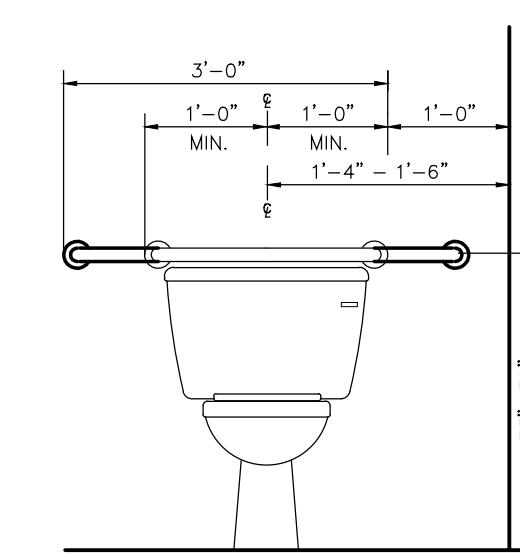
ALL HARDWARE TO BE LEVER HANDLES.

ALL ELECTRICAL OUTLETS TO BE MOUNTED A MINIMUM 15" ABOVE THE FLOOR.

ALL CLEAR WIDTHS OF ALL OPENINGS TO BE 32" MIN.

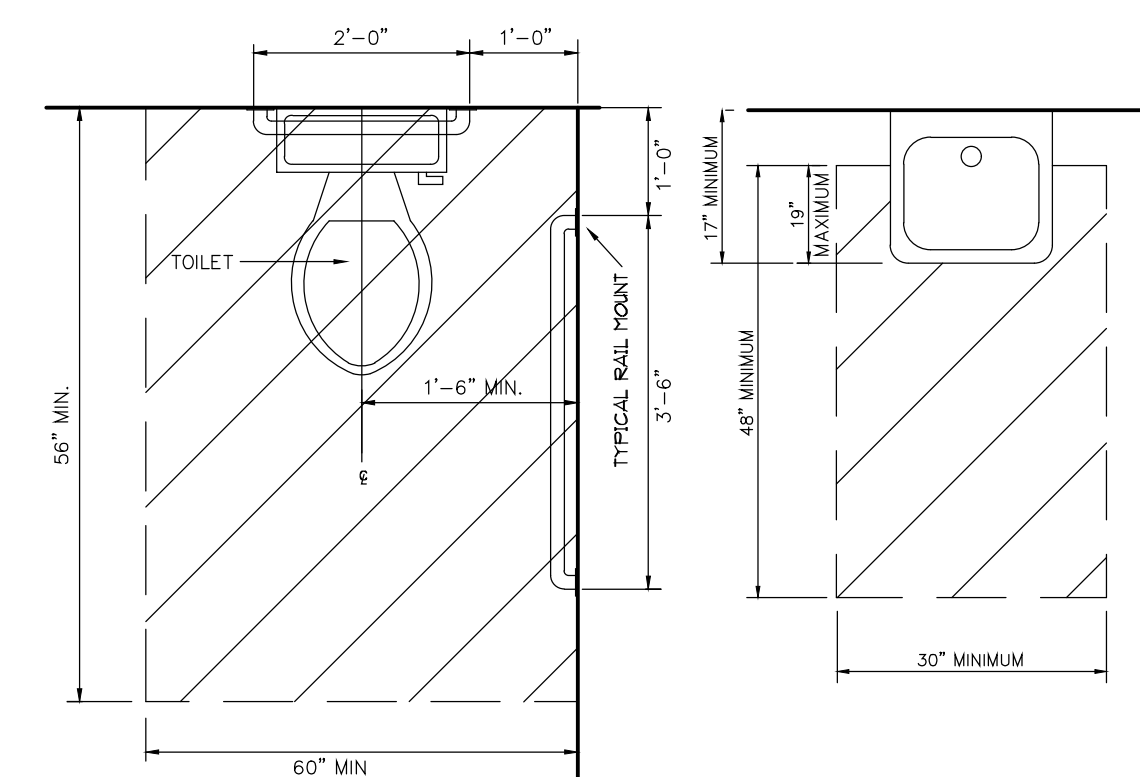
## 16. ACCESSIBLE TOILET NOTES

## 17. RESTROOM DETAILS



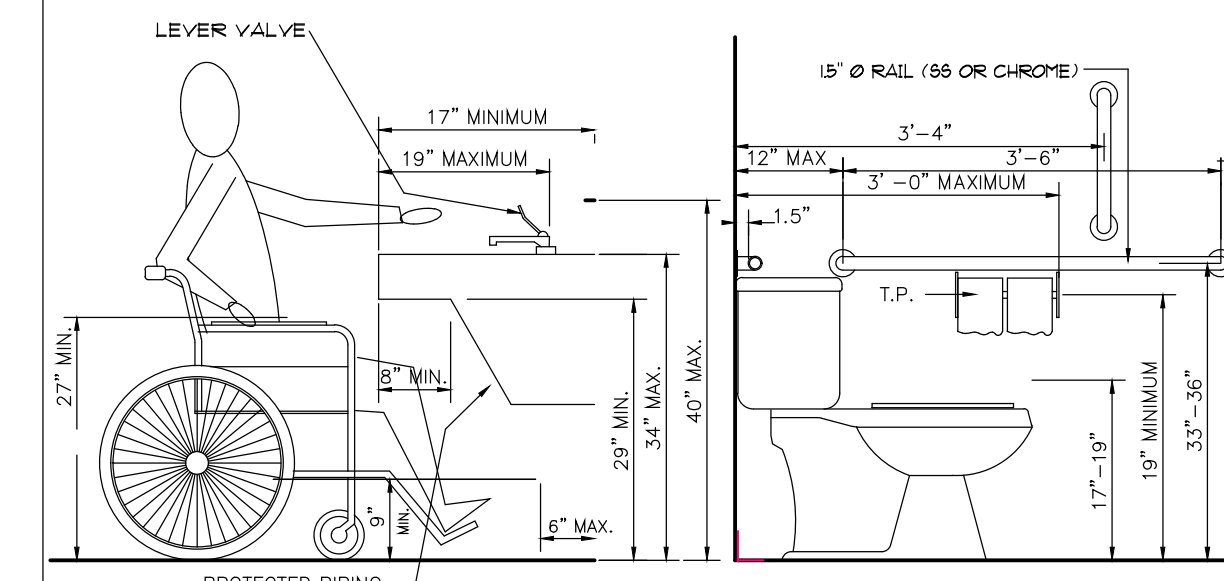
W.C. FRONT ELEV.

LAV. FRONT VIEW



W.C. PLAN

LAVATORY PLAN



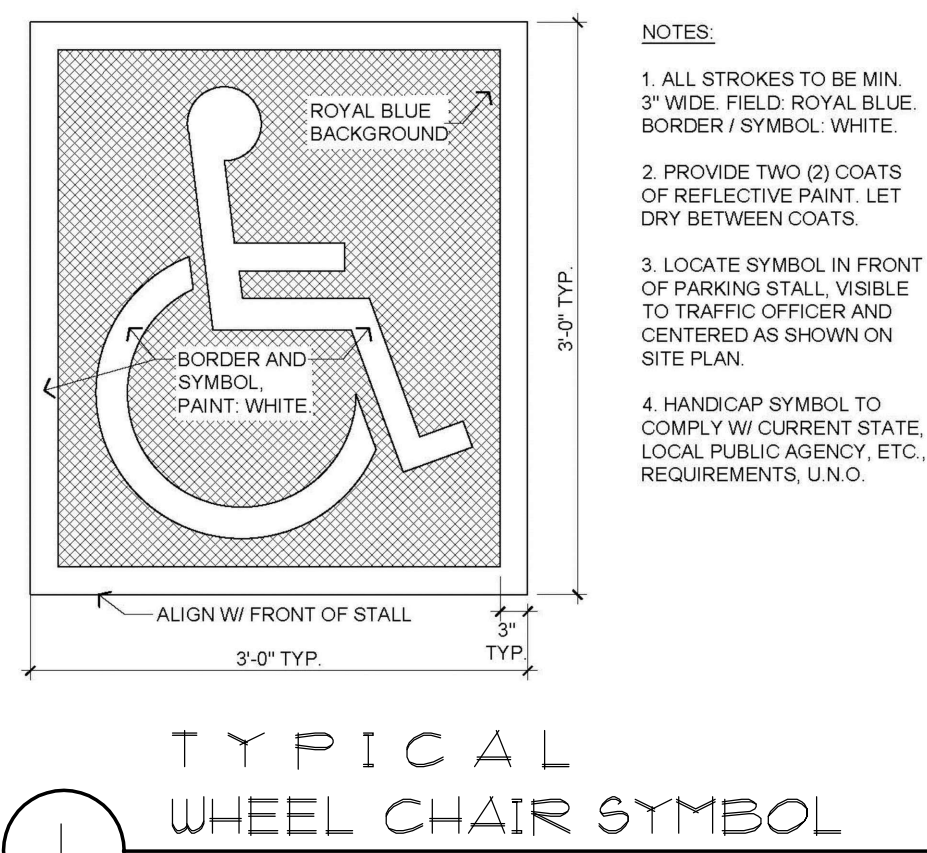
LAV. SIDE ELEVATION

W.C. SIDE ELEV.

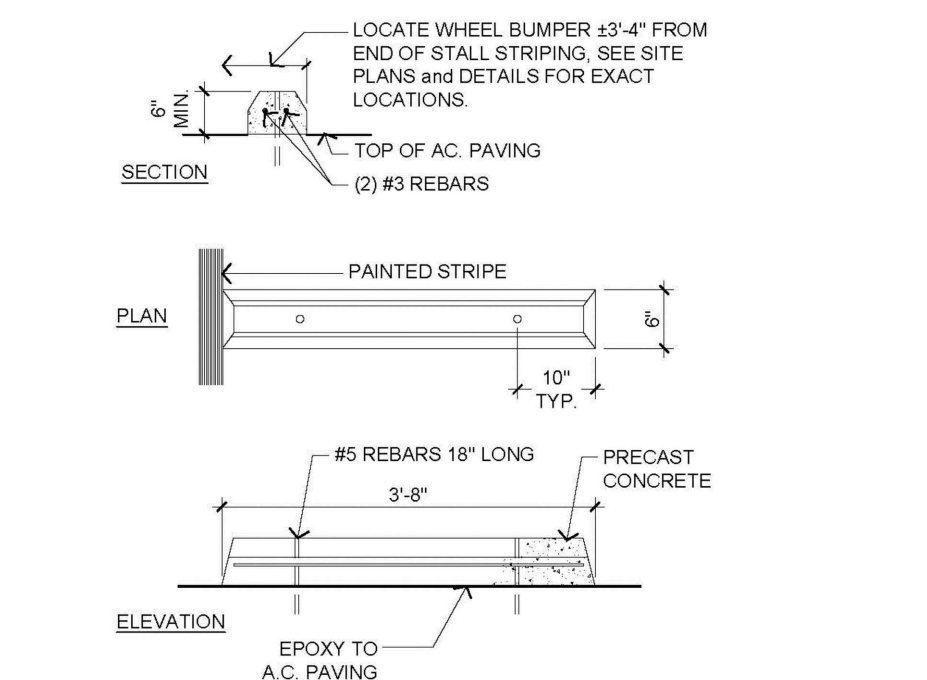
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Job No.: 1689	Drawn by: KN	Page No.: 3/10
Date: 09/15/18	Checked by: FM3	Drawing No.: A-102.00
Project Description: ALTERATION TYPE I TO CHANGE USE OF BUILDING	Project Location: 12463 FLATLANDS AVE. BROOKLYN, NY, 11208	Drawing Title: ADA NOTES, REQUIREMENTS AND CLEARANCE DETAILS
Rev.:	Date:	Comments:

# 97th AVENUE

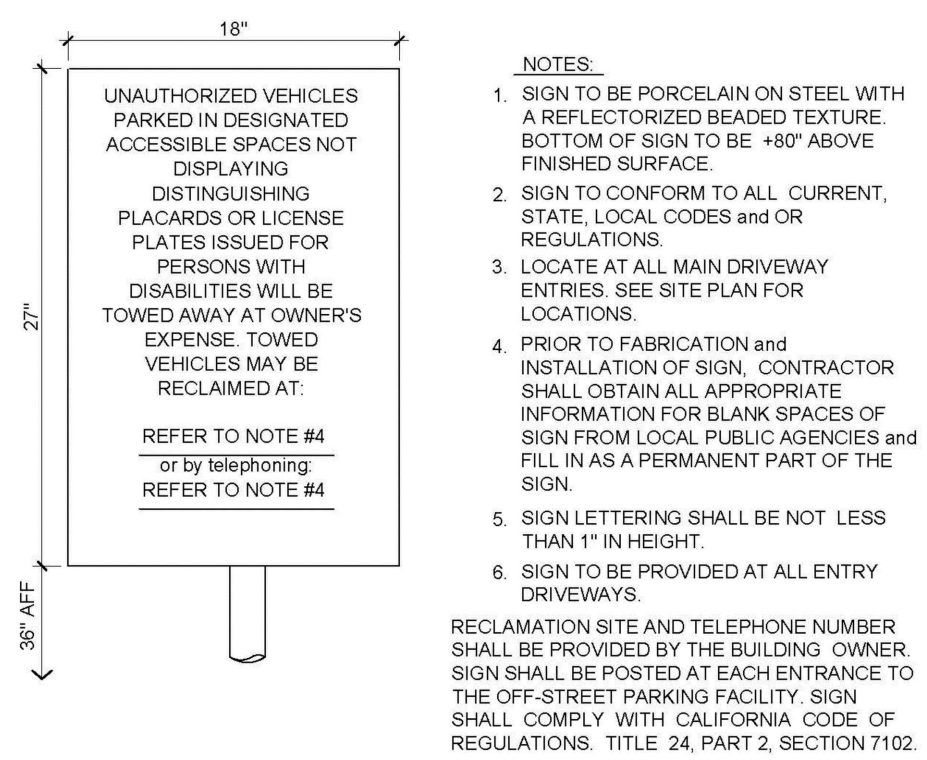
# SPRINGFIELD BLVD.



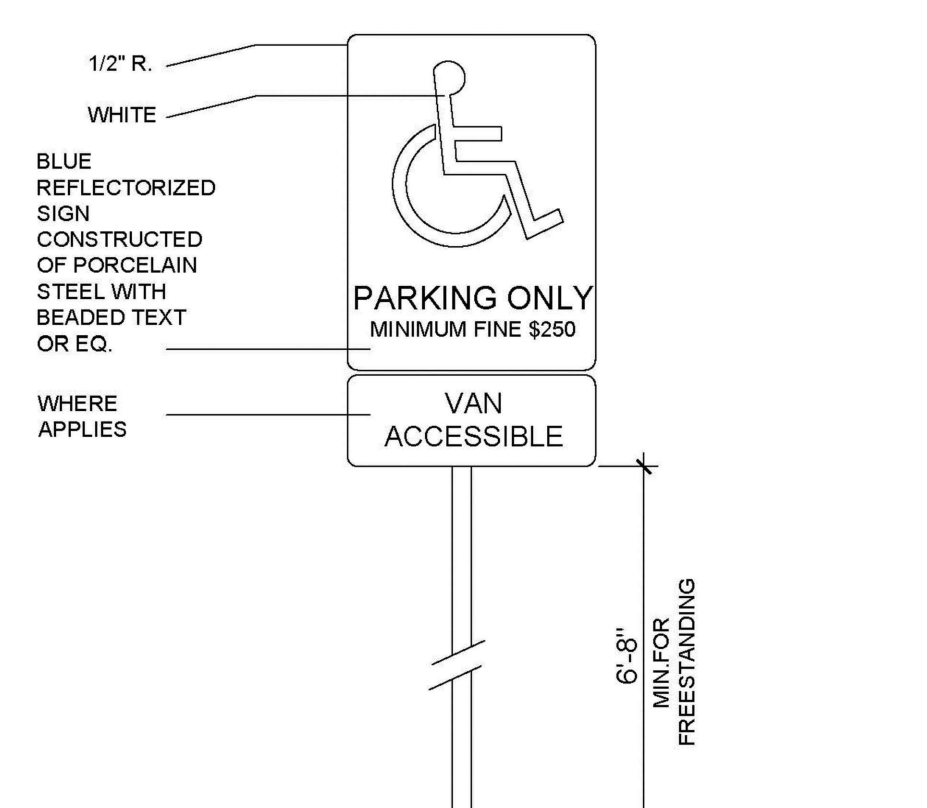
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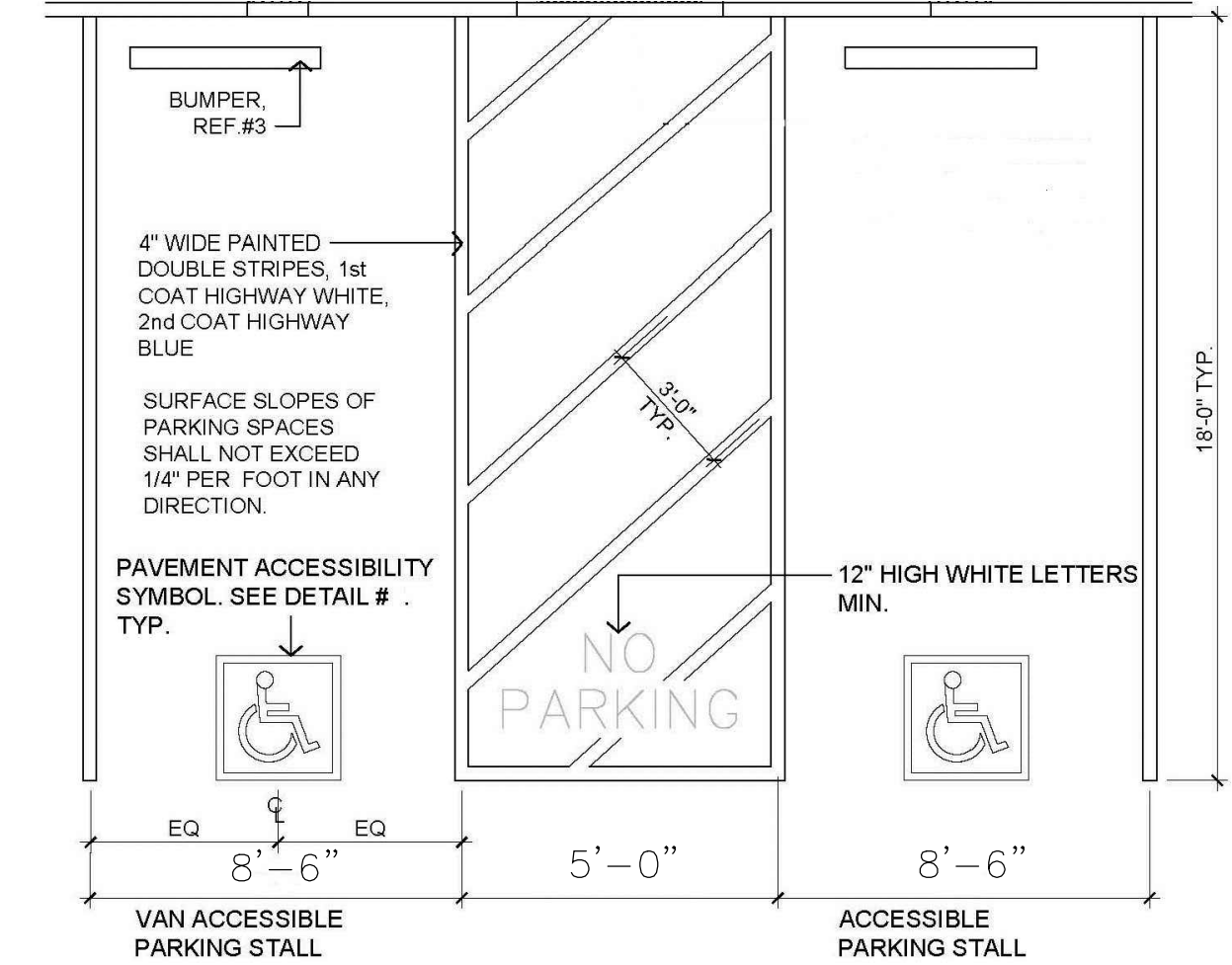
2 BUMPER DETAIL (TYP) not to scale



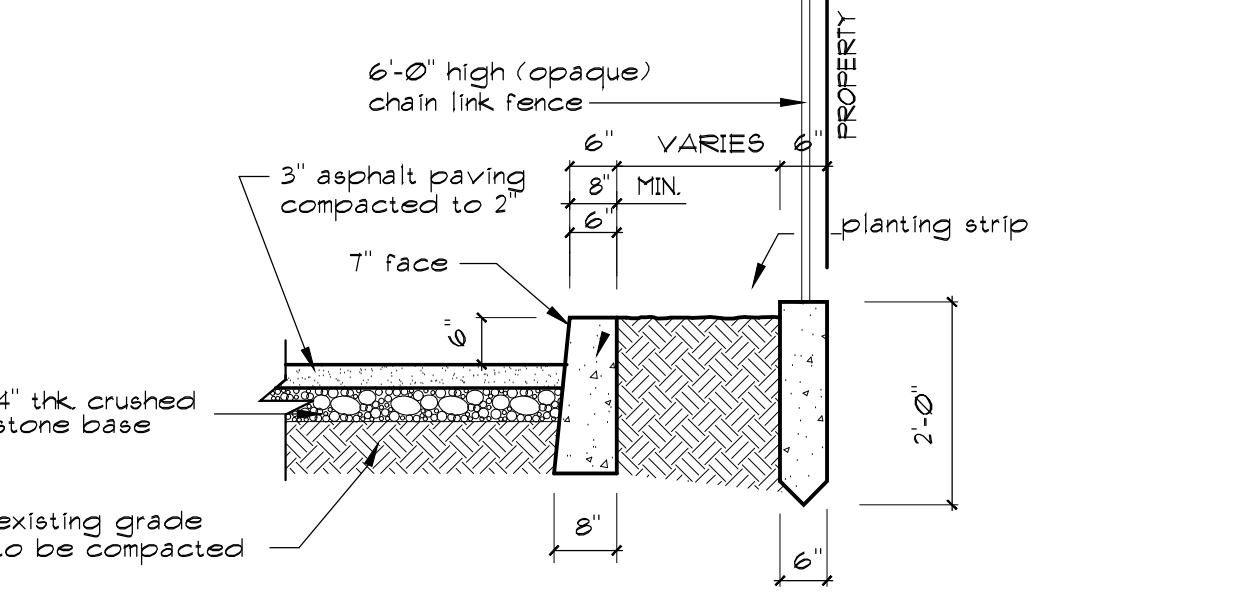
3 OFF STREET PARKING SIGN not to scale



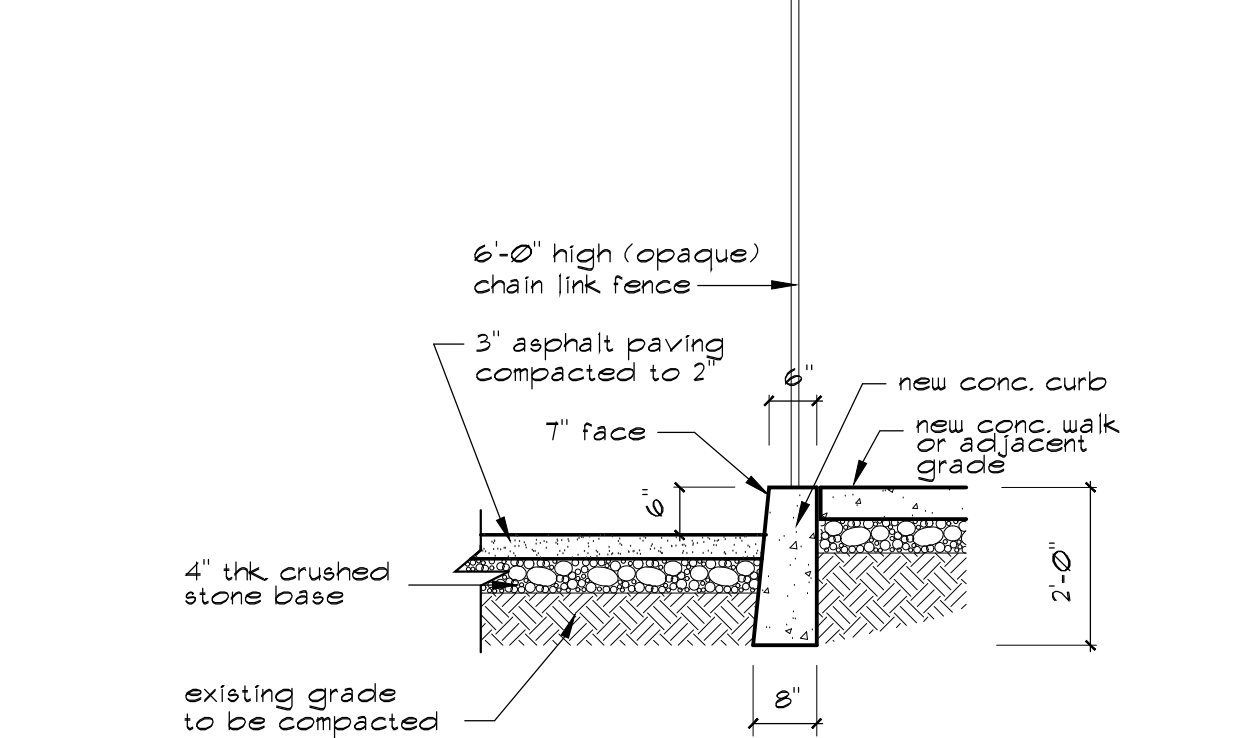
4 VAN ACCESSIBLE PARKING STALL SIGN not to scale



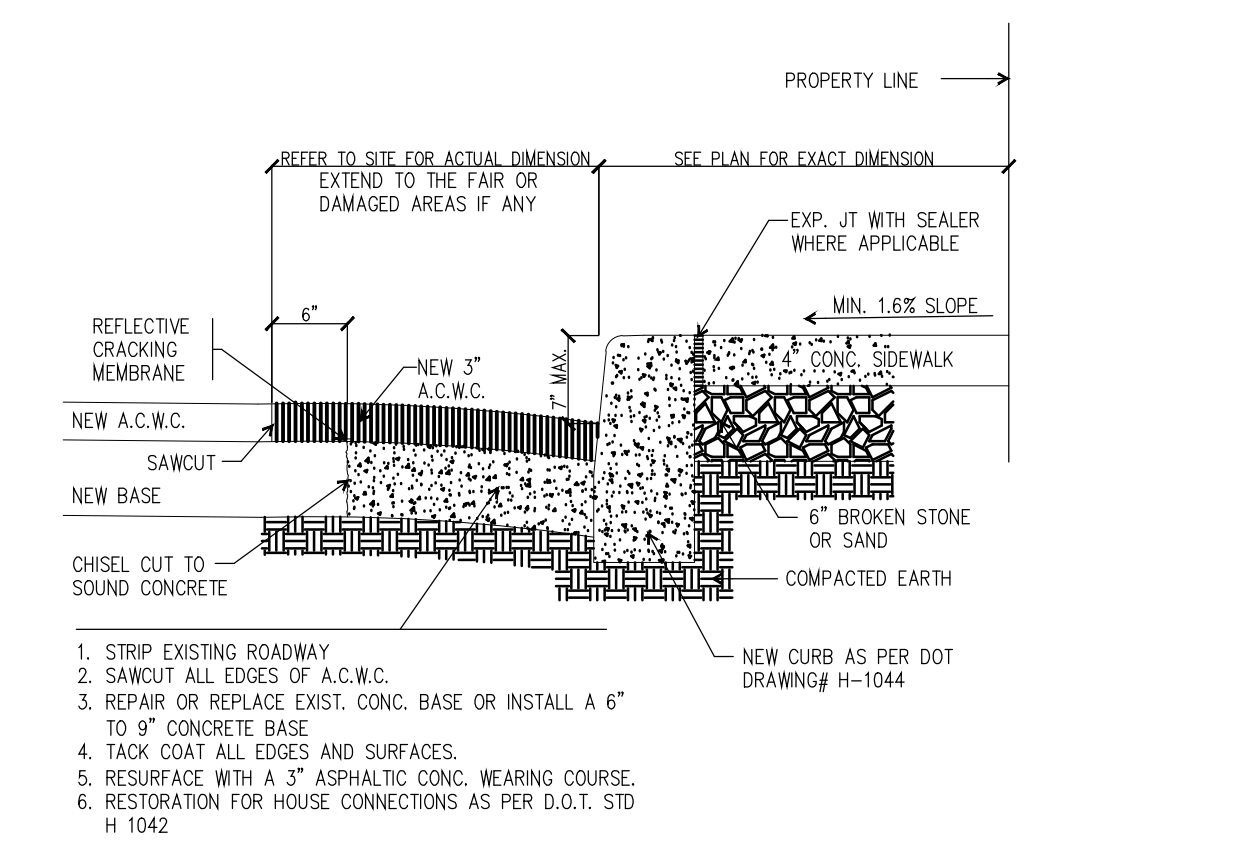
5 ADA PARKING STALL not to scale



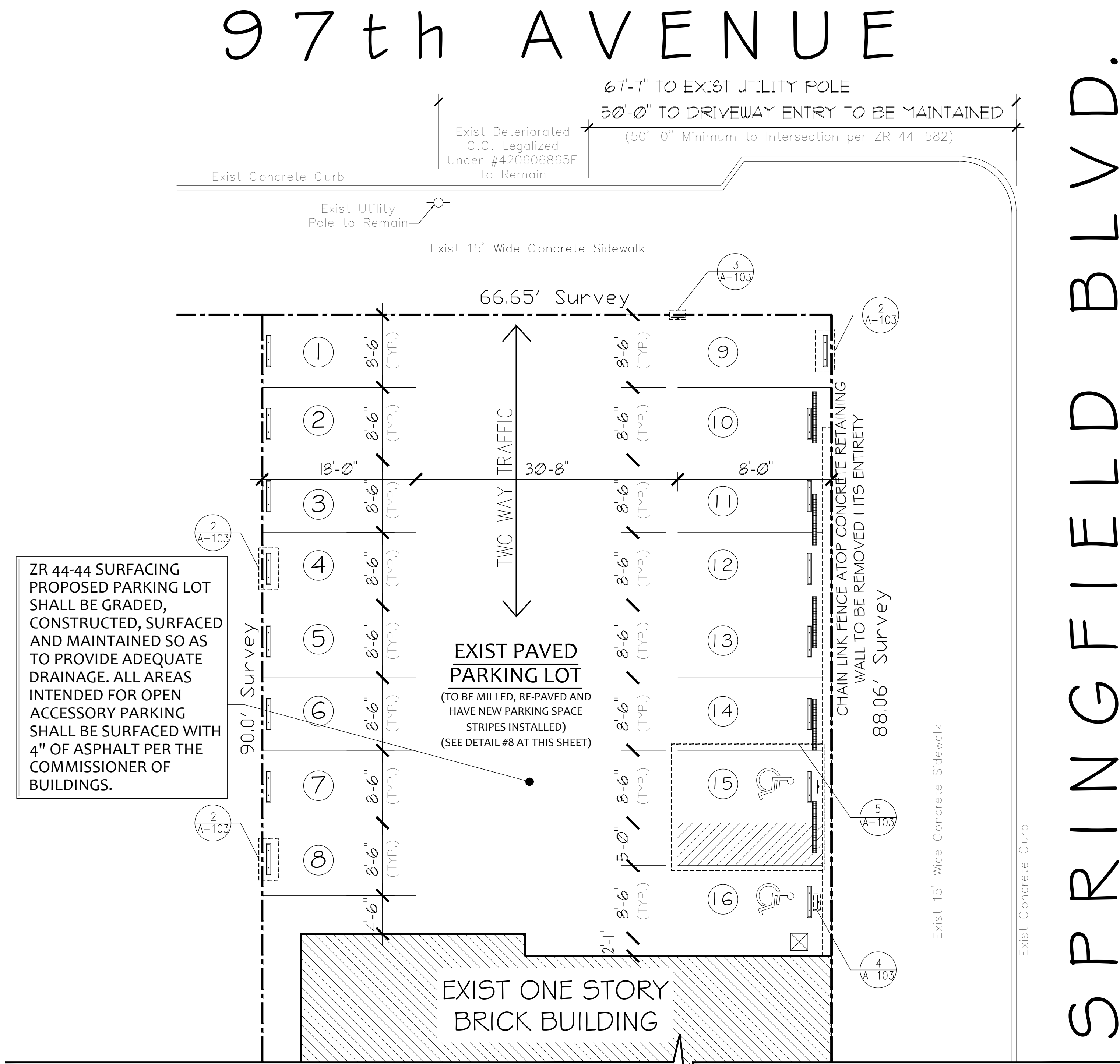
6 PLANTING CURB DETAIL not to scale



7 CONCRETE CURB & SIDEWALK DETAIL not to scale



8 ROADWAY PAVING DETAIL not to scale

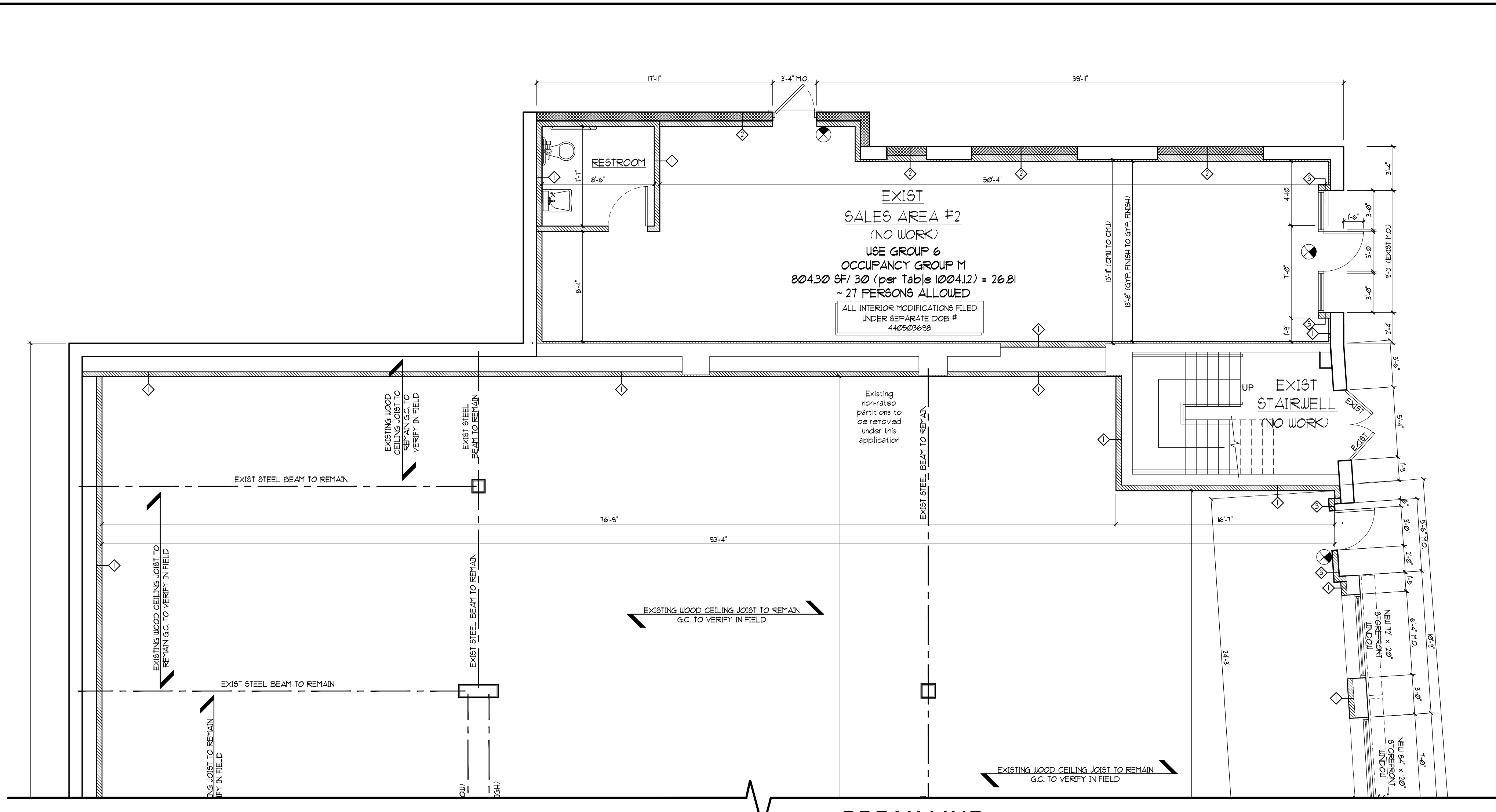


ENLARGED PARKING LOT PLAN SCALE: 1/8" = 1'-0"

ZR 44-44 SURFACING PROPOSED PARKING LOT SHALL BE GRADED, CONSTRUCTED, SURFACED AND MAINTAINED SO AS TO PROVIDE ADEQUATE DRAINAGE. ALL AREAS INTENDED FOR OPEN ACCESSORY PARKING SHALL BE SURFACED WITH 4" OF ASPHALT PER THE COMMISSIONER OF BUILDINGS.

Application #	Client	Project Description:	ALTERATION TYPE I TO CHANGE USE OF BUILDING
Job No.: 1689	Drawn by: KN	Project Location:	97-08 SPRINGFIELD BLVD. QUEENS, NEW YORK, 11375
Date: 09/15/18	Checked by: FMB	Drawing Title:	SHORING DETAILS, SITE PLAN REGULATIONS & DETAILS
Page No.: 4/10			
Drawing No.: A-103.00			

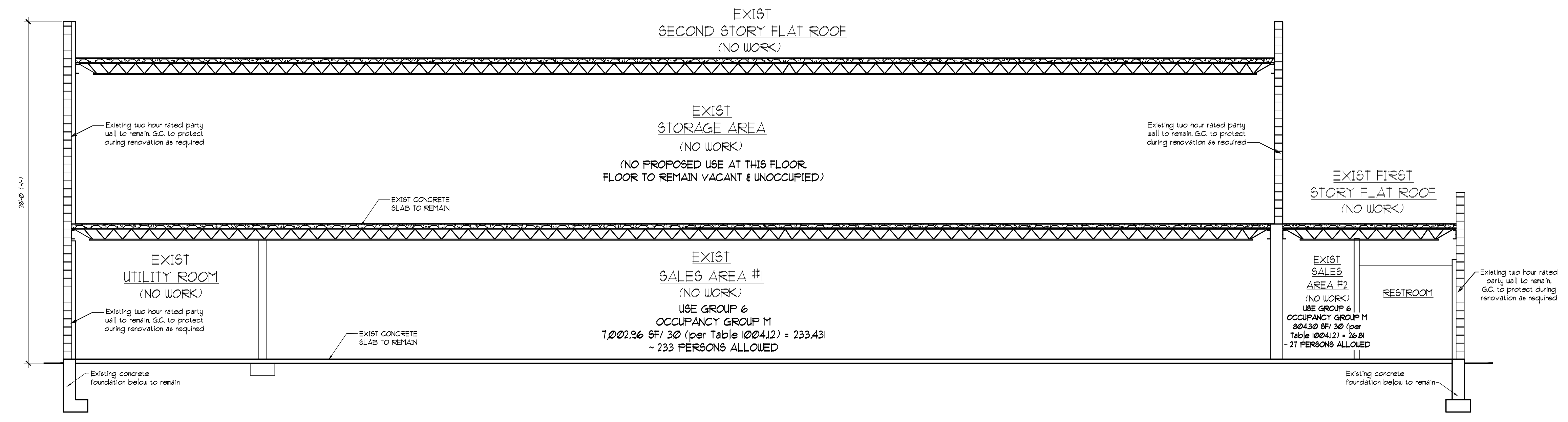




**BREAK LINE**  
 (SEE SHEET A-200.00 FOR DRAWING #1 OF FLOOR PLAN)

1 PROPOSED FIRST FLOOR PLAN

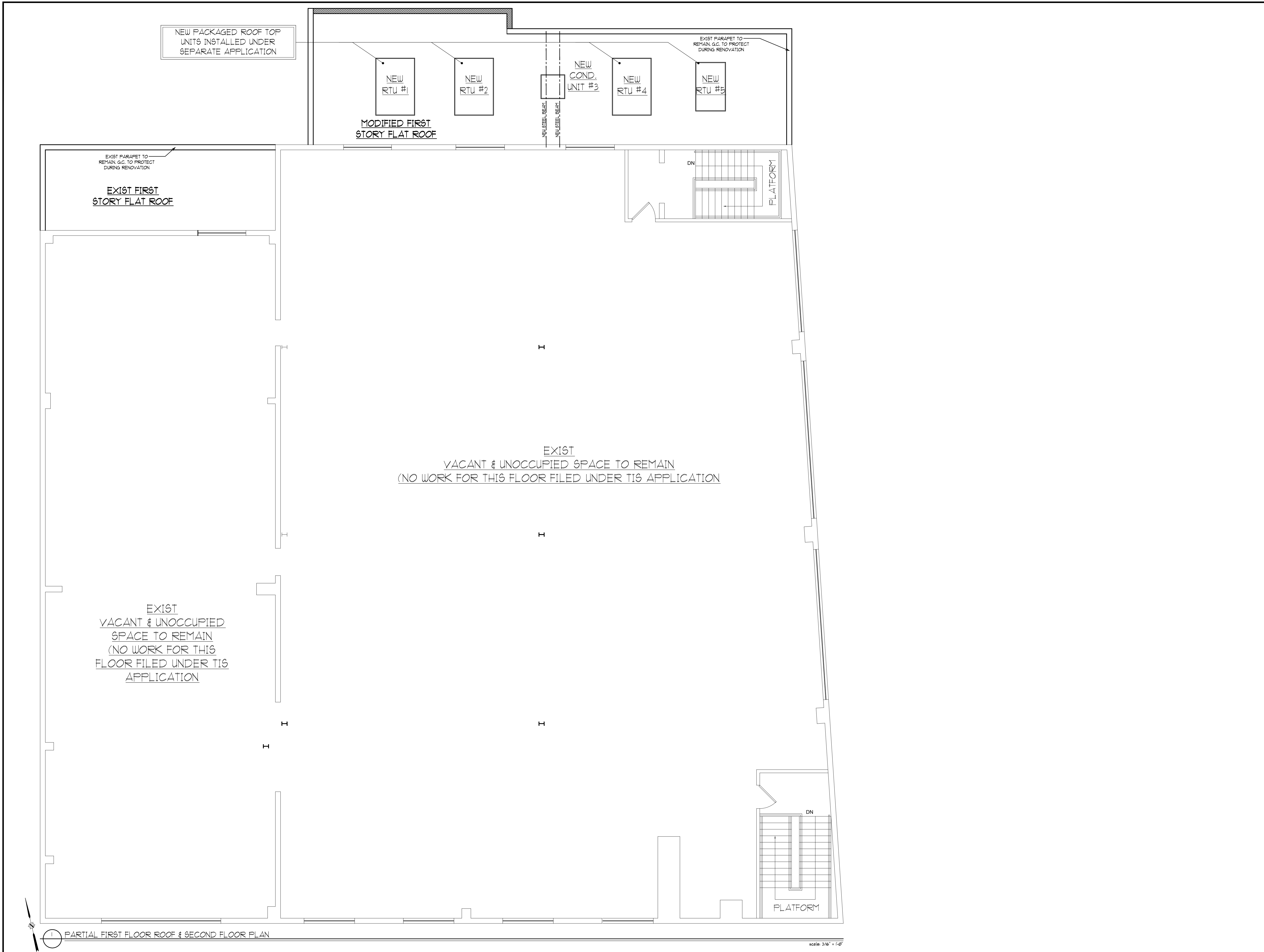
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1 PROPOSED SECTION

Scale: 3/16" = 1'-0"

Rev.	Date:	Description:	
Project Description:			
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Project Location:			
12463 FLATLANDS AVE. BROOKLYN, NY, 11208			
Drawing Title:			
<b>PARTIAL FIRST FL. PLAN &amp; BUILDING SECTION</b>			
Application #:	Client:		
Job No.: 1689	Drawn by: KN	Page No.: 6/10	
Date: 09/15/18	Checked by: FM3		
<b>A-201.00</b>			



NEW PACKAGED ROOF TOP UNITS INSTALLED UNDER SEPARATE APPLICATION

NEW RTU #1

NEW RTU #2

NEW COND. UNIT #3

NEW RTU #4

NEW RTU #5

MODIFIED FIRST STORY FLAT ROOF

EXIST PARAPET TO REMAIN, G.C. TO PROTECT DURING RENOVATION

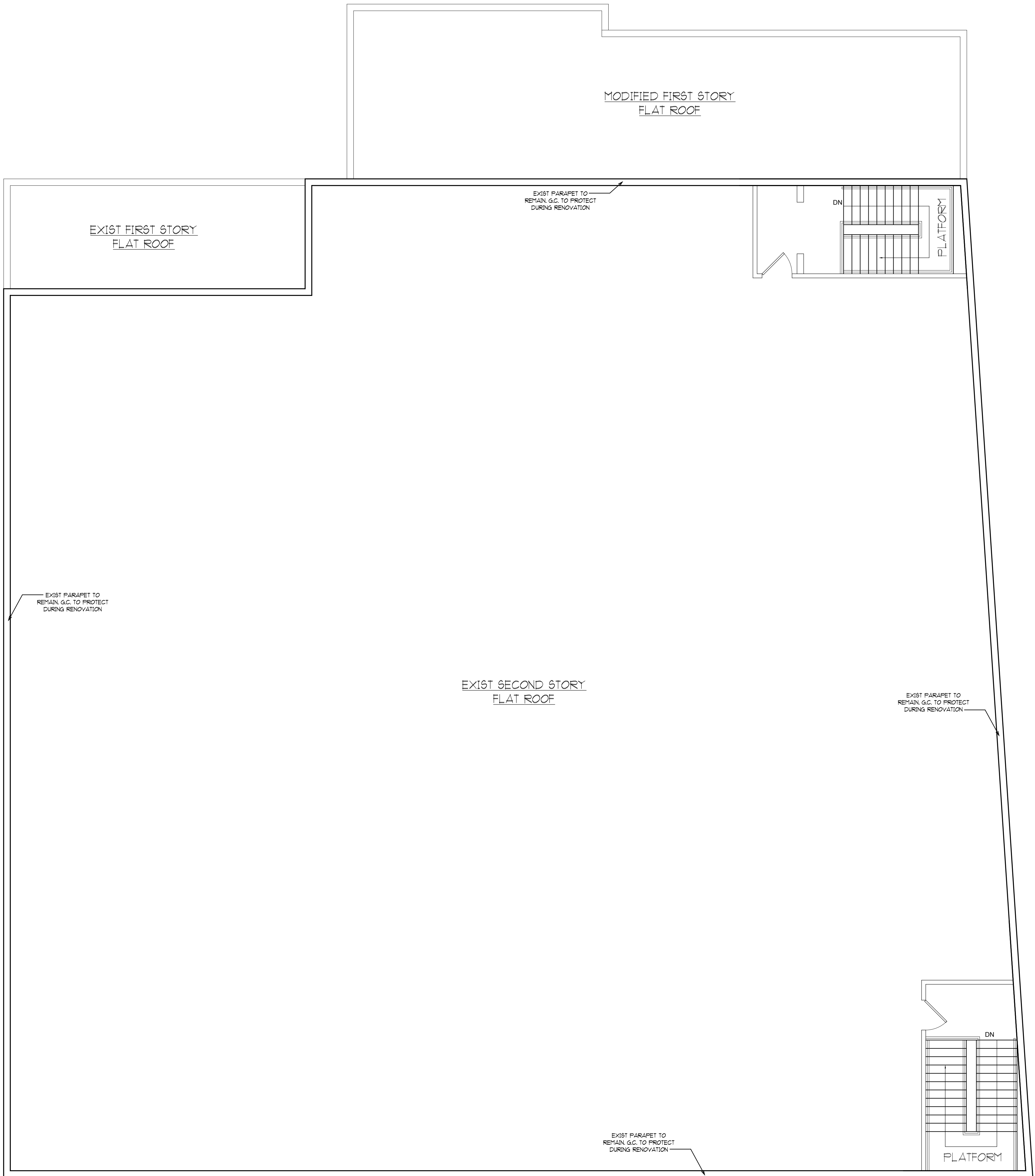
EXIST FIRST STORY FLAT ROOF

EXIST PARAPET TO REMAIN, G.C. TO PROTECT DURING RENOVATION

EXIST VACANT & UNOCCUPIED SPACE TO REMAIN (NO WORK FOR THIS FLOOR FILED UNDER T15 APPLICATION)

EXIST VACANT & UNOCCUPIED SPACE TO REMAIN (NO WORK FOR THIS FLOOR FILED UNDER T15 APPLICATION)

Application #  Job No.: 1689 Date: 09/15/18 Drawing No.: A-202.00	Client:  Design by: KN Checked by: FM3 Page No.: 7/10	Project Description: <b>ALTERATION TYPE I TO CHANGE USE OF BUILDING</b>		Project Location: 12463 FLATLANDS AVE. BROOKLYN, NY, 11208															
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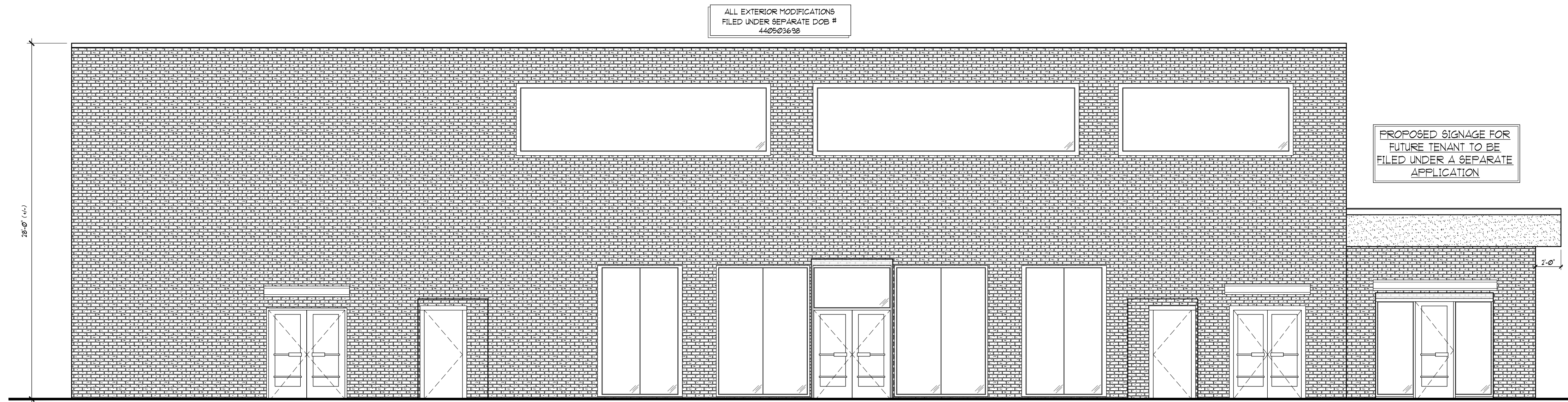


1 EXIST ROOF PLAN

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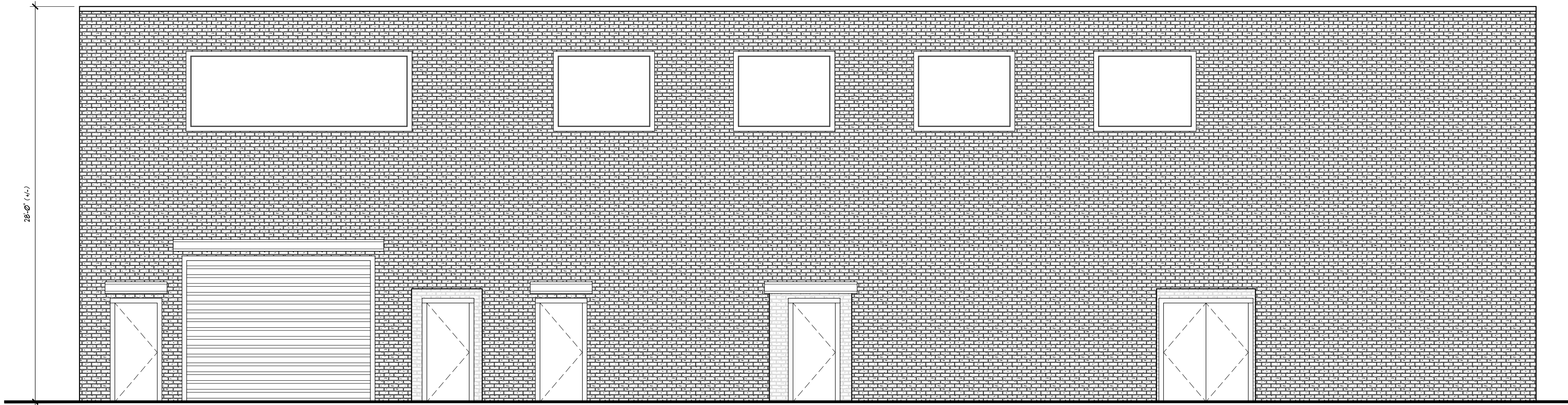
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ALTERATION TYPE I TO CHANGE USE OF BUILDING			12463 FLATLANDS AVE. BROOKLYN, NY, 11208			EXIST ROOF PLAN		
Job No.: 1689			Drawn by: KN			Scale: 8/10		
Date: 09/15/18			Checked by: FM3			Drawing No.: A-203.00		





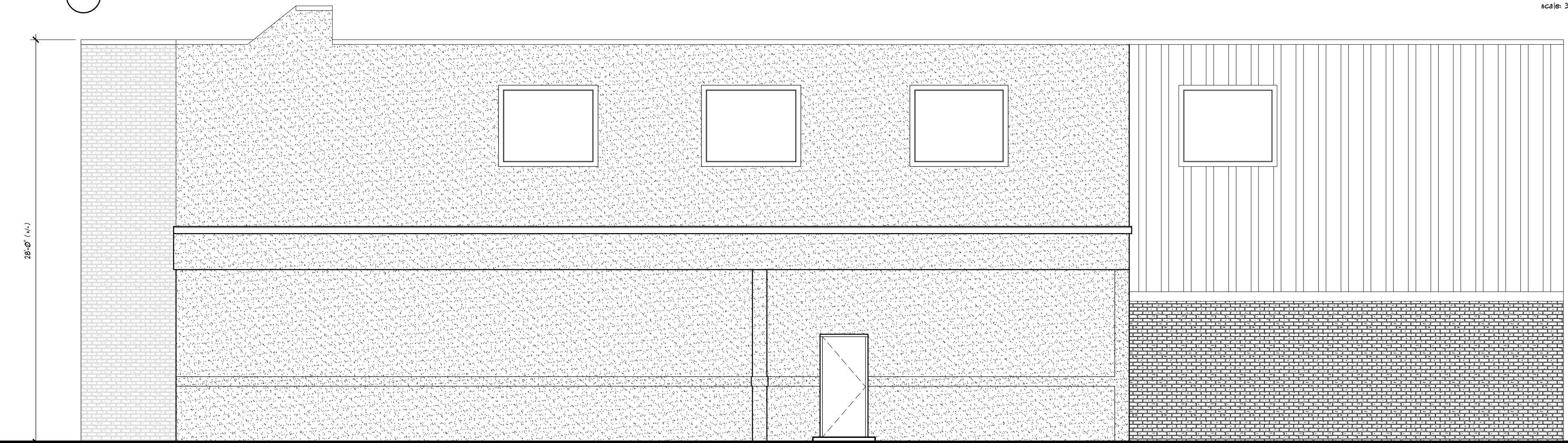
1 PROPOSED FRONT ELEVATION (ALONG SPRINGFIELD BLVD.)

scale: 3/16" = 1'-0"



1 PROPOSED LEFT ELEVATION (ALONG 98th AVENUE)

scale: 3/16" = 1'-0"



1 PROPOSED RIGHT ELEVATION (ALONG 97th AVENUE)

scale: 3/16" = 1'-0"

Project Description: <b>ALTERATION TYPE I TO          CHANGE USE OF BUILDING</b>	Rev.    Date:	Description
	Rev.    Date:	Description
Project Location: <b>12463 FLATLANDS AVE.          BROOKLYN, NY, 11208</b>	Comments	
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Application #	Job No.: 1689	Drawn by: KN
Scale:	Date: 09/15/18	Checked by: FM3
Drawing No.: <b>A-204.00</b>	Page No.:	Page No.: 9/10

NEW YORK STATE ENERGY CODE COMPLIANCE

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CODE OF NEW YORK STATE 67.

ENERGY CONSERVATION NOTES

GENERAL CRITERIA FOR RESIDENTIAL BUILDINGS THREE STORIES OR LESS IN HEIGHT:
1. FOR THE RESIDENTIAL BUILDINGS, THE FOLLOWING AREAS OF GLAZING AS A TOTAL PERCENTAGE OF THE TOTAL WALL AREA SHALL BE USED TO DETERMINE THE MAXIMUM U-RESIDENTIAL-3 STORIES OR LESS: 33 PERCENT.
2. ALL INSULATION SHALL BE INSTALLED IN A MANNER THAT PROVIDES CONTINUITY OF INSULATION AT FLUTE LINES, SILL LINES, AND CORNERS.
3. ALL INSULATION WHICH IS CAPABLE OF ABSORBING WATER SHALL BE PROTECTED BY A VAPOR BARRIER LOCATED ON THE WINTER WARM SIDE OF THE INSULATION.
4. MANUFACTURED DOORS AND WINDOWS SHALL HAVE AIR INFILTRATION RATES NOT EXCEEDING THE FOLLOWING: WINDOWS: CFM PER LINEAR FOOT OF OPERABLE SASH CRACK 0.5 DOORS: CFM PER SQUARE FOOT OF DOOR AREA: SLIDING GLASS 0.9 SWINGING 1.0 INFILTRATION WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 156.7 LB/FT WHICH IS EQUIVALENT TO THE IMPACT PRESSURE OF A 25 PER MILE HOUR WIND.
5. EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, OPENING BETWEEN WALLS AND ROOF/CEILING AND WALL PANELS, OPENINGS AT PENETRATIONS OF UTILITY SERVICES THROUGH WALLS, FLOOR AND ROOFS, AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE SHALL BE CAULKED, GASKETS, WEATHER-STRIPPED OR OTHERWISE SEALED. SITE CONSTRUCTION DOOR AND WINDOWS SHALL BE PER ABOVE.
6. MAIN ENTRANCE DOORS SHALL BE OF VESTIBULE TYPE.
7. ZONING FOR TEMPERATURE CONTROL:
(A) BUILDINGS SHALL BE PROVIDED WITH AT LEAST ONE THERMOSTAT FOR REGULATION OF SPACE TEMPERATURE FOR EACH SEPARATE ZONE.
(B) READILY ACCESSIBLE MANUAL OR AUTOMATIC MEANS TO PARTIALLY RESTRICT OR SHUT OFF THE HEATING TO EACH DWELLING UNIT.
(C) A SWITCH OF A CLOCK SHALL PROVIDE A READILY ACCESSIBLE MANUAL OR AUTOMATIC MEANS FOR REDUCING THE ENERGY REQUIRED FOR HEATING AND COOLING DURING PERIODS OF NON-USE OR REDUCED NEED.
8. PIPING INSULATION: ALL PIPING INSTALLED TO SERVE BUILDINGS AND WITHIN BUILDINGS SHALL BE THERMALLY INSULATED AS PER TABLE 4-5 OF NEW YORK STATE ENERGY CONSERVATION CODE.
9. WATER HEATERS, BOILERS:
(A) EFFICIENCY STANDARDS FOR CLASS ONE WATER HEATERS AS PER TABLE 4-11A OF THE NEW YORK STATE ENERGY CONSERVATION CODE.
(B) EFFICIENCY STANDARDS FOR CLASS TWO WATER HEATERS AS PER TABLE 4-11B OF THE NEW YORK STATE CONSERVATION CONSTRUCTION CODE.
(C) INSULATION, TEMPERATURE CONTROLS, SHUTDOWN, PUMP OPERATIONS, CONSERVATION OF HOT WATER AS PER SECTION E404.3 OF THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.
10. ELECTRICAL DISTRIBUTION, LIGHTING POWER BUDGET, UNIT POWER DENSITY AS PER SECTIONS E405-2, E405-3, TABLE 4-13D AND 4-13E, OF THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.
11. THE DWELLING PORTION OF THE BUILDING SHALL BE EXEMPT FROM SECTION E405-3, LIGHTING POWER BUDGET.
12. ALL EQUIPMENT SHALL BE IDENTIFIED TO INDICATE COMPLIANCE WITH THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.
13. MAXIMUM HEATING TEMPERATURE SETTING: NEW YORK STATE 72 DEGREES; NEW YORK CITY 70 DEGREES. TEMPERATURES BASED ON 5000 DEGREE DAYS. MINIMUM COOLING TEMPERATURE SETTING NEW YORK STATE 78 DEGREES; MAXIMUM DESIGN RELATIVE HUMIDITY SHALL BE 30 % WHEN PROVIDED.
14. THERMAL TRANSMITTANCE VALUES:
(A) EXTERIOR WALLS U-0.029 MAXIMUM
(B) ENTRANCE DOORS U-0.040 MAXIMUM
(C) GLAZING U-0.038 MAXIMUM
(D) MAXIMUM ROOF/CEILING, FLOORS EXPOSED TO AMBIENT CONDITIONS U-0.05
(E) MAXIMUM FLOORS OVER UNHEATED SPACES U-0.05
(F) MINIMUM R
(G) SLAB EDGE, UNHEATED SLAB AND BASEMENT WALLS BELOW GRADE R-0.09
(H) SLAB EDGE, HEATED SLAB R-10.0
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES AND REGULATION OF THE STATE ENERGY CONSERVATION CONSTRUCTION CODE, AND SHALL PROMISE ALL THE CRITERIA AS OUTLINED IN THESE GENERAL NOTES AS PERTAINS TO RELATED EQUIPMENT, MATERIALS AND THEIR INSTALLATION AT JOB SITE.
16. INSULATION MATERIALS:
NEW YORK STATE ADMINISTRATION CODE SECTION C27-811 ALL INSULATION SHALL BE OF NON-COMBUSTIBLE MATERIAL. ALL MATERIALS COVERING VAPOR BARRIERS AND ADHESIVES SHALL HAVE A FLAME SPREAD RATING NO HIGHER THAN 25 AND A SMOKE DEVELOPED RATING NO HIGHER THAN 50.
17. DESIGN PROFESSIONAL STATES THAT TO THE BEST OF HIS KNOWLEDGE AND PROFESSIONAL JUDGEMENT THE DESIGN HAS BEEN MADE IN CONFORMANCE WITH THE NEW YORK STATE ENERGY CONSERVATION CODE.
18. CONSTRUCTION OF BUILDING SHALL CONFORM TO THE STATE ENERGY CONSERVATION CODE BY THE "ACCEPTABLE PRACTICE" METHOD.
19. ALL WINDOWS AND DOORS SHALL COMPLY WITH THE STATE ENERGY CONSERVATION
20. RESIDENTIAL FIREPLACE UNITS SHALL HAVE INFILTRATION LOSSES WITH THE DAMPER ON THE CLOSED POSITION NO TO EXCEED 20 CFM. FIREPLACE UNITS SHALL BE PROVIDED WITH A SOURCE OF COMBUSTIBLE AIR DUCTED FROM THE OUTDOORS OF SUFFICIENT QUANTITY TO SUPPORT COMBUSTION. THIS SOURCE SHALL BE EQUIPPED WITH A DAMPER CAPABLE OF BEING FULLY CLOSED. FIREPLACES SHALL BE EQUIPPED WITH FIREPLACE DOORS OF NON-COMBUSTIBLE CONSTRUCTION. DAMPERED COMBUSTION AIR VENTS SHALL BE PROVIDED ON EACH SIDE OR IN HEARTH WITH TOTAL RECOMMENDED CAPACITY OF 150 TO 200 CFM.
21. INFILTRATION LOSS FOR WINDOWS AND DOORS SHALL COMPLY WITH THE PROVISIONS OF THE STATE ENERGY CONSERVATION CODE.
22. ALL HVAC EQUIPMENT INSTALLED SHALL BEAR A PERMANENT LABEL AFFIXED BY THE MANUFACTURER OR SUPPLIER INDICATING CONFORMANCE WITH THE STANDARD RATING CONDITIONS AND PERFORMANCE REQUIREMENTS OF THE STATE ENERGY

LIGHTING NOTE

100% OF ALL LIGHTING SHALL BE HIGH EFFICIENCY

ENERGY TABULAR ANALYSIS

Energy Analysis For Alteration - Climate Zone 4
Table with 3 columns: Item Description, Proposed Design Value, Code Prescriptive Value. Rows include roof insulation, window performance, duct installation, interior walls, exterior walls, and exterior doors.

Project Description: ALTERION TYPE I TO CHANGE USE OF BUILDING
Project Location: 12463 FLATLANDS AVE. BROOKLYN, NY, 11208
Drawing Title: ENERGY ANALYSIS & ENERGY NOTES

Client:
Application #
Job No.: 1689
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